

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION AGENDA**

Vern Halter, Mayor

PLANNING COMMISSION

Mary Anderson, District 1
Jason Ortiz, District 2
Patricia Chesbro, District 3
Colleen Vague, Chair, District 4
Chris Elder, District 5
Stafford Glashan, District 6
Sassan Mossanen, District 7



John Moosey, Borough Manager

**PLANNING & LAND USE
DEPARTMENT**

Eileen Probasco, Director of Planning &
Land Use
Kim Sollien, Planning Services Manager
Alex Strawn, Development Services
Manager
Fred Wagner, Platting Officer
Mary Brodigan, Planning Clerk

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

**May 18, 2020
REGULAR MEETING
6:00 p.m.**

Due to State mandates, here are ways to participate in Planning Commission meetings:

IN PERSON. The new state mandate allows for a gathering of no more than 20 people. Should you wish to testify in person, please adhere to the following:

- You may not enter the room until you are called to testify. You will also be asked to exit the premises once you are done testifying.
- Please adhere to the 6-foot distance between yourself and others; it is highly recommended that you bring your own mask to wear.

IN WRITING: You can submit written comments to the Planning Commission Clerk at planning@matsugov.us

TELEPHONIC. Telephonic audience participation and public hearings.

- Call **1-833-949-2500**. You will be able to hear the meeting while you wait for your turn to testify. You will know when it is your turn to testify when you hear a chime.

Those who wish to listen to the meeting may Livestream Audio at Radiofreepalmer.org.

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

II. APPROVAL OF AGENDA

III. PLEDGE OF ALLEGIANCE

IV. CONSENT AGENDA

Items on the consent agenda are considered to be routine and non-controversial by the Commission and will be approved by one motion. There will be no separate discussion of

these items unless a Commission Member so requests, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

A. MINUTES

1. March 2, 2020, regular meeting minutes

B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS

1. **Resolution PC 20-08**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 108 E. Schrock Road (Tax ID# 18N01W15C009); within Township 18 North, Range 1 West, Section 15, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Michael Gallagher, on behalf of Bubba Greens, Staff: Joe Metzger*)
2. **Resolution PC 20-09**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 5675 E. Blue Lupine Drive (Tax ID# 1807B01L011); within Township 17 North, Range 1 East, Section 17, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Chad Ragsdale, on behalf of MCC Flight, Staff: Joe Metzger*)
3. **Resolution PC 20-13**, a Conditional Use Permit in accordance with MSB 17.70 – Regulation of Alcoholic Beverage Uses; allowing the operation of an alcoholic beverage dispensary (bar), located at 2141 S. Church Road (Tax ID# 17N01E16C012); within Township 17 North, Range 1 East, Section 16, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Michelle Church, dba Moonstone Farm, Staff: Mark Whisenhunt*)
4. **Resolution PC 20-16**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2321 E. Palmer-Wasilla Highway (Tax ID# 17N01W11A020); within Township 17 North, Range 1 East, Section 11, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Sandra Millhouse, on behalf of Canna Get Happy, Staff: Joe Metzger*)
5. **Resolution PC 20-17**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A); within Township 17 North, Range 1 East, Section 16, Seward Meridian. Public Hearing: June 15, 2020. (*Applicant: Jane Weltzin & Country Cannabis, LLC, Staff: Mark Whisenhunt*)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

1. **Resolution PC 20-15**, recommending Assembly approval of an ordinance amending the Definition of Encroachment in MSB 11.10.010(A)(1) and amending MSB 17.23.150 Port Development Permit Required. Public Hearing: June 8, 2020. (*Staff: Alex Strawn and Emerson Krueger*)

V. COMMITTEE REPORTS

VI. AGENCY/STAFF REPORTS

VII. LAND USE CLASSIFICATIONS

- A. **Resolution PC 20-11**, recommending Assembly approval of land classification of two parcels as Reserved Use for a future fire station and future school facilities, and eight parcels for conveyance through borough land sales or other allowed methods of disposal in accordance with Title 23 and adopted Land & Resource Management Policy and Procedures (MSB007557). (*Staff: Nancy Cameron*)

VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS (*Public Hearings shall not begin before 6:15 p.m.*)

Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.

The Planning Commission members may submit questions to the Planning Commission Clerk concerning the following matters or request for more information from the applicant at the time of the introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing.

X. PUBLIC HEARING: LEGISLATIVE MATTERS

XI. CORRESPONDENCE & INFORMATION

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

- A. Adjudicatory (*if needed*)
B. Upcoming Planning Commission Agenda Items (*Staff: Alex Strawn*)

XV. DIRECTOR AND COMMISSIONER COMMENTS

XVI. ADJOURNMENT (Mandatory Midnight)

In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for definition of "Interested Party." The procedures governing appeals to the Board of Adjustment & Appeals are contained in MSB 15.39.010-250, which is available on the Borough Internet home page, <http://www.matsugov.us>, in the Borough Clerk's office, or at various libraries within the Borough.

Disabled persons needing reasonable accommodation in order to participate at a Planning Commission Meeting should contact the Borough ADA Coordinator at 861-8432 at least one week in advance of the meeting.

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MINUTES
March 2, 2020

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MINUTES

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES****REGULAR MEETING
MARCH 2, 2020**

The regular meeting of the Matanuska-Susitna Borough Planning Commission was held on January 6, 2020, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. The meeting was called to order at 6:00 p.m. by Vice-Chair Mary Anderson.

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

Planning Commission members present and establishing a quorum:

Ms. Mary Anderson, Assembly District #1, Vice-Chair
Mr. Jason Ortiz, Assembly District #2
Ms. Patricia Chesbro, Assembly District #3
Ms. Colleen Vague, Assembly District #4, Chair (*arrived at 6:05 p.m.*)
Mr. Sassan Mossanen, Assembly District #7

Planning Commission members absent and excused were:

Mr. Chris Elder, Assembly District #5
Mr. Stafford Glashan, Assembly District #6

Staff in attendance:

Mr. Alex Strawn, Development Services Manager
Ms. Susie Lemon, Assistant Borough Attorney
Mr. Joseph Metzger, Planner II
Ms. Mary Brodigan, Planning Commission Clerk

II. APPROVAL OF AGENDA

Vice-Chair Anderson inquired if there were any changes to the agenda.

MOTION: Commissioner Mossanen moved to pull Resolution PC 20-05, 2020 Subdivision Construction Manual and Resolution PC 20-07, Driveway Standards from the agenda to be reintroduced at a later date. The motion was seconded.

VOTE: The motion was approved without objection.

GENERAL CONSENT: The agenda was approved as amended without objection.

III. PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Ms. Janet Flaherty, a member of the audience.

IV. CONSENT AGENDA

A. Minutes

1. February 3, 2020, regular meeting minutes

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES****REGULAR MEETING
MARCH 2, 2020****B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS**

(There were no introductions for quasi-judicial matters.)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

1. **Resolution PC 20-12**, recommending Assembly adoption of MSB 17.68, Outdoor Shooting Facilities, in order to establish standards for commercial, educational, and nonprofit outdoor shooting facilities. Public Hearing: March 16, 2020. *(Staff: Alex Strawn)*

Vice-Chair Anderson read the consent agenda into the record.

Vice-Chair Anderson inquired if there were any changes to the consent agenda.

GENERAL CONSENT: The consent agenda was approved without objection.

(Commissioner Vague entered the meeting at 6:05 p.m., and assumed the powers of the Chair.)

V. COMMITTEE REPORTS

(There were no committee reports.)

VI. AGENCY/STAFF REPORTS

(There were no agency/staff reports.)

VII. LAND USE CLASSIFICATIONS

(There were no land use classifications.)

VIII. AUDIENCE PARTICIPATION (Three minutes per person.)

The following person spoke regarding concerns with the public process: Mr. Eugene Carl Haberman.

(The meeting recessed at 6:12 p.m., and reconvened at 6:15 p.m.)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS *(Public Hearings not to begin before 6:15 P.M.)*

Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.

- A. **Resolution PC 20-06**, an application under MSB 17.65 Variances, for an exception to the minimum 25-foot right-of-way setback requirement under MSB 17.55. The variance would allow the existing single-family home to remain 21.3 feet from the E. Rough Cut Circle

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES****REGULAR MEETING
MARCH 2, 2020**

(Tax ID# 6333B02L008) right-of-way, and the existing garage to remain 1.9 feet from the E. Rough Cut Circle right-of-way. (*Applicant: Adam Copson and Janet Flaherty, Staff: Joe Metzger*)

Chair Vague read the resolution title into the record.

Chair Vague:

- read the memorandum regarding quasi-judicial actions into the record;
- queried commissioners to determine if any of them have a financial interest in the proposed Conditional Use Permit (CUP);
- have had any ex parte contact with the applicant, members of the public, or interested parties in the proposed CUP; and
- if all commissioners are able to be impartial in a decision.

Mr. Metzger provided a staff report:

- staff recommended denial of the resolution.

Commissioners questioned staff regarding:

- clarification of how close the buildings are to the right-of-way (ROW);
- the process for obtaining a legal non-conforming status if the variance is not approved;
- whether the garage is eligible to be granted a legal non-conforming status;
- clarification of all of the options that the applicants have if the variance is not approved; and
- what was it that initiated this action.

Chair Vague invited the applicant or their representative to provide an overview of their application.

Ms. Janet Flaherty and Mr. Adam Copson, applicants, provided an overview of their application.

Commissioners questioned the applicant regarding whether they were aware of the location of the ROW when they built the garage.

Chair Vague opened the public hearing.

The following person spoke regarding concerns with the public process: Mr. Eugene Carl Haberman.

There being no one else to be heard, Chair Vague closed the public hearing and discussion moved to the Planning Commission.

MOTION: Commissioner Anderson moved to approve Resolution PC 20-06. The motion was seconded.

VOTE: The main motion failed unanimously.

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES****REGULAR MEETING
MARCH 2, 2020**

1. **Resolution PC 20-10**, adopting findings of fact and conclusions of law to support the denial of Resolution PC 20-06.

Chair Vague read the resolution title into the record.

MOTION: Commissioner Anderson moved to approve Resolution PC 20-10. The motion was seconded.

Commissioner Anderson acknowledged the difficulty in failing this variance.

VOTE: The motion passed without objection.

X. PUBLIC HEARING LEGISLATIVE MATTERS

- A. **Resolution PC 20-05**, supporting an ordinance amending MSB 43.05.015(B)(3) to adopt the 2020 Subdivision Construction Manual. (*Staff: Eileen Probasco*)

(This item was pulled from the agenda during the Approval of the Agenda.)

- B. **Resolution PC 20-07**, recommending Assembly approval of an ordinance adopting MSB 11.12 Driveway Standards in order to ensure driveways within borough right-of-ways minimize negative impact to drainage, maintenance, and safety of the traveling public. (*Staff: Eileen Probasco*)

(This item was pulled from the agenda during the Approval of the Agenda.)

XI. CORRESPONDENCE AND INFORMATION

(There was no correspondence and information.)

XII. UNFINISHED BUSINESS

(There was no unfinished business.)

XIII. NEW BUSINESS

(There was no new business.)

XIV. COMMISSION BUSINESS

- A. Adjudicatory (*if needed*)
- B. Upcoming Planning Commission Agenda Items

Mr. Strawn provided a brief update on projects that will be coming before the Planning Commission.

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES****REGULAR MEETING
MARCH 2, 2020****XV. DIRECTOR AND COMMISSIONER COMMENTS**

Ms. Brodigan reminded commissioners about the joint Assembly/Planning Commission Meeting scheduled for 6:00 p.m. on Tuesday, March 10, 2020.

Commissioner Chesbro stated that Mr. Metzger did a thorough job with the variance request.

Commissioner Mossanen:

- wished that the applicants had a better understanding of their other options; and
- noted that Mr. Metzger did a really good job in laying out the facts.

Commissioner Vague:

- reminded everyone to turn in their APOC (Alaska Public Offices Commission) statements;
- noted that commissioners do a great job preparing for meetings;
- decisions are made based on the information that is provided by staff;
- opined that everyone tries to be just and fair;
- stated her appreciation for the quality of information provided by staff even when the Planning Department is short-staffed;
- appreciates everyone that makes conscientious decisions on behalf of this community; and
- stated that she is proud to be a member of this board.

XVI. ADJOURNMENT

The regular meeting adjourned at 7:00 p.m.

ATTEST:

MARY BRODIGAN, Planning Commission
Clerk

COLLEEN VAGUE, Planning Commission
Chair

Minutes approved: _____

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**INTRODUCTION FOR PUBLIC HEARING
QUASI-JUDICIAL**

Resolution No. PC 20-08

**Bubba Greens
Marijuana Cultivation Facility CUP
108 E. Schrock Road**

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INTRODUCTION FOR PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us



**CONDITIONAL USE PERMIT FOR
MARIJUANA RELATED FACILITIES – MSB 17.60**

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,000 for Marijuana Retail Facility
- \$1,000 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- A** Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- B** Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- C** Hazardous Chemicals Information – 17.60.160 (C)
- D** Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 18N, Range: 1W, Section: 15, Meridian: Seward

MSB Tax ID# 218 N01W15C009

SUBDIVISION: _____ BLOCK(S): _____, LOT(S): C9

STREET ADDRESS: 108 E Schrock RD

FACILITY / BUSINESS NAME: Bubba Greens

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner
Beatrice Gallagher

Name of Agent / Contact for application
Michael Gallagher

Mailing: 2511 Lyvona
Avc. At 99502

Mailing: 2511 Lyvona
Avc. At. 99502

Phone: Hm 727-1961 Fax _____

Phone: Hm _____ Fax _____

Wk _____ Cell 727-1961

Wk _____ Cell 727-7754

E-mail _____

E-mail mgbuilders@gmail.com

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	<i>See plans</i>
Signage – Existing and Proposed.	"
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	"
Buffering – Fences, vegetation, topography, berms, and any landscaping	"
Drainage	"
Vehicular and pedestrian circulation patterns.	"
Exterior site lighting.	"
Location and dimensions of parking areas to be provided	"
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	"

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	<i>Attachment F</i>
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	
Describe how this use is compatible with the character of the surrounding area.	
Current status of State License application process – 17.60.150 (D) (1)	

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	

Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	
Interior floor plans (specific location of the use or uses to be made of the development).	
Net floor area square footage calculations.	

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 218 N 01 W 15 C 009 and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

Ben Yacoper Bea Gallagher 10-7-2019
 Signature: Property Owner Printed Name Date

[Signature] Michael Gallagher 10-7-2019
 Signature: Agent Printed Name Date

October 6, 2019

Bea Gallagher
2511 Lyvona Ln.
Anchorage, AK 99502
907-727-1961 (cell)

To:
Mat-Su Borough
Planning and Land Use Department
350 East Dahlia Avenue
Palmer, AK 99645

Written Authorization to Appoint Agent for Conditional Use Permit

I, Bea Gallagher, as owner of 108 E Schrock, appoint Michael Gallagher as agent and contact person for any and all matters pertaining to the application and issuance of a conditional use permit for Bubba Greens, a planned marijuana cultivator.

Name of Property Owner Granting Authorization:

Bea Gallagher

Signature of Property Owner:

Bea Gallagher

Date:

10-6-2019



Attachment A

Wastewater and Waste Material Disposal Plan – 17.60.160 (A)

- A. Overall Policy Statement - Wastewater:** The Facility will be equipped with a septic system to process wastewater. The system will be engineered to meet all state and local requirements based on proposed site plan. Commercial wastewater from the growing operation will not be disposed of in the septic system; it will be used for surface irrigation of the property when it cannot be recycled.
- B. Use of Water at the Facility:** The Facility will use a hydroponic cultivation system in which water with added fertilizers will circulate continuously. Bubba Greens will reuse the water which will reduce the waste water from the Facility.
- C. Overall Policy Statement - Waste Material Disposal:** All marijuana waste will be rendered unusable at the Facility, within a restricted access area, and under video surveillance. Inventory records will be updated and appropriate notification to state authorities will be made within the required timeframe.

Attachment B

Odor Mitigation and Ventilation Plan – 17.60.160 (B)

- A. Overall Policy Statement:** Bubba Greens will comply with the above referenced borough code by using a ventilation system designed to adequately control odor from materially affecting neighboring properties. The Facility is located in an area with relatively low population density. One side of the property is adjacent to the Fitz Gravel Pit, a commercial use property.
- B. Odor Control:** The Facility will be compliant with all state and local regulations that apply to marijuana cultivation. Specifically, the Facility will have equipment to adequately ventilate air to the outside, while controlling odor. The ventilation system will be designed by a mechanical engineer and will employ activated charcoal filters to ensure adjacent properties are not materially affected. The activated charcoal filters will be maintained according to the manufacturer's specifications.

Attachment C

Hazardous Chemicals Information – 17.60.160 (C)

- A. Overall Policy Statement:** Bubba Greens will store and dispose of fertilizers, pesticides, herbicides, and any other hazardous chemicals used at the Facility in compliance with all local, state, and federal laws. Nutrients and cleaning materials will be stored and disposed of in accordance with each manufacturer's recommendations.
- B. Hazardous Chemical Assessment:** Bubba Greens will review the Material Data Safety Sheet for all hazardous chemicals used at the Facility and will comply with proper use and disposal, as specified.
- C. Federal Rules:** Bubba Greens will reference the Environmental Protection Agency's publication, "Managing Hazardous Waste: A Guide for Small Businesses" for regulatory guidance on all hazardous chemicals used at the Facility.
- D. State of Alaska Rules:** Bubba Greens will comply with all requirements of the Alaska Department of Environmental Conservation.

Attachment D

Security plan – 17.60.160 (D)

A. Overall Policy Statement: It is Bubba Greens' intent to comply with state and local laws regarding the security of the Facility. Employees will be required to review all security policies and sign an acknowledgement attesting to their understanding and commitment to compliance.

B. Video Surveillance: All restricted areas, entries to restricted areas, and exterior access points at the Facility will be monitored by video surveillance. Lighting will be sufficient to facilitate continuous video surveillance of exterior access points. Surveillance equipment and records will be stored in a locked space accessible only by licensee or agents authorized by license, law enforcement personnel, and agents of the Marijuana Control Board. Records will be kept for a minimum of 40 days or as directed by government authorities.

C. Alarm System: Alarm sensors are required on all exterior windows and doors to detect intrusions. Triggered alarms will be managed by a third-party service provider that offers continuous monitoring and alerting to law enforcement agencies.

D. Security Doors & Locks: All exterior entry points to the Facility will be secured by a metal door with commercial grade, non-residential, locks. All doors leading to a restricted area will have signage to indicate that the entrance leads to a restricted area, persons under the age of 21 are prohibited, and that only staff and authorized agents or visitors are permitted.

Attachment E

Detailed Descriptions - Compliance With Mat-Su Borough Code (MSB) 17.60

Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?

This application for a conditional use permit is for an indoor marijuana cultivation facility (the Facility). The Facility will be a 2100 square foot warehouse with wood frame construction, which is similar to the size and construction of other structures in the immediate area. Additionally, the Facility will be located in the middle of the property which is heavily treed with Birch and Spruce. The Facility is located well beyond the minimum required property line set-backs and is over 180 feet away from the nearest public road at its closest point. There will be no outdoor processes related to the proposed use.

As a cultivation Facility, Bubba Greens expects minimal traffic. The number of vehicles traveling to the property is expected to be consistent with residential use properties in the immediate area. At this time, Bubba Greens expects to have three full time employees working on site.

The Facility will be compliant with all state and local regulations that apply to marijuana cultivation. Specifically, the Facility will have equipment to adequately ventilate air outside while controlling odor. The ventilation system will be designed by a mechanical engineer.

For these reasons, the Facility will not materially detract from the value, character, and integrity of the surrounding area.

Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?

The Facility and Bubba Greens will be operated in full compliance with state and local regulations that apply to marijuana cultivation facilities. This includes regulations pertaining to the following significant areas:

- Wastewater and Waste Material Disposal (Plan included as Attachment A)
- Odor Mitigation and Ventilation (Plan included as Attachment B)
- Hazardous Chemicals (Plan included as Attachment C)

Mark Whisenhunt

From: Mark Whisenhunt
Sent: Friday, December 6, 2019 1:24 PM
To: 'mgbuilders@gmail.com'
Subject: Request for information: Bubba Greens CUP
Attachments: Bubba Greens RFAI 12-6-19.pdf; Bubba Greens - 1K.pdf; Bubba Greens 1K.pdf

Importance: High

Please see the attached letter requesting information pertaining to your application for Conditional Use Permit for the marijuana cultivation facility.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

www.permitcenter@matsugov.us

December 6, 2019

Michael Gallagher of
Bubba Greens LLC
2511 Lyvona Lane
Anchorage, AK 99502

Subject: Conditional Use Permit Application for Marijuana Cultivation Facility –
Incomplete
Location: 108 E. Schrock Road; Tax ID #18N01W15C009

Dear Mr. Gallagher,

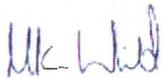
Borough staff has reviewed the application material submitted on October 9, 2019 for a Conditional Use Permit for a marijuana cultivation facility under MSB 17.60 on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request.

1. Site Plan:
 - a. Please send the electronic version of the site plan(s). The small version submitted makes it difficult to do a thorough review.
2. Wastewater and waste material disposal plan:
 - a. The wastewater and waste material disposal plan is insufficient. Please provide *specific details* on how wastewater and waste material disposal will be in full compliance with ADEC regulations. Please note that ADEC usually does not allow commercial wastewater to be disposed of in septic systems. Please call me if you have questions on this topic.
3. Hazardous Chemical Information:
 - a. Will nutrients and cleaning materials be stored and disposed of in accordance with each manufacturer's recommendations? Please update your narrative.
4. MSB 17.60.160 requires your security plan to include education for employee on security measures. Please update the security plan portion of your narrative.
5. What is the estimated number of employees for the proposed operation? Please update your narrative.

6. Will the filters be maintained in accordance with the manufacturer's recommendations? Please update your narrative.
7. Please provide the approved plan review certificate from the Fire Marshal's office.
8. Attachment E of the narrative appears to be unfinished.
9. Please provide the State of Alaska Driveway issued for the access onto this property.
10. Will there be any outdoor processes related to the proposed use? Please update your narrative.
11. Please provide a map showing land uses within 1,000 feet of the subject property. I have attached a blank map for your convenience.
12. Will exterior lighting be downward directional and shielded to prevent spillage onto the adjacent properties? Please update your narrative.

Once the items above have been addressed and we have determined the application to be complete, staff will begin the public notice process. Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-8527, or email: mark.whisenhunt@matsugov.us. Thank you for your time and consideration on this matter.

Respectfully,



Mark Whisenhunt, Planner II
Development Services Division
Matanuska-Susitna Borough

Joseph Metzger

Attachments: Map - Land Use Within 1,000ft.jpg; Bubba Greens - Signed Arch(10.22.19).pdf

From: Michael Gallagher <mgbuilders@gmail.com>
Sent: Sunday, December 22, 2019 11:50 AM
To: Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>
Cc: Permit Center <Permit.Center@matsugov.us>
Subject: Re: Request for information: Bubba Greens CUP

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]
Hi Mark,

I have attached updates in response to your request. There are two items I still need to gather and I will send those as soon as possible: The Fire Marshall Approval should be any day. I plan to contact the State of Alaska to obtain copies of existing driveway permits Monday.

Mat-Su CUP Application Attachment E

Mat-Su CUP Application Attachment D

Mat-Su CUP Application Attachment C

Mat-Su CUP Application Attachment B

Mat-Su CUP Application Attachment A

On Fri, Dec 6, 2019 at 1:24 PM Mark Whisenhunt <Mark.Whisenhunt@matsugov.us> wrote:

Please see the attached letter requesting information pertaining to your application for Conditional Use Permit for the marijuana cultivation facility.

Respectfully,

Mark Whisenhunt

Planner II

Matanuska-Susitna Borough

Office: (907) 861-8527

mark.whisenhunt@matsugov.us

--

MG Construction
(907) 727-7754

Legend

-  Roads
-  1,000' Buffer
-  18N01W15C009
-  Parcels

RECEIVED
 DEC 22 2019

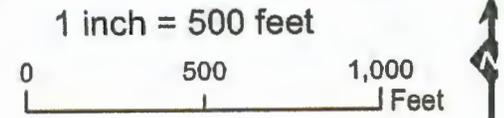
MATANUSKA-SUSITNA BOROUGH
 DEVELOPMENT SERVICES



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Date: 12/6/2019

- * Residential
- = Vacant Lot
- + Gravel Pit
- o Ponderosa Pet Suites





Matanuska-Susitna Borough



- Legend**
- Road Mileposts
 - Roads**
 - Highway
 - Major Road
 - Medium Road
 - Minor Road
 - - Primitive Road
 - - Private Road
 - Alaska Railroad
 - ▭ Mat-Su Borough Boundary
 - ▭ Incorporated Cities
 - - Government Lot Lines
 - ▭ Parcels
 - 🌊 Lakes and Rivers
 - Streams
 - ▭ Section Lines
 - ▭ Flood Zone

1:4,514



WGS_1984_Web_Mercator_Auxiliary_Sphere
© Matanuska-Susitna Borough

Reported on 10/10/2019 04:17 PM

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Notes

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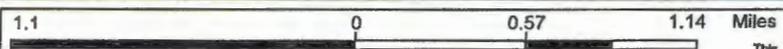


Matanuska-Susitna Borough



- Legend**
- Road Mileposts
 - Roads**
 - Highway
 - Major Road
 - Medium Road
 - Minor Road
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 - - Private Road
 - + Alaska Railroad
 - ▭ Mat-Su Borough Boundary
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 - ▭ Lakes and Rivers
 - Streams

1:36,112



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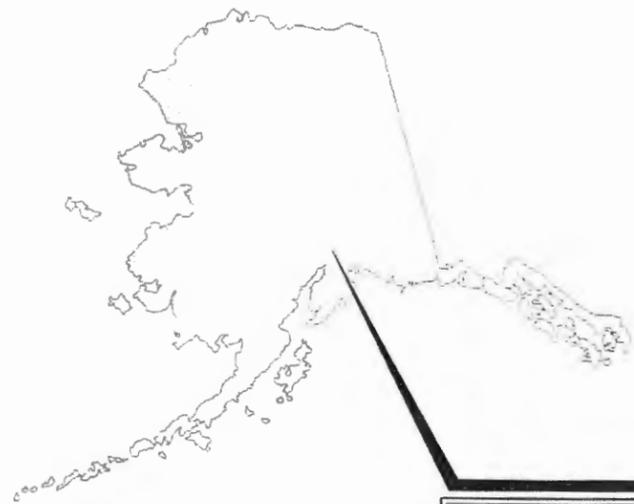
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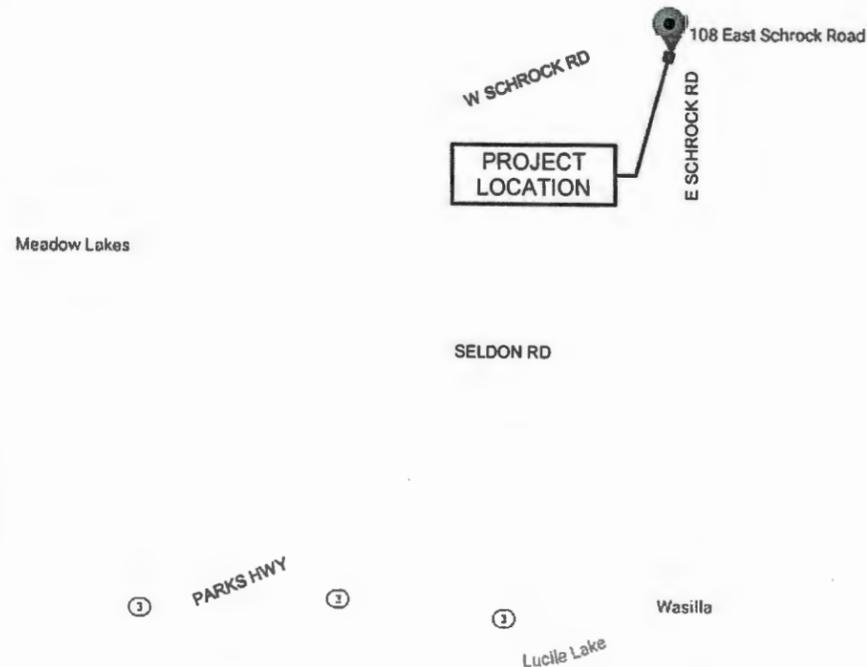
Notes
 This map was automatically generated using Geocortex Essentials.

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Site Data:
 LEGAL: TOWNSHIP 18N RANGE 1W
 SECTION 15 LOT C9
 ADDRESS: 108 E SCHROCK RD.
 CITY, STATE: WASILLA, AK
 ZONING: N/A
 LOT SIZE: 291,852 SF
 PARCEL: 22760

SITE VICINITY



NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS

I. CODE: 2012 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE STATE OF ALASKA TITLE 13.

II. SCOPE: NEW CONSTRUCTION
 DESCRIPTION OF PROJECT: NEW WOOD FRAMED TWO LEVEL STRUCTURE ON CONCRETE SLAB, 1-HOUR FIRE RATED CONSTRUCTION

III. OCCUPANT CLASSIFICATION:

LEVEL	AREA	FUNCTION	OCC
GROUND	2,160 SF	F-1	7
SECOND	600 SF	F-1	2

IV. SPECIAL DETAILED OCCUPANCY REQUIREMENTS
 N/A

V. GENERAL HEIGHTS AND AREAS

ADDRESS IDENTIFICATION: 8" TALL x 4" WIDE NUMBERS SIGNS SHALL BE PERMITTED SEPARATELY

BASIC ALLOWABLE (MOST RESTRICTIVE IBC T503): F-1
 14,000 SF / 2 STORY

ACTUAL AREA/STORY: 2,100 SF / 2 STORY

VI. TYPES OF CONSTRUCTION

TYPE OF CONSTRUCTION REQUIRED: VA
 OCCUPANT GROUP CLASSIFICATION (RESTRICTIVE): F-1

EXTERIOR WALL REQUIRED RATING (IBC T602)

DISTANCE	RATING (MOST RESTRICTIVE)
X < 5'	2-HOUR
5' < X < 10'	1-HOUR
10' < X < 30'	1-HOUR

TYPE VA CONSTRUCTION SHALL HAVE THE FOLLOWING 1-HOUR RATED ASSEMBLY TYPES:
 • EXTERIOR & LOAD BEARING WALLS
 • ROOF & FLOOR/CEILING ASSEMBLIES

VII. FIRE RESISTANCE REQ'D
 N/A

VIII. INTERIOR FINISHES TABLE 803.9 & 804.4

SPRINKLER: NOT REQUIRED

CLASS C WALL/CEILING FINISHES REQUIRED
 CLASS II FLOORS COMPLYING WITH DOC FF-1 'PILL TEST'

IX: FIRE PROTECTION SYSTEMS

IFC 508.1: PROVIDE KNOX BOX: "KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS AS REQUIRED BY THE CODE OFFICIAL."
 MOUNT KNOX BOX AT 68" AFG

IFC 503: FIRE APPARATUS ROAD WITHIN 150' OF ALL EXTERIOR WALLS MEASURED BY WALKING DISTANCE.

IFC 903 NFPA 13 SPRINKLER: NOT REQUIRED

IFC 906.1: PORTABLE FIRE EXTINGUISHERS REQUIRED: EVERY 75'

IFC 907: MANUAL PULL FIRE ALARM: NOT REQUIRED

X. MEANS OF EGRESS

AREA:
 CORRIDOR WIDTH SHALL NOT BE LESS THAN: 36"
 DOORS SHALL NOT PROJECT MORE THAN 7" INTO WIDTH.

EXIT SIGNS REQUIRED WHERE MULTIPLE EXIT REQUIRED
 EXIT SHALL BE ILLUMINATED, 90 MIN BATTERY BACKUP

MAX DEAD END: 20 FT (IBC 1016.4)
 COMMON PATH: 75 FT (IBC T1014.3)
 DISTANCE TO EXIT WHERE MULTIPLE: 200 FT (IBC T1016.2)

EGRESS PATH SHALL BE ILLUMINATED BY WITH 1 FOOT-CANDLE AT ALL TIMES WITH 90 MINUTE BATTERY BACKUP

STAIRS:
 4-7" RISE & 11" TREAD MINIMUM. MINIMUM WIDTH 44", UNLESS SERVING 50 OR FEWER PERSONS, IN WHICH CASE THE REQUIRED WIDTH IS 36". ONE LANDING REQ'D FOR EVERY 12' OF OVERALL RISE AND BE MINIMUM DEPTH EQUAL TO WIDTH, CLEAR OF DOOR SWING.

RAMP: N/A

XI: ACCESSIBILITY
 NEW CONSTRUCTION & ALTERATIONS REQUIRE COMPLIANCE WITH ACCESSIBILITY WITH REGARD TO TOILET FACILITIES, DRINKING FOUNTAINS, AND PRIMARY FUNCTION - PER ICC/ANSI A117.1-2009

XII: INTERIOR ENVIRONMENT

LIGHTING & TEMPERATURE MEP

MINIMUM ROOM HEIGHT NOT LESS THAN 7'-6"
 EXCEPTION: STORAGE, RESTROOM, KITCHEN & MEZZANINE AREAS PERMITTED MINIMUM HEIGHT OF 7'-0"
 MINIMUM WIDTH IN ALL OCCUPIED AREAS NOT LESS THAN 3' EXCEPT TO ACCESS MEP, 2'

UNOCCUPIED SPACES CRAWLSPACE OR ATTIC (YES/NO):

ATTIC ACCESS: TBD - AN OPENING NOT LESS THAN 20"X30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30". CLEAR HEADROOM OF NOT LESS THAN 30" SHALL BE PROVIDED IN THE ATTIC SPACE AT OR ABOVE THE ACCESS OPENING.

CRAWL SPACES: N/A, SLAB ON GRADE

XXIV: PLUMBING FACILITIES
 (IBC T2902.1)

TO BE PROVIDED:

- 1 WATER CLOSET
- 1 LAVATORY
- 1 SERVICE SINK

G-1	Vicinity, Index & Code Review
SD-1	Site Plan
A-0	Specifications
A-1.1	Level One Floor Plan
A-1.2	Level Two Floor Plan
A-1.3	Roof Plan
A-2.1	Level One Reflected Ceiling Plan
A-2.2	Level Two Reflected Ceiling Plan
A-3.1	Sections & Details
A-4.1	Elevations

S0.1	
M0.1	
E0.1	



Determine DESIGN LLC AECL1613
 903 W. NORTHERN LTS, BLVD # 206
 ANCHORAGE, AK 99503
 Office: (907)339-9100
 dan@determinedesign.com

Sheet Issue Date:
 10/22/2019 9:09:18 AM
 Drawn by: CNH
 Checked by: DHC



Project Title: Bubba Greens
 Prepared for: Bubba Greens, LLC
 Sheet Title: Vicinity, Index & Code Review
 Address: 108 E Schrock Rd. Wasilla, AK 99654

RECEIVED
 DEC 22 2019
 MATANUSKA-SUSITNA BOROUGH
 DEVELOPMENT SERVICES

G-1

190801



Site Data:
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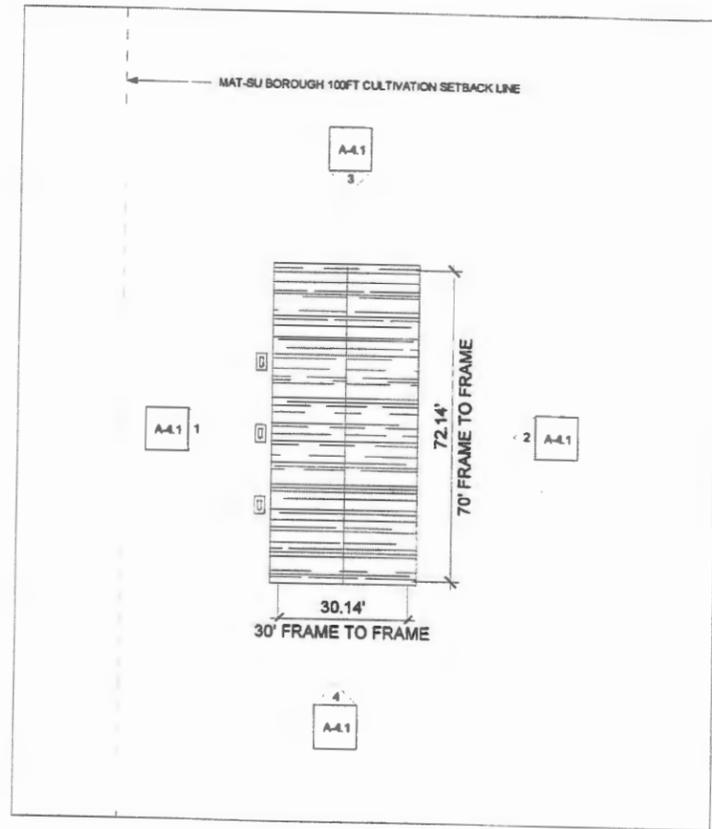
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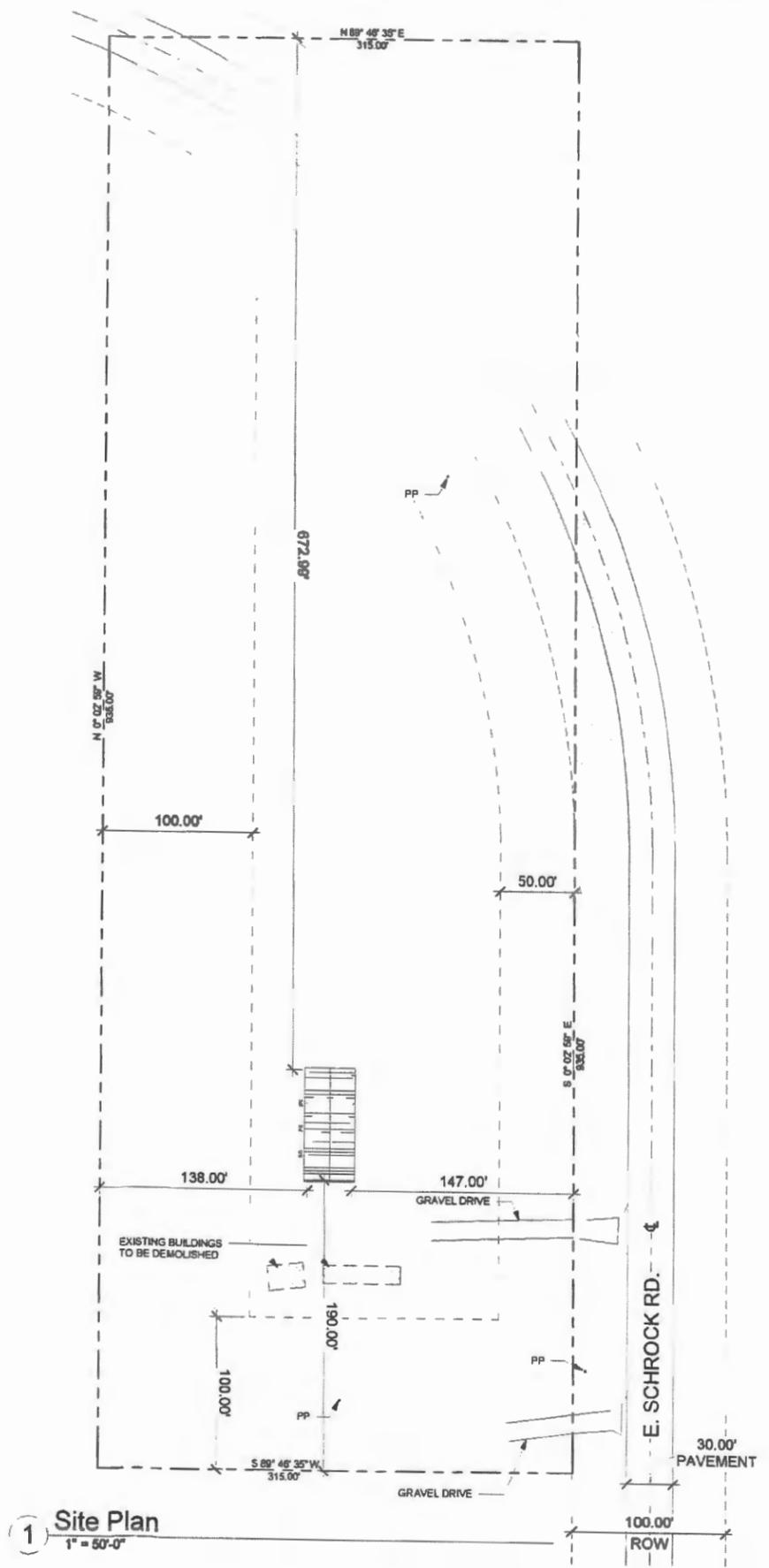


Project Title: Bubba Greens
 Prepared for: Bubba Greens, LLC
 Sheet Title: Site Plan
 Address: 108 E Schrock Rd. Wasilla, AK 99654

SD-1



2 Enlarged Building
 1" = 20'-0"



1 Site Plan
 1" = 50'-0"

NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS



SPECIFICATIONS

01 GENERAL REQUIREMENTS

- A. PROJECT IDENTIFICATION: BUBBA GREENS, LLC
- B. PROJECT SUMMARY: NEW TWO STORY BUILDING, TYPE VA, FOR MARIJUANA CULTIVATION
- C. DESCRIPTION OF WORK: SLAB ON GRADE, WOOD FRAMED TWO STORY BUILDING. THREE GROW ROOMS WITH APPROPRIATE HVAC SYSTEMS. 1-HOUR RATED TYPE VA CONSTRUCTION.
- D. PERMITS AND FEES ARE THE RESPONSIBILITY OF OWNER TO PURCHASE AND CONTRACTOR TO OBTAIN.
- E. CODES: COMPLY WITH APPLICABLE CODES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. SUBMIT COPIES OF INSPECTION REPORTS, NOTICES AND SIMILAR COMMUNICATIONS TO ARCHITECT.
- F. DIMENSIONS: VERIFY DIMENSIONS INDICATED ON DRAWINGS WITH FIELD DIMENSIONS BEFORE FABRICATION OR ORDERING OF MATERIALS.
- G. EXISTING CONDITIONS: NOTIFY ARCHITECT OF EXISTING CONDITIONS DIFFERING FROM THOSE INDICATED ON THE DRAWINGS. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS OR FILL WITHOUT PRIOR WRITTEN APPROVAL FOR PERMIT.
- H. COORDINATION
 - 1. COORDINATE WORK OF ALL TRADES
 - 2. PREPARE COORDINATION DRAWINGS OF WORKING AREAS WITH CLOSE TOLERANCES
 - 3. VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS.
- I. ADJUSTMENT TO SPRINKLER HEAD: N/A
- J. ADJUSTMENT TO EMERGENCY ALARM: N/A

02 EXISTING CONDITIONS (NOT USED)

03 CONCRETE

CONCRETE FOUNDATIONS TO BE DESIGNED AND INSTALLED AS PER STRUCTURAL DRAWINGS.

04 MASONRY (NOT USED)

05 METALS (NOT USED)

06 WOOD, PLASTIC, COMPOSITES (NOT USED)

07 THERMAL & MOISTURE PROTECTION

23.60.402.1.1 - INSULATION AND FENESTRATION CRITERIA - CLIMATE ZONE: 7

- ROOFS - ATTIC AND OTHER-R-38
- WALLS - ABOVE GRADE - WOOD FRAMED AND OTHER R-13+ R-7.5CI OR R-21
- FLOORS - SLAB-ON-GRADE, UNHEATED, EXTENDING 36" BELOW R-8
- OPAQUE DOORS - SWINGING U-0.50 (R-2)
- OPAQUE DOORS - ROLL-UP OR SLIDING U-0.50 (R-2)
- VERTICAL FENESTRATION; FRAMING MATERIALS OTHER THAN METAL WITH OR WITHOUT METAL REINFORCEMENT OR CLADDING U-0.35 (R-2.9)

VAPOR RETARDER: INTERIOR INSULATION LINER TO FUNCTION AS CLASS 1 VAPOR RETARDER: ALLOWING NO GREATER THAN 1 PERM.

AIR BARRIER: SHALL BE IMPERMEABLE TO MOISTURE INFILTRATION BUT PERMEABLE TO VAPOR EXHAUST. SUBSTRATE (PLYWOOD, EXTERIOR GYPSUM, ETC.) MUST BE COMPLETELY DRY PRIOR TO INSTALLATION. ALL PENETRATIONS SHALL BE SEALED: SELF-CLOSING SEALANT FOR EXTERIOR FASTENERS & LIQUID SPRAY-APPLIED FOR WINDOWS AND DUCT PENETRATIONS. INSTALLATIONS OVER 40" SHALL ALSO COMPLY WITH ASTM E84 FOR SURFACE BURNING CHARACTERISTICS.

SEALANT: ALL EXTERIOR SEALANT USED FOR PENETRATIONS MUST BE OF ELASTOMERIC MATERIAL CAPABLE OF THERMAL MOVEMENT AND RECOVERY. SILICONE SEALANT(20 YEAR LIFE) TO BE USED FOR GLAZING, POLYURETHANE (5 YEAR LIFE) OR HYBRID 'STPE'(10 YEAR LIFE) FOR OTHERS. PREPARE JOINT: CLEAN, DRY, FREE OF PAINT FOR FULL ADHESION. APPLY BACKER ROD TO JOINTS OR, WHERE DEPTH DOES NOT PERMIT, BOND-BREAKER TAPE. DEPTH OF JOINT FILL SHOULD BE APPROXIMATELY HALF OF WIDTH, WITH A MINIMUM OF 1/4" DEPTH AND A MAXIMUM OF 1/2" DEPTH. ALL JOINTS MUST BE TOOLED FLUSH. PULL-TEST ADHESION POST-INSTALL. NON-ELASTOMERIC, CAULK, MAY BE USED FOR INTERIOR APPLICATIONS ONLY.

METAL ROOF PANELS:

THE INSTALLATION OF METAL ROOF PANELS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION. METAL ROOF PANEL ROOF COVERINGS SHALL BE APPLIED TO SPACED SUPPORTS AND SECURED TO THE SUPPORTS IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S FASTENERS. THE MINIMUM SLOPE FOR LAPPED, NON-SOLDERED SEAM METAL ROOFS WITH APPLIED LAP SEALANT SHALL BE ONE-HALF UNIT VERTICAL IN 12 UNITS HORIZONTAL (4-PERCENT SLOPE). LAP SEALANTS SHALL BE APPLIED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTALLATION. MATERIAL STANDARDS, METAL-SHEET ROOF COVERING SYSTEMS THAT INCORPORATE SUPPORTING STRUCTURAL MEMBERS SHALL BE DESIGNED FOR SEISMIC CATEGORY D

ROOF COVERING TYPE STANDARD APPLICATION: STEEL ASTM A 924. PAINT SYSTEMS IN ACCORDANCE WITH ASTM A 755 SHALL BE APPLIED OVER STEEL PRODUCTS WITH CORROSION-RESISTANT COATINGS COMPLYING WITH ASTM A 792, ASTM A 875, ASTM A 463 OR ASTM A 653.

GUTTERS/LEADERS FOR 1" RAINFALL PER HOUR ZONE
 MAX SPACING OF LEADERS 50' & PERPENDICULAR ROOF LENGTH = 40', AREA DRAINED IS 2,000 SF. MINIMUM DEPTH OF GUTTERS TO BE 6" FOR 1/4" SLOPE & MINIMUM WIDTH OF GUTTERS TO BE 4" FOR MAXIMUM 2,880 SF DRAINAGE. MINIMAL DIMENSIONS OF RAIN LEADERS = 1-3/4" X 2-1/2"

08 OPENINGS

DOOR HARDWARE: ALL FINISHES TO BE STAINLESS, CHROME, OR BRUSHED NICKEL, SEE DOOR SCHEDULE FOR SPECIFIC HARDWARE SCHEDULES. FINISH HARDWARE AS NOTES IN DOOR HARDWARE SCHEDULE BEST PRODUCTS OF HAGAR, SCHLAGE, LCN.

L: PASSAGE LOCK, DOES NOT LOCK ON EITHER SIDE, EITHER LEVER OPERATES LATCHBOLT AT ALL TIMES.

E: ENTRY LOCK/LATCH, LATCHBOLT ON ENTRY SIDE, EITHER LEVER OPERATES LATCHBOLT EXCEPT WHEN LOCKED FROM EGRESS SIDE, LOCKED POSITION MAY BE RETAINED OR MAY RESET EVERY ENTRY, LATCHBOLT IS ONLY OPERATED VIA KEY ON ENTRY SIDE WHILE LOCKED, EGRESS SIDE LEVER ALWAYS ACTIVE.

B: BATHROOM PRIVACY LOCK, EITHER LEVER OPERATES LATCHBOLT UNLESS LOCKED FROM EGRESS SIDE, LOCK AUTOMATICALLY RELEASES WITH OPERATION OF EGRESS SIDE LEVER, EMERGENCY KEY UNLOCKS LATCH FROM ENTRY SIDE, EGRESS LEVER ALWAYS ACTIVE.

I: WHERE INDICATED PROVIDE PANIC HARDWARE, PUSH BAR FOR EMERGENCY ESCAPE.

DOOR FRAMES: KD 20 GA. EXTERIOR, 18 GA INSULATED HOLLOW METAL INTERIOR. HOLLOW METAL: PROVIDE HOLLOW METAL FROM COLD FORMED SHEET STEEL. GAGE AS INDICATED FOR DOOR AND RELITE FRAMES. PREFABRICATE FOR HARDWARE AND GLAZING, THROAT TO MATCH WALL THICKNESS. KD DOOR FRAMES ARE ACCEPTABLE. MANUFACTURE PER CODE FOR THE APPLICATION BY TIMELY DOORS, REPUBLIC, OR APPROVED EQUAL. FURNISH PRE-FINISHED OR FIELD PAINT UPON APPROVAL OF BUILDING OWNER'S REPRESENTATIVE.

WINDOWS & GLASS: INSTALL PER MANUFACTURER RECOMMENDATIONS. WHERE WITHIN 3' OF DOOR, STAIR LANDING, OR 18" FROM WALKING SURFACE USE SAFETY GLASS.

09 FINISHES

SEE ROOM FINISH SCHEDULE FOR SPECIFIC ROOM FINISH

10 SPECIALTIES

SIGNAGE: PER ANSI A117.1 ADA RESTROOM SIGN

(1) CHARACTERS AND THEIR SYMBOLS THAT CONTRAST WITH THEIR BACKGROUND. (2) IDENTIFICATION SYMBOLS ARE TO BE CENTERED ON THE DOOR 60" ABOVE FLOOR AND ARE TO BE DIFFERENT FROM THE DOOR IN COLOR AND CONTRAST. (3) ADA SIGN REQUIRED. PROVIDE IDENTIFICATION SIGN ON STRIKE SIDE OF DOOR LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MIN. SHALL BE A MINIMUM OF 5/8" HIGH & SHALL BE SAN-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE

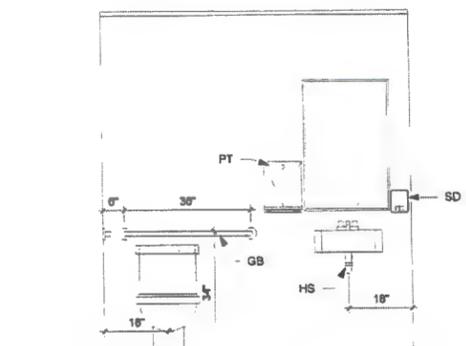
TOILET COMPARTMENTS: BEST PRODUCTS OF BOBRICK OR SIMILAR.

TOILET ACCESSORIES, WITH ABBREVIATIONS

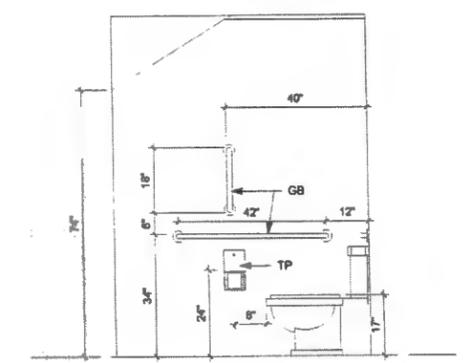
GB: ANSI GRAB BARS, SEE DRAWINGS FOR DIMENSIONS AND MOUNTING LOCATIONS.
 SD: SOAP DISPENSER, WALL MOUNT
 TP: TOILET PAPER ROLL, WALL MOUNT
 HS: HANDY-SHIELD MOUNTED TO UNDERSIDE OF DRAIN
 PT: PAPER TOWEL DISPENSER, WALL MOUNT

11 EQUIPMENT (NOT USED)

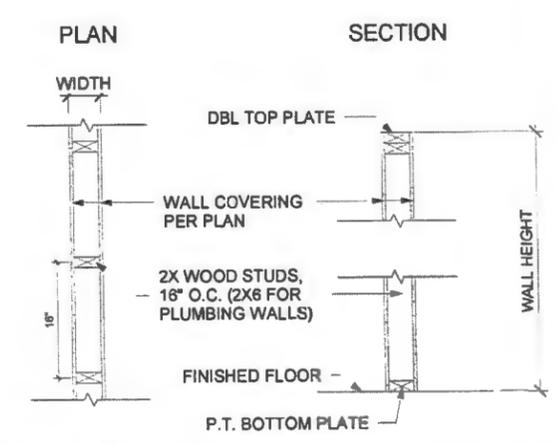
12 FURNISHINGS (NOT USED)



1 Elevation 1 - a
1/2" = 1'-0"



2 Elevation 1 - d
1/2" = 1'-0"



- WALL NOTES:**
1. SEE STRUCTURAL FOR SHEAR WALL REQUIREMENTS
 2. LOAD BEARING WALLS TO BE 1-HOUR RATED W/ TWO(2) LAYERS OF 5/8" GYPSUM, TYPE X

3 New Partition, TYP.(Wood Stud)
1" = 1'-0"

190801



Determine DESIGN LLC AECL1613
 903 W. NORTHERN LITS, BLVD # 206
 ANCHORAGE, AK 99503
 Office: (907)339-9100
 dan@deteterminedesign.com

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Sheet Issue Date:
 10/22/2019 9:09:12 AM
 Drawn by: CNH
 Checked by: DHC



Project Title: Bubba Greens
 Prepared for: Bubba Greens, LLC
 Sheet Title: Specifications
 Address: 108 E Schrock RD, Wasilla, AK 99654

A-0

Room Schedule							
#	Name	Area	Wall Finish	Ceiling Finish	Base Finish	Floor Finish	Comments
101	ENTRY	192 SF	GYP/P1	GYP/P1	RB1	C	
102	RESTROOM	44 SF	MR/P1	MR/P1	RB1	C	
103	OFFICE	112 SF	GYP/P1	GYP/P1	RB1	C	
104	CORRIDOR	299 SF	GYP/P1	GYP/P1	RB1	C	
105	VEG	397 SF	PLY/P1	GYP/P1	RB1	C	SLOPE 1/8":12" TO CENTER DRAIN
106	BLOOM	397 SF	PLY/P1	GYP/P1	RB1	C	SLOPE 1/8":12" TO CENTER DRAIN
107	BLOOM	397 SF	PLY/P1	GYP/P1	RB1	C	SLOPE 1/8":12" TO CENTER DRAIN
108	DRYING	130 SF	PLY/P1	GYP/P1	RB1	C	
109	UPPER LEVEL	368 SF	GYP/P1	GYP/P1	RB1	C	

ROOM SCHEDULE LEGEND

GYP: GYPSUM WALL BOARD
 MR: MOISTURE RESISTANT GYPSUM
 P1: LATEX ACRYLIC, MOLD/MOISTURE RESISTANT PAINT
 RB1: 4" (MIN) RUBBER COVE BASE
 C: SLAB ON GRADE, SEALED
 PLY: 1/2" PLYWOOD

Door Schedule							
Door #	Width x Height	Type	Room	Door Material	Frame Material	Hardware Group	Comments
100A	72"x80"	DBL FLUSH	ENTRY	IHM	IHM	m	1,2,3
100B	36"x80"	FLUSH	EMERGENCY EXIT	IHM	IHM	E	1,2,3
101	36"x80"	FLUSH	OFFICE	WD	WD	C	3
102	36"x80"	FLUSH	RESTROOM	WD	WD	B	3
103	36"x80"	FLUSH	VEG	WD	WD	L	2,3
104	36"x80"	FLUSH	VEG	WD	WD	L	2,3
105	36"x80"	FLUSH	BLOOM	WD	WD	L	2,3
106	36"x80"	FLUSH	BLOOM	WD	WD	L	2,3
107	36"x80"	FLUSH	BLOOM	WD	WD	L	2,3
108	36"x80"	FLUSH	BLOOM	WD	WD	L	2,3
109	36"x80"	FLUSH	DRYING	WD	WD	L	2,3

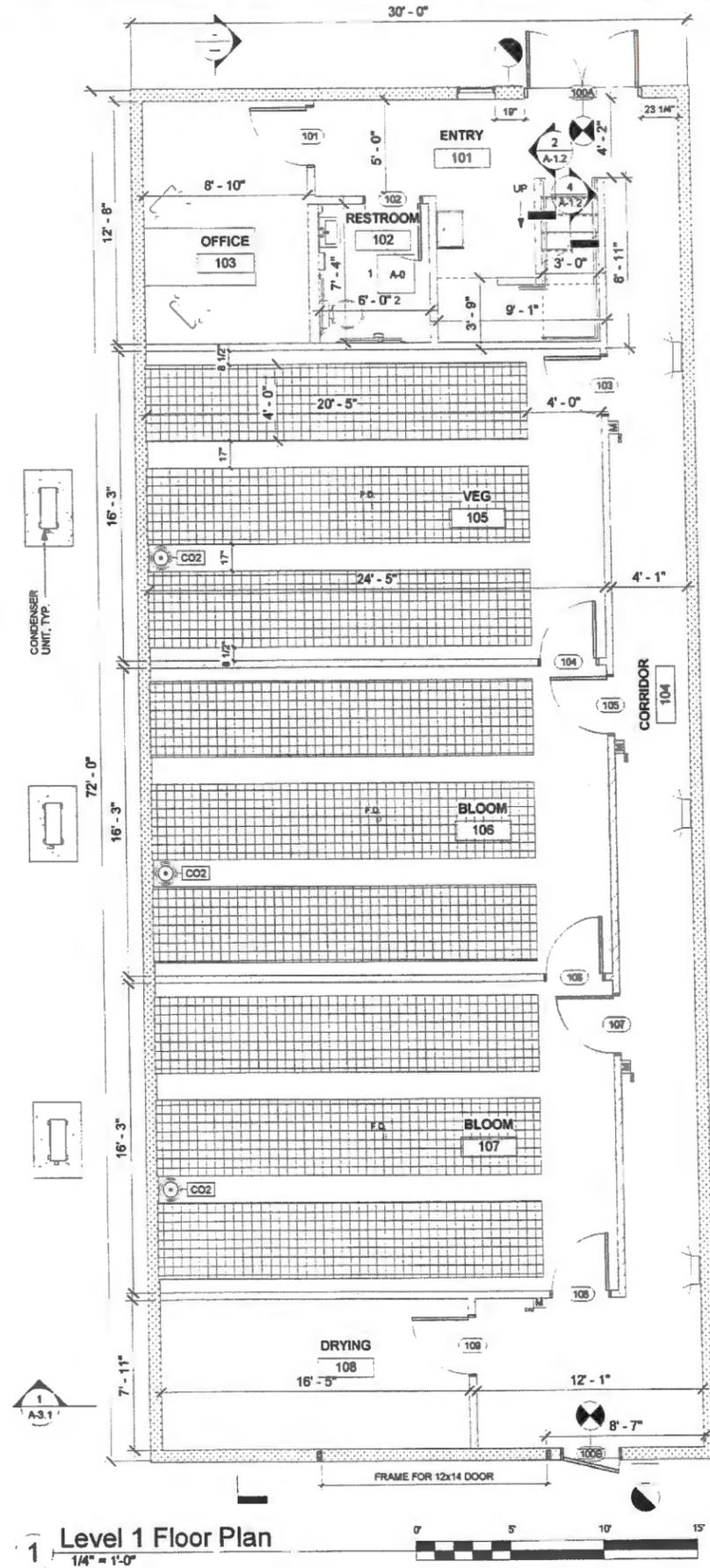
DOOR SCHEDULE LEGEND

IHM: INSULATED HOLLOW METAL
 WD: SOLID CORE WOOD
 1. DOOR CLOSER
 2. WEATHERSTRIPPING
 3. KICKPLATE

DOOR HARDWARE SCHEDULE LEGEND

L: PASSAGE LATCH, NO LOCK OPTION
 E: ENTRY LATCH, COMMERCIAL LOCK
 B: PRIVACY LATCH
 C: KEYED LATCH, KEY ONLY OPERATION

KEY - SYMBOL - LEGEND	
	NEW EXTERIOR WALL
	NEW INTERIOR WALL
	NEW 2x6(PLUMBING) WALL
	FIRE EXTINGUISHER, 2A:10BC, MOUNT 48" AFF (MEASURED TO GRIP)
	EXIT SIGN
	CO2 MONITOR & ALARM
	EMERGENCY LIGHT, 90 MINUTE BATTERY
	EXTERIOR EGRESS LIGHT
	OSHA ACCESS LADDER



1 Level 1 Floor Plan
 1/4" = 1'-0"



Determine DESIGN LLC AECL1613
 903 W. NORTHERN LTS, BLVD # 206
 ANCHORAGE, AK 99503
 Office: (907)339-9100
 dan@eterminedesign.com

Sheet Issue Date:
 10/22/2019 9:09:13 AM
 Drawn by: CNH
 Checked by: DHC



Project Title: Bubba Greens
 Prepared for: Bubba Greens, LLC
 Sheet Title: Level One Floor Plan
 Address: 108 E Schrock RD. Wasilla, AK 99654

A-1.1

NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS



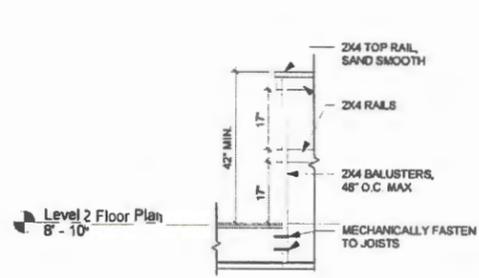
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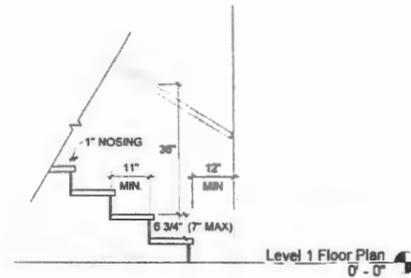


Project Title: Bubba Greens
Prepared for: Bubba Greens, LLC
Sheet Title: Level Two Floor Plan
Address: 108 E Schrock RD. Wasilla, AK 99654

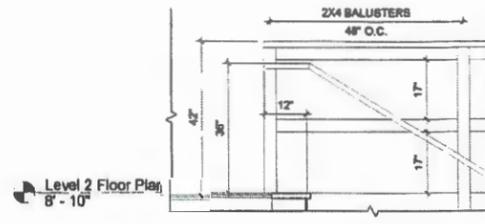
A-1.2



4 Guardrail Section
1/2" = 1'-0"



2 Stair Detail, Bottom
1/2" = 1'-0"

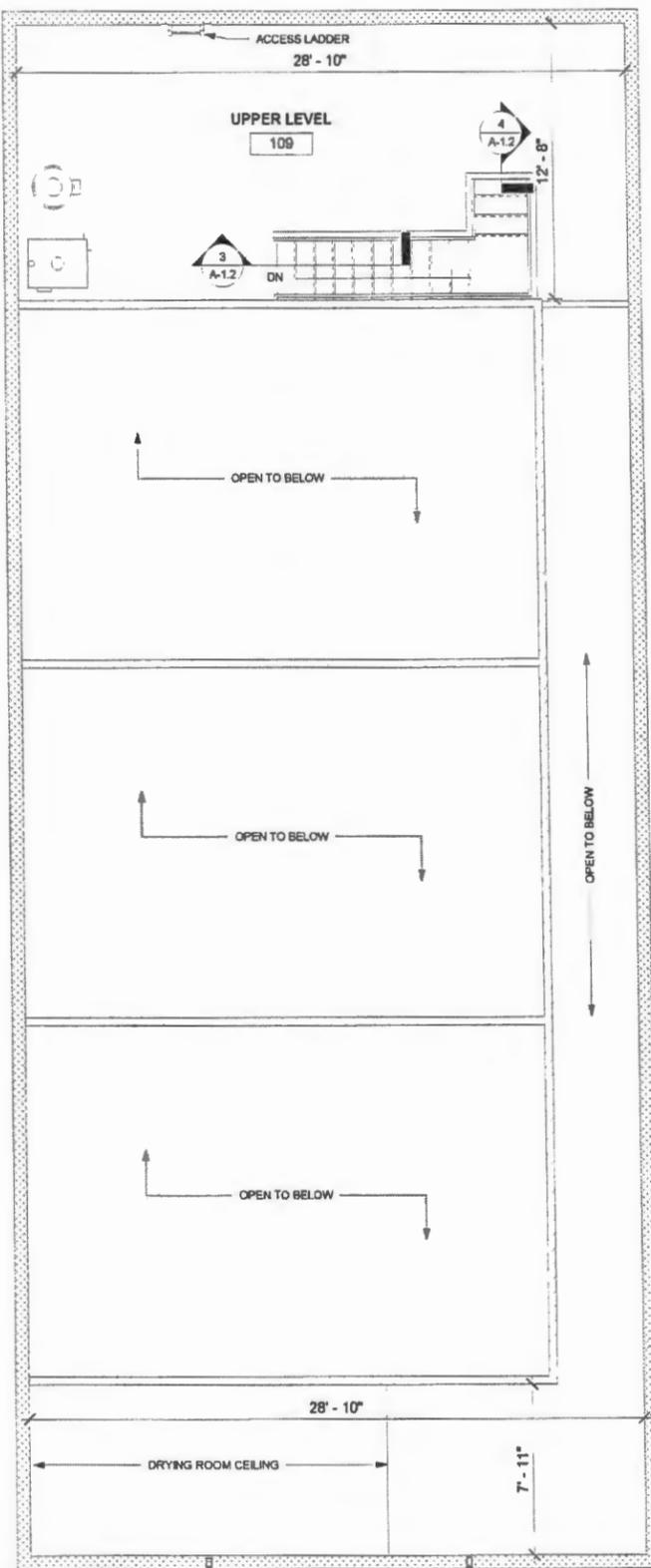


3 Stair Detail, Top
1/2" = 1'-0"

KEY - SYMBOL - LEGEND	
	NEW EXTERIOR WALL
	NEW INTERIOR WALL
	NEW 2x6 (PLUMBING) WALL
	FIRE EXTINGUISHER, 2A:10BC, MOUNT 48" AFF (MEASURED TO GRIP)
	EXIT SIGN
	CO2 MONITOR & ALARM
	EMERGENCY LIGHT, 90 MINUTE BATTERY
	EXTERIOR EGRESS LIGHT
	OSHA ACCESS LADDER



1 Level 2 Floor Plan
1/4" = 1'-0"



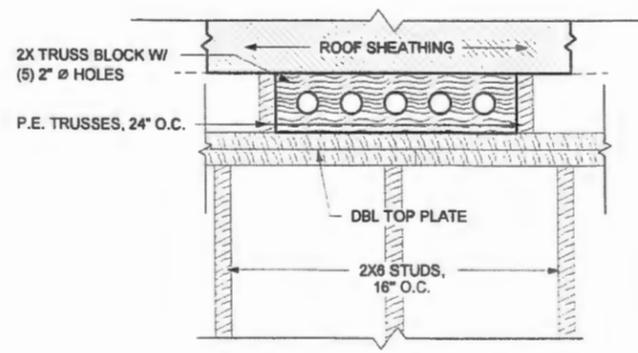
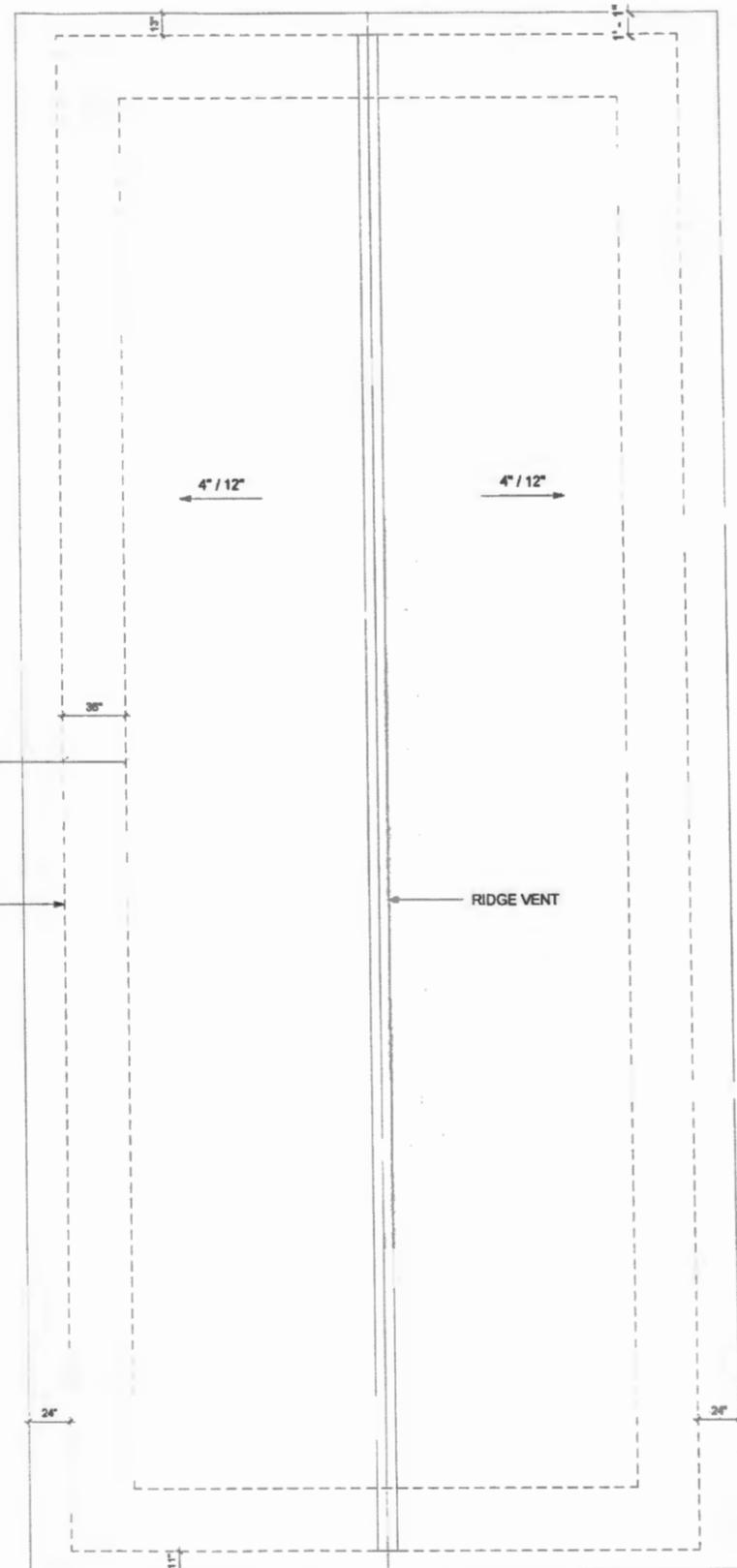
NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS



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2 Truss Block Detail
1 1/2" = 1'-0"

1 Roof Plan
1/4" = 1'-0"



Project Title: Bubba Greens
Prepared for: Bubba Greens, LLC
Sheet Title: Roof Plan
Address: 108 E Schrock RD. Wasilla, AK 99654

A-1.3

ROOFING NOTES:

- SLOPE = 4" IN 12" MINIMUM
- MATERIAL: ASPHALT ROOFING SHINGLES
- FURNISH COMPLETE SYSTEM
- ICE SHIELD WITHIN 3' OF EXTERIOR WALL
- INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR 10 YEAR WARRANTY
- FLASH ALL PENETRATIONS AND WALL INTERSECTIONS
- REQUIRED VENTING = 1/150
- ROOF = 2,160 SF
- REQUIRED VENTING = 14.4 SF OR 2,074 SI
- 72" LENGTH (EACH SIDE)
- REQUIRED EAVE VENTING = 1,037 SI OR 7.2 SI PER LF, EACH SIDE
- REQUIRED RIDGE VENTING = 1,037 SI OR 14.4 SI PER LF
- PROVIDE FIVE(5) 2" Ø PER 2' TRUSS BLOCK FOR 7.85 SI PER LF
- PROVIDE 1 1/2" RIDGE VENT FOR 15 SI PER LF

SUBMITTAL PACKAGE REQUIRED

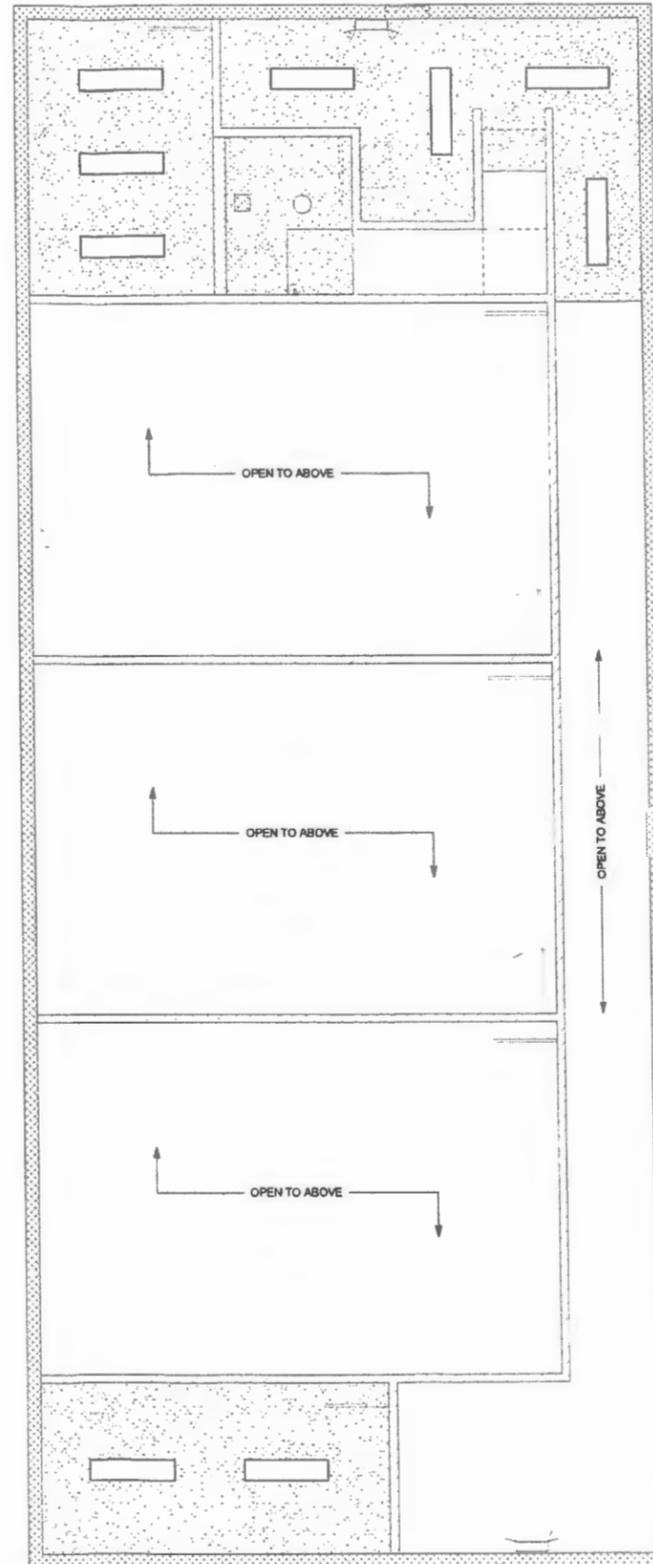


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KEY - SYMBOL - LEGEND	
	GYPSUM HARD LID
	EXTERIOR EGRESS LIGHT
	EXIT SIGN
	1' x 4' LINEAR FIXTURE, SURFACE MOUNT (USE HIGH BAY FOR >10'-0" AFF)
	ROUND CEILING LIGHT, SURFACE MOUNT
	1,000 WATT GROW LIGHT
	90-MINUTE EMERGENCY LIGHT



1 Level 1 Reflected Ceiling Plan
1/4" = 1'-0"

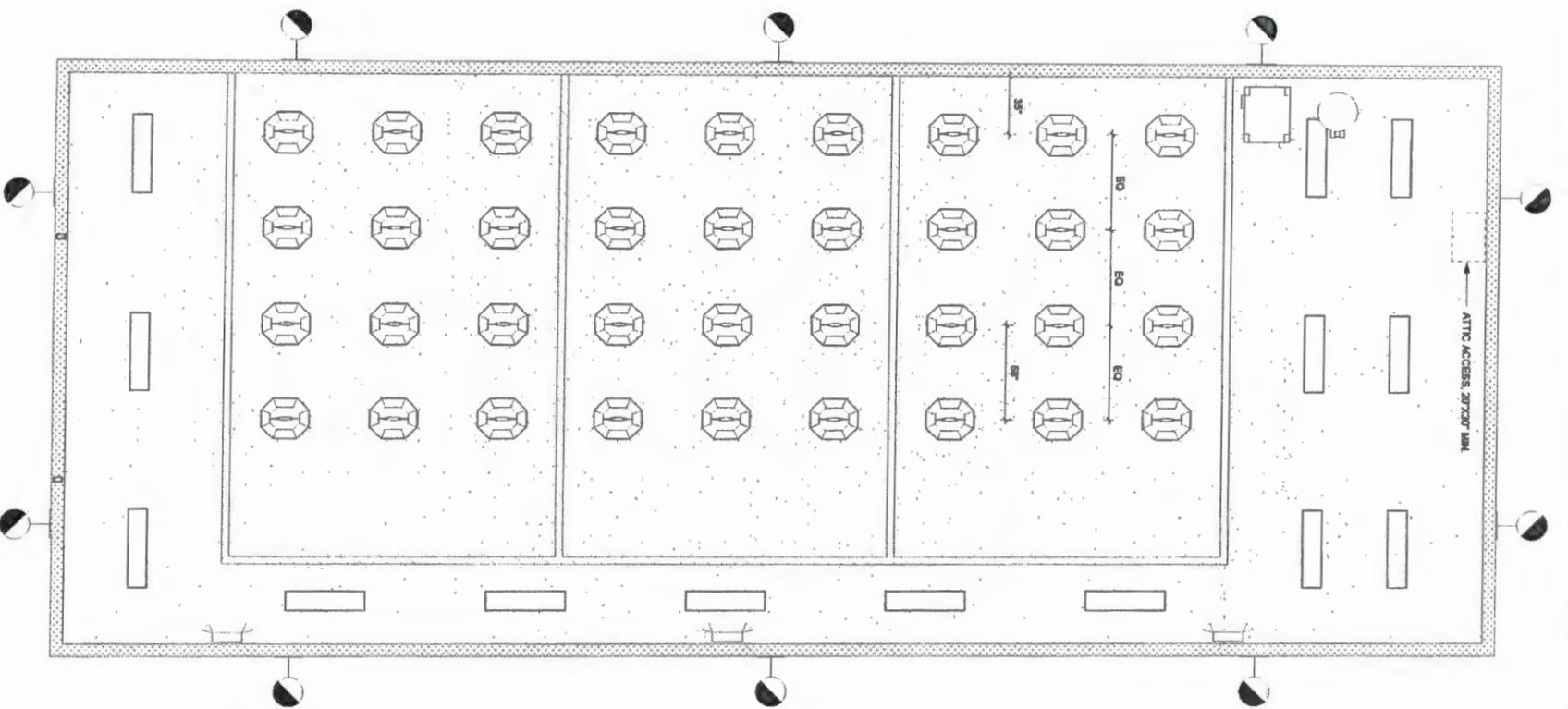


Project Title: Bubba Greens
Prepared for: Bubba Greens, LLC
Sheet Title: Level One Reflected Ceiling Plan
Address: 108 E Schrock RD. Wasilla, AK 99654

A-2.1

NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS

KEY - SYMBOL - LEGEND	
	GYPSUM HARD LID
	EXTERIOR EGRESS LIGHT
	EXIT SIGN
	1' x 4' LINEAR FIXTURE, SURFACE MOUNT (USE HIGH BAY FOR >10'-0" AFF)
	ROUND CEILING LIGHT, SURFACE MOUNT
	1,000 WATT GROW LIGHT
	90-MINUTE EMERGENCY LIGHT



1 Level 2 Reflected Ceiling Plan
1/4" = 1'-0"

A-2.2

Project Title: Bubba Greens
 Prepared for: Bubba Greens, LLC
 Sheet Title: Level Two Reflected Ceiling Plan
 Address: 108 E Schrock RD. Wasilla, AK 99654



Checked by: DHC
 Drawn by: CNH
 Sheet Issue Date: 10/22/2019 3:09:16 AM

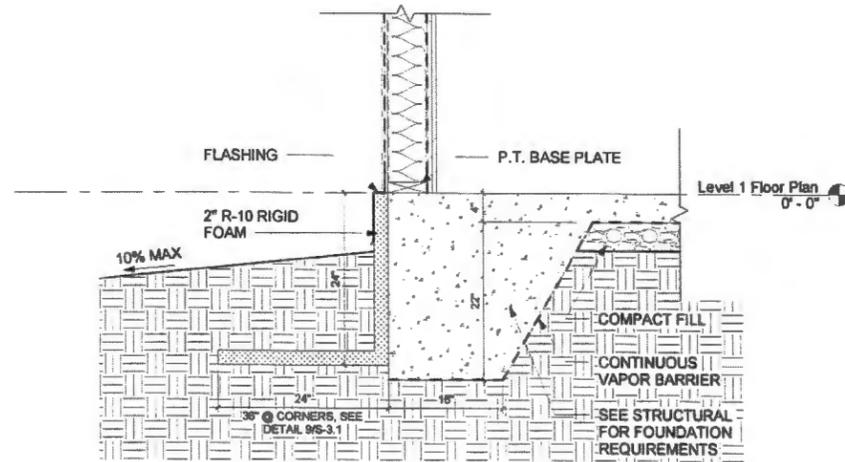
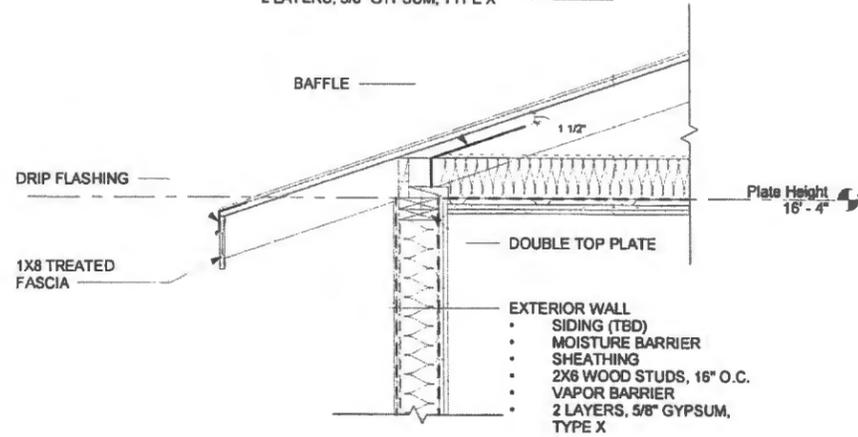
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190901

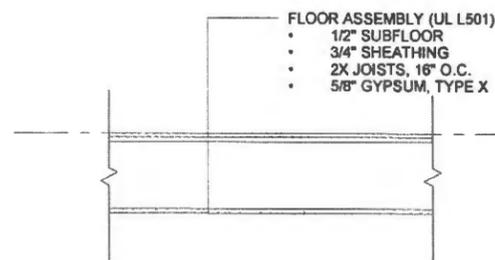
NOTE:
FIRE RATED ROOF & WALL ASSEMBLIES ARE RATED PER IBC TABLE
722.2.1.4(2), PROVIDED ON THIS SHEET

- 1-HOUR ROOF ASSEMBLY
- ROOFING MATERIAL (TBD)
 - STRUCTURAL SHEATHING
 - P.E. WOOD TRUSSES BY OTHERS
 - BATT INSULATION, R-38 MIN.
 - 7/8" RESILIENT CHANNEL, 12" O.C.
 - 2 LAYERS, 5/8" GYPSUM, TYPE X



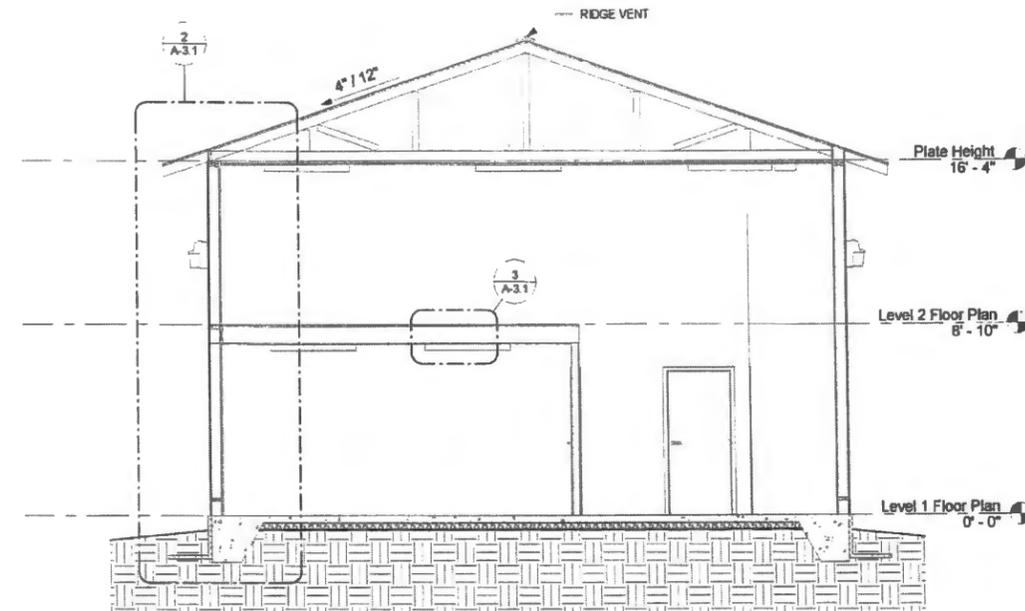
2 Exterior Assemblies

1" = 1'-0"



3 Floor/Ceiling

1" = 1'-0"



1 Building Section

1/4" = 1'-0"

TABLE 722.2.1.4(2)
TIME ASSIGNED TO FINISH MATERIALS ON FIRE-EXPOSED SIDE OF WALL

FINISH DESCRIPTION	TIME (minutes)
GYPSUM WALLBOARD	
3/8"	10
1/2"	15
5/8"	20
2 LAYERS OF 3/8"	25
1 LAYER 3/8", 1 LAYER 1/2"	35
2 LAYERS 1/2"	40
TYPE X GYPSUM WALLBOARD	
1/2"	25
5/8"	40
PORTLAND CEMENT-SAND PLASTER ON MASONRY	See Note a
PORTLAND CEMENT-SAND PLASTER ON METAL LATH	
3/4"	20
7/8"	25
1"	30
GYPSUM SAND PLASTER ON 3/8" GYPSUM LATH	
1/2"	35
5/8"	40
3/4"	50
GYPSUM SAND PLASTER ON METAL LATH	
3/4"	50
7/8"	60
1"	80

NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS

190801



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Project Title: Bubba Greens
Prepared for: Bubba Greens, LLC
Sheet Title: Sections & Details
Address: 108 E Schrock RD, Wasilla, AK 99654

A-3.1



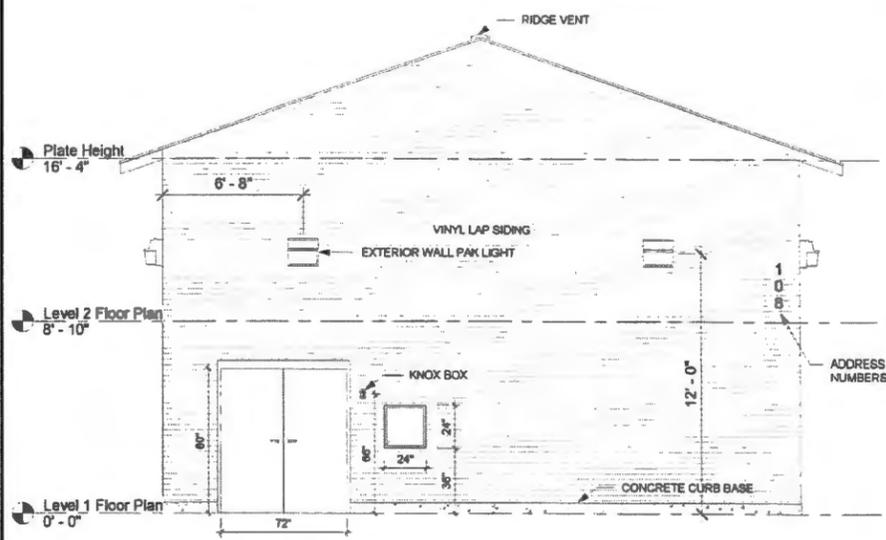
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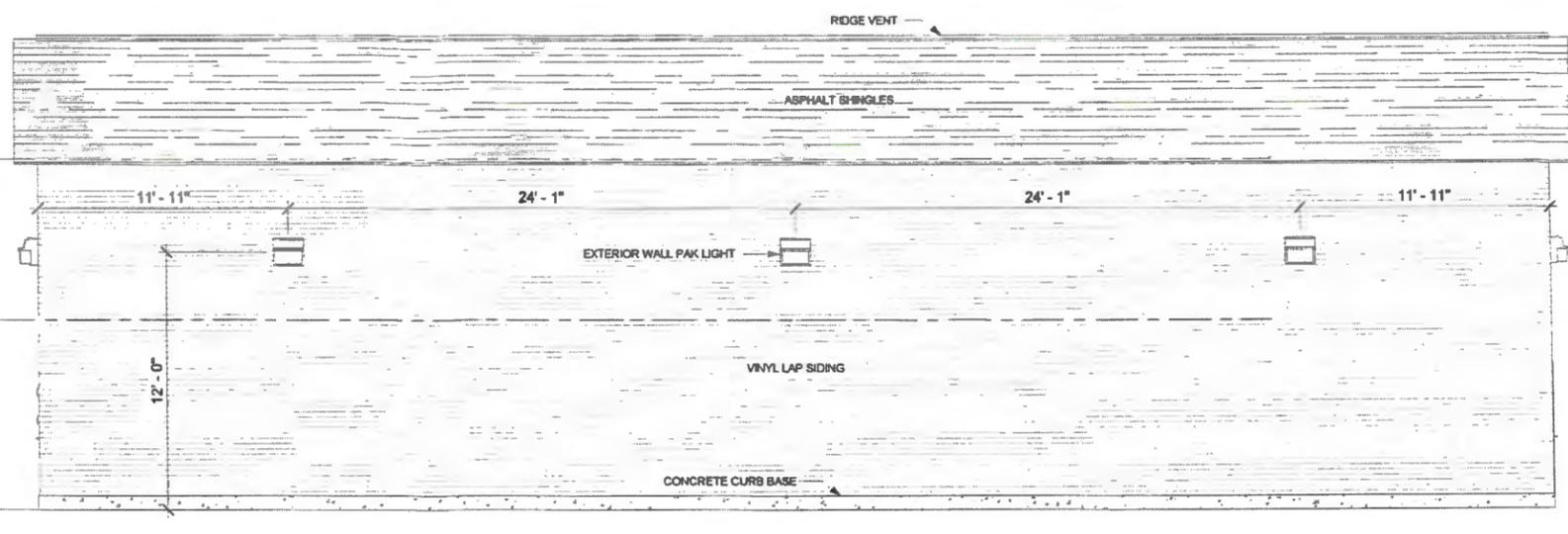
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Drawn by: CNH

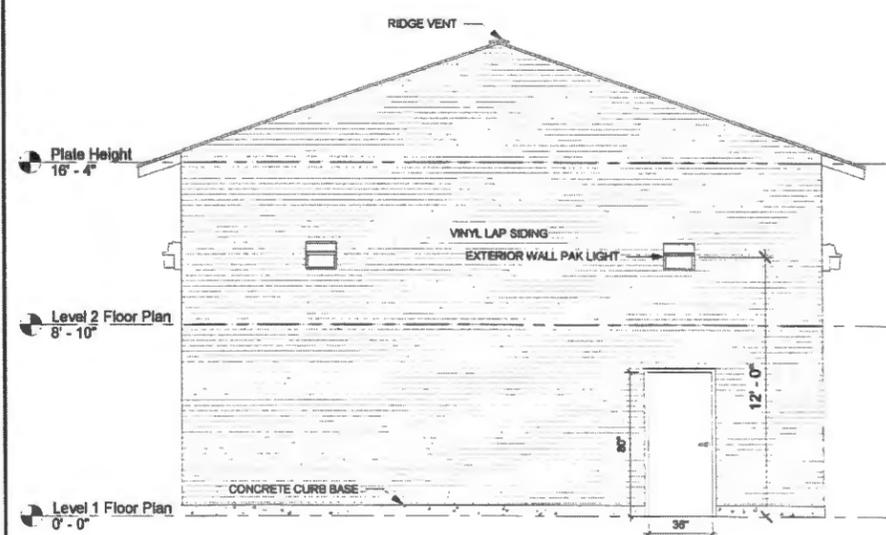
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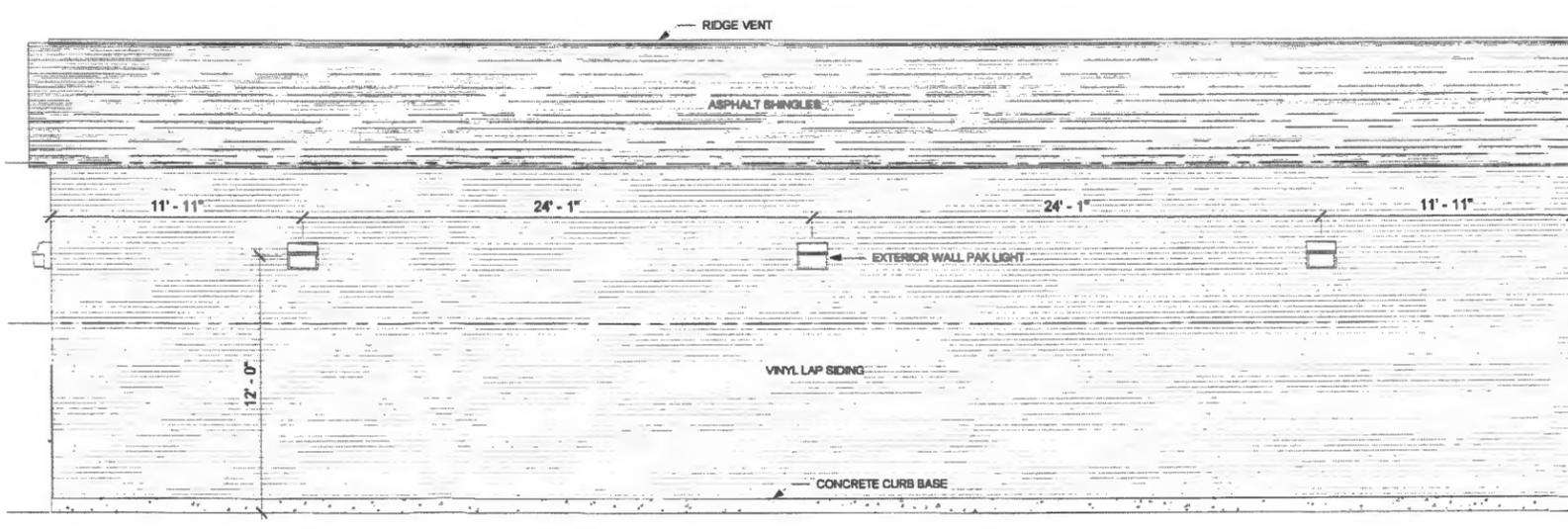
3 North
1/4" = 1'-0"



1 West
1/4" = 1'-0"



4 South
1/4" = 1'-0"



2 East
1/4" = 1'-0"

NOTE: USE HALF INDICATED SCALE FOR 11X17 DRAWINGS

Project Title: Bubba Greens
Prepared for: Bubba Greens, LLC
Sheet Title: Elevations
Address: 108 E Schrock RD. Wasilla, AK 99654

A-4.1



MATANUSKA-SUSITNA BOROUGH

Real Property Detail for Account: 18N01W15C009

Site Information

Account Number 18N01W15C009 Subdivision
 Parcel ID 22760 City None
 TRS S18N01W15 Map WA03 Tax Map
 Abbreviated Description TOWNSHIP 18N RANGE 1W SECTION 15
 (Not for Conveyance) LOT C9

Site Address 108 E SCHROCK RD

Ownership

Owners GALLAGHER BEATRICE Buyers
 Primary Owner's Address 2511 LYRONA LN ANCHORAGE AK 99502 Primary Buyer's Address

Appraisal Information

Appraisal				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2019	\$70,400.00	\$5,600.00	\$76,000.00	2019	\$70,400.00	\$5,600.00	\$76,000.00
2018	\$70,400.00	\$11,500.00	\$81,900.00	2018	\$0.00	\$0.00	\$0.00
2017	\$70,400.00	\$11,600.00	\$82,000.00	2017	\$0.00	\$0.00	\$0.00

Building Information

Structure 0 of 1
 Business Use None Residential Units 0
 Design Residential Garage Condition Standard
 Construction Type Other Basement None
 Grade Frame Year Built 1970
 Building Appraisal None Foundation None
 Septic \$3600 Well

Building Item Details

Building Number	Description	Area	Percent Complete
0	Garage (10.1) - 11D		576 Sq. Ft. 100%

Tax/Billing Information

Year	Certified	Zone	Mill	Tax Billed
2019	Yes	0041	15.149	\$1151.33
2018	Yes	0041	15.069	\$0.00
2017	Yes	0041	15.07	\$0.00

Recorded Documents

Date	Type	Recording Info (offsite link to DNR)
1/28/2019	PERSONAL REPRESENTATIVE	Palmer 2019-001602-0
9/8/1992	WARRANTY DEED (ALL TYPES)	Palmer Bk: 692 Pg: 298

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total	LID Exists
Current	\$575.68		\$0.00	\$0.00	\$0.00	\$0.00 No

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
6.70	6.70	Assembly District 006	10-010	136 WEST LAKES FSA	028 Gold Trail RSA

¹ Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

² If account is in foreclosure, payment must be in certified funds.

Last Updated: 10/10/2019 12:00:50 AM



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNN

Department of Public Safety

DIVISION OF FIRE AND LIFE SAFETY
Plan Review Bureau - Anchorage

500 East Tudor Road
Anchorage, Alaska 99507-1025
Main: 407-249-2004
Fax: 407-249-3046

September 26, 2019

Daniel Clift
Determine Design
903 W Northern Lights Ste. 206
Anchorage, AK 99503

SUBJECT: Bubba Greens (108 E Schrock Rd.) - Full Plan Review
CITY: Wasilla
PLAN REVIEW: 2019Anch1785
TYPE OF CONSTRUCTION: VA
OCCUPANCY: F-1
2012 INTERNATIONAL BUILDING AND FIRE CODE

Dear Daniel Clift:

This letter is to acknowledge receipt of your plans and application for plan review for the subject facility. A plan review number has been assigned as indicated. The plan review fee is required to be paid prior to the review. To help keep our files current and expedite the review, your submittal of the fee within fifteen (15) days will be appreciated.

The plan review fee is \$1,265.29. Please make your check, money order or cashier's check payable to the State of Alaska. To ensure that the check or money order reaches us in a timely manner, please include "Fire and Life Safety - Plan Review Bureau" in the mailing address.

13 AAC 50.027 prohibits the beginning of any construction, alteration, or repair to building regulated by the State Fire Marshal until plans and specifications have been reviewed and approved.

If you have any questions regarding this matter, please contact us at the address above.

Sincerely,

Pam Bowden

Pam Bowden
Office Assistant II

PERMIT CENTER – FEE RECEIPT FORM *Busha Greens*

Property Location: 108 E Schroet RD

Applicant: Michael Gallagher

	USE PERMITS {100.000.000.341.300}	Fee
<input type="checkbox"/>	8.35 Public Display of Fireworks	\$25.00
<input type="checkbox"/>	8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.52 Temporary Noise Permit	\$500.00
<input type="checkbox"/>	8.55 Special Events Permit 500 – 1000 Attendees	\$500.00
<input type="checkbox"/>	1000+ Attendees	\$1,000.00
<input type="checkbox"/>	8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
<input type="checkbox"/>	17.02 Mandatory Land Use Permits- Residential Non-habitable	\$25.00
<input type="checkbox"/>	Commercial/Industrial	\$150.00
<input type="checkbox"/>		\$1,000.00
<input type="checkbox"/>		\$500.00
<input type="checkbox"/>		\$1000.00
<input type="checkbox"/>		\$2000.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit	\$100.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
<input type="checkbox"/>	17.30.040 Earth Materials Extraction Admin. Permit	\$500.00
<input type="checkbox"/>	17.30.050 Earth Materials Extraction CUP	\$1000.00
<input type="checkbox"/>	17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots Additional Lots or tracts being created – Per Lot	\$500.00 \$100.00
<input type="checkbox"/>	17.48 Mobile Home Park Permit Application	\$500.00
<input type="checkbox"/>	17.52 Residential Land Use District App (Rezone)	\$1,000.00
<input type="checkbox"/>	17.52 Conditional Use Permit Application	\$1,000.00
<input type="checkbox"/>	17.55 Shoreline Setback Exception Application	\$300.00
<input checked="" type="checkbox"/>	17.60 Conditional Use Permit Application	\$1000.00

RECEIVED
OCT 09 2019

PERMIT CENTER

Matanuska Susitna Borough
 Payment Date Thursday, October 10, 2019
 Deposit Number 39131
 Operator hoff0401
 Real 2019 (Total) \$0.00
 MCR (Planning/Platting) \$1,000.00
 Misc Rec
 Tax Map # 1MISC
 Total Paid \$1,000.00
 Check \$1,000.00
 Change \$0.00
 Receipt Number MSB01359910
 10/10/2019 9:24:16 AM
 Paid By GALLAGHER MICHAEL
 Cashier Id. hoff0401

<input type="checkbox"/>	17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1000.00
<input type="checkbox"/>	17.62 Coal Bed Methane	\$1000.00
<input type="checkbox"/>	17.63 Conditional Use Permit for Racetracks	\$1000.00
<input type="checkbox"/>	17.65 Variance	\$1000.00
<input type="checkbox"/>	17.67 Tall Structures -	
	Network Improvement Permit	\$100.00
	Nonconforming Use	\$200.00
	Administrative Permit	\$500.00
<input type="checkbox"/>	Conditional Use Permit	\$1000.00
<input type="checkbox"/>	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1000.00
<input type="checkbox"/>	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
<input type="checkbox"/>	17.75 Single-Family Residential Land Use District CUP	\$1000.00
<input type="checkbox"/>	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
<input type="checkbox"/>	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
<input type="checkbox"/>	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$1000.00

	RIGHT-OF-WAY FEES:	
<input type="checkbox"/>	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
<input type="checkbox"/>	Construction	\$200.00
<input type="checkbox"/>	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
<input type="checkbox"/>	Encroachment	\$150.00
<input type="checkbox"/>	Construction Bond {100.227.000}	

	PLATTING PRE-APPLICATION CONFERENCE:	
<input type="checkbox"/>	Pre-Application Fee	\$50.00

	FEES:	
<input type="checkbox"/>	Flood Plain Development Survey CD	\$10.00
<input type="checkbox"/>	CD/DVD/DVD-R	\$7.50
<input type="checkbox"/>	Construction Manual/Title 43	\$5.00
<input type="checkbox"/>	Plat Map/Tax Map Copies/Mylar	\$5.00
<input type="checkbox"/>	Color Maps	\$12.00
<input type="checkbox"/>	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
<input type="checkbox"/>	Advertising Fees	
<input type="checkbox"/>	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
<input type="checkbox"/>	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1000 Amount Paid Date: 10-10-19 Receipt # 91359904 By: [Signature]

**INTRODUCTION FOR PUBLIC HEARING
QUASI-JUDICIAL**

Resolution No. PC 20-09

**MCC Flight
Marijuana Retail Facility CUP
5675 E. Blue Lupine Drive**

Page 47 - 88

INTRODUCTION FOR PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
Development Services Division

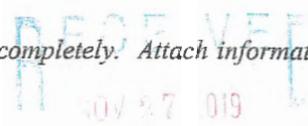
350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

CONDITIONAL USE PERMIT FOR
MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.



Application fee must be attached:

- X \$1,000 for Marijuana Retail Facility
\$1,000 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- X Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
X Odor Mitigation and Ventilation Plan – 17.60.160 (B)
X Hazardous Chemicals Information – 17.60.160 (C)
X Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- X Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 517, Range: 001, Section: E17, Meridian: Seaward Meridian

MSB Tax ID# 1807 B 01 L011

SUBDIVISION: Twinhook BLOCK(S): 1, LOT(S): 11

STREET ADDRESS: 5675 E Blue Lupine Dr

FACILITY / BUSINESS NAME: MCC Flight

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No X N/A

Name of Property Owner

Chad Ragsdale

Name of Agent / Contact for application

Mailing: 2490 S Paddock Dr

Wasilla AK 99654

Mailing:

Phone: Hm 360-991-4631 Fax

Phone: Hm Fax

Wk Cell 360 991 4631

Wk Cell

E-mail tokawear@outlook.com

E-mail

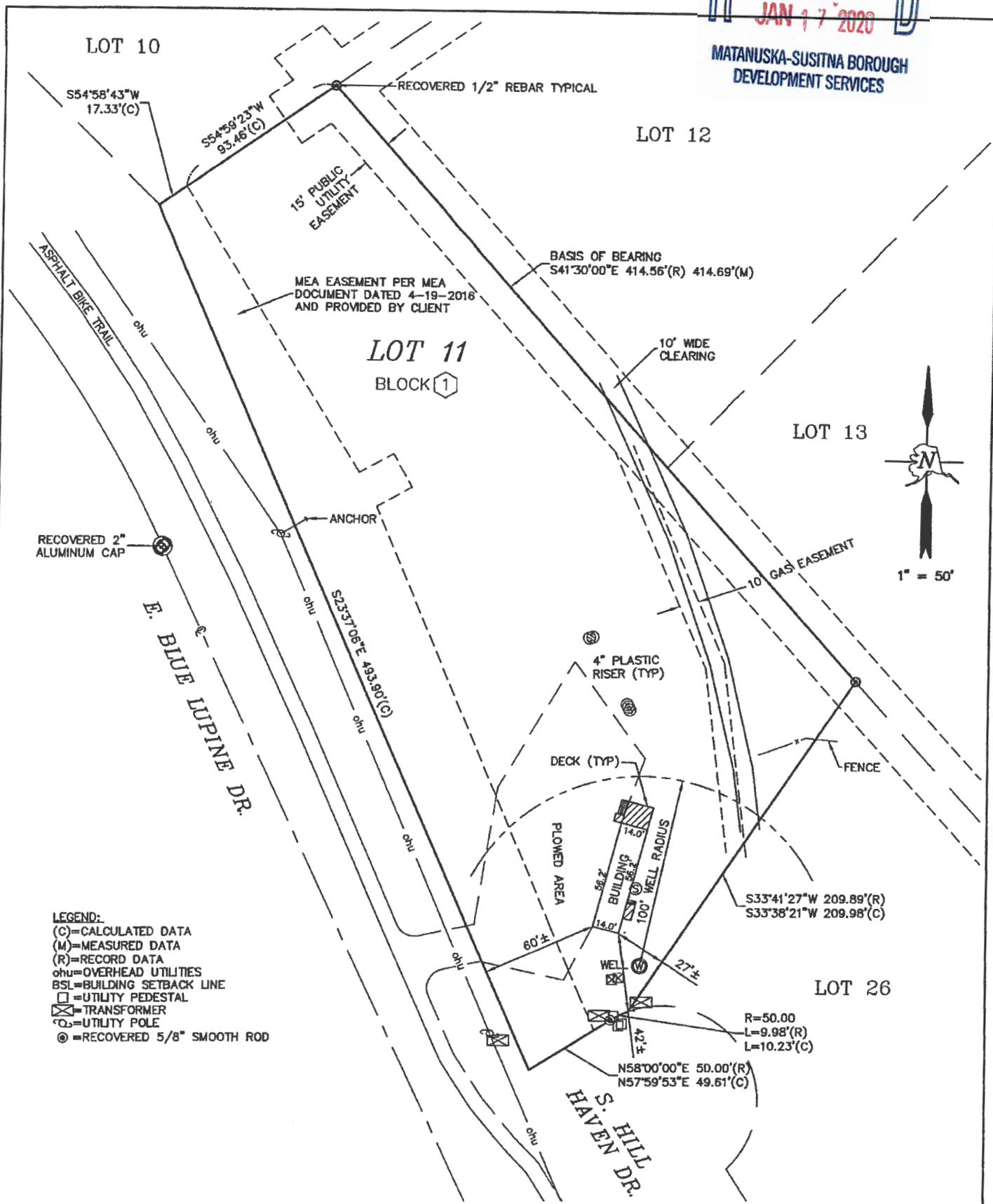
Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	
Signage – Existing and Proposed.	
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	
Buffering – Fences, vegetation, topography, berms, and any landscaping	
Drainage	
Vehicular and pedestrian circulation patterns.	
Exterior site lighting.	
Location and dimensions of parking areas to be provided	
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	
Describe how this use is compatible with the character of the surrounding area.	
Current status of State License application process – 17.60.150 (D) (1)	

RECEIVED
JAN 17 2020

MATANUSKA-SUSITNA BOROUGH
DEVELOPMENT SERVICES



LEGEND:
 (C)=CALCULATED DATA
 (M)=MEASURED DATA
 (R)=RECORD DATA
 ohu=OVERHEAD UTILITIES
 BSL=BUILDING SETBACK LINE
 □=UTILITY PEDESTAL
 ⊠=TRANSFORMER
 ○=UTILITY POLE
 ⊙=RECOVERED 5/8" SMOOTH ROD

NOTES:
 1. EXCEPTING FOR GROSS NEGLIGENCE, THE LIABILITY FOR THIS SURVEY SHALL NOT EXCEED THE COST OF PREPARING THIS SURVEY.
 2. THIS SURVEY REPRESENTS VISIBLE IMPROVEMENTS & CONDITIONS ON THE DATE OF SURVEY.
 3. THIS DOCUMENT DOES NOT CONSTITUTE A BOUNDARY SURVEY & IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE.
 4. THIS SURVEY PERFORMED FOR CHAD RAGSDALE, IT SHOULD ONLY BE USED FOR A SINGLE PROPERTY TRANSACTION.

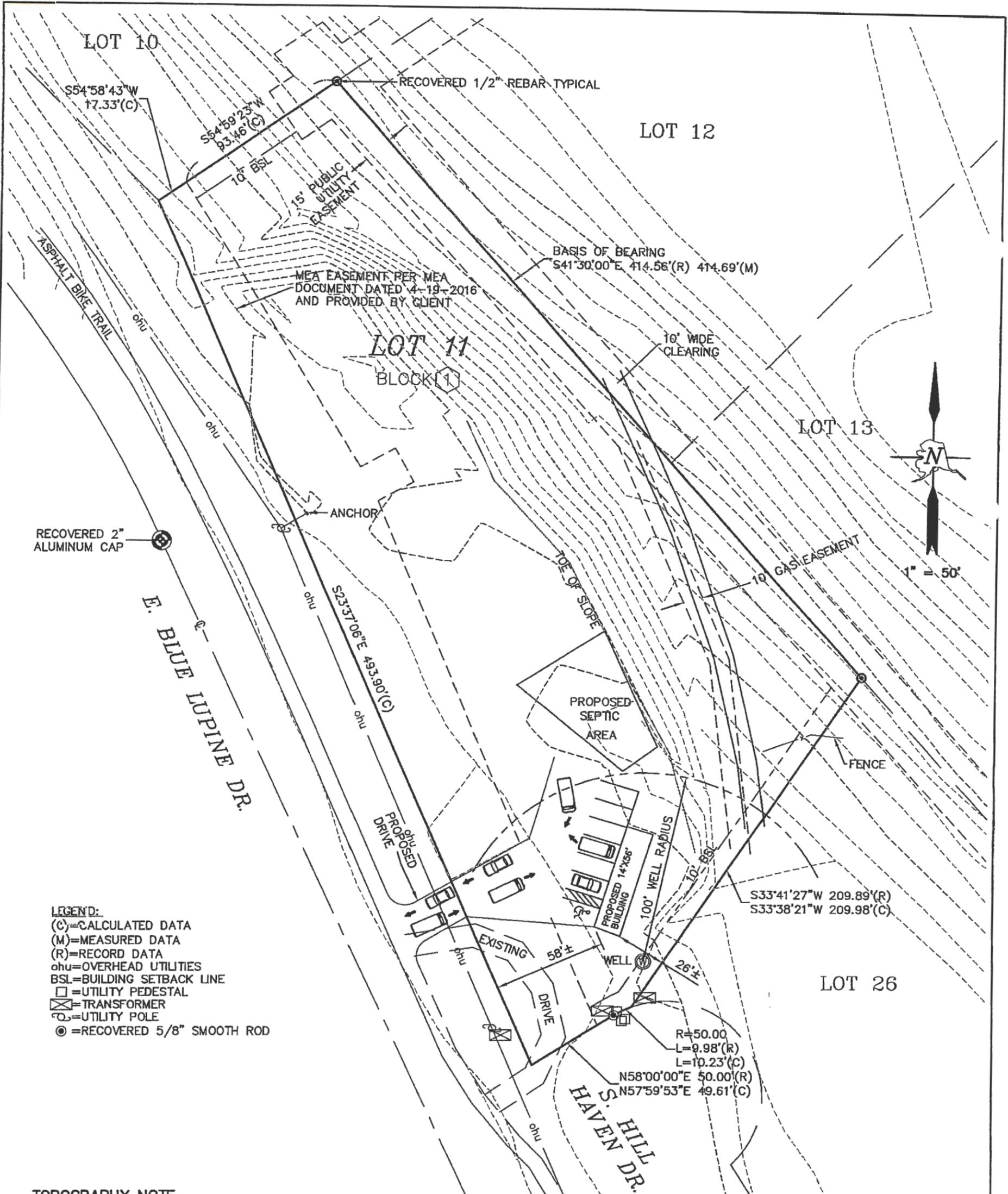
EXCLUSION NOTE: IT IS THE RESPONSIBILITY OF THE OWNER TO DETERMINE THE EXISTENCE OF ANY EASEMENTS, COVENANTS, OR RESTRICTIONS WHICH DO NOT APPEAR ON THE RECORDED SUBDIVISION PLAT. UNDER NO CIRCUMSTANCES SHOULD ANY DATA HEREON BE USED FOR CONSTRUCTION OR FOR ESTABLISHING BOUNDARY OR FENCE LINES.



FARMER SURVEYING
 9131 E. FRONTAGE RD.
 PALMER, ALASKA 99645
 PH: (907)745-0222
 bob@farmersurveying.com www.farmersurveying.com

WO: 1900043	FB: 20-1
PAGE: 1 of 1	FILE: 1900043AS
SCALE: 1" = 50'	

I HEREBY CERTIFY THAT A MORTGAGE INSPECTION WAS PERFORMED UNDER MY DIRECTION ON THE FOLLOWING DESCRIBED PROPERTY: TWINOOK SUBDIVISION, BLOCK 1, LOT 11, PLAT No. 79-450, PALMER RECORDING DISTRICT, PALMER, ALASKA. SURVEYED ON THE 13th OF JANUARY, 2020. ©2020



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TOPOGRAPHY NOTE

1. TOPOGRAPHY DERIVED FROM MAT-SU BOROUGH LIDAR TOPOGRAPHY MAP 17602765 DATED 2011. HORIZONTAL DATUM IS BASED ON NAD83.
2. CONTOURS ARE IN 5 FOOT INTERVALS AND ARE BASED ON NAVD 88 GEOD 09 VERTICAL DATUM.
3. THIS LOT HAS BEEN RE-CONTOURED IN THE PROPOSED BUILDING LOCATION.

- NOTES:**
1. PRELIMINARY FIELD WORK PERFORMED THIS DATE 03/08/19 & 09/03/19.
 2. THE FINAL SEPTIC AREA IS TO BE DETERMINED IN THE FIELD WITH THE VERIFICATION OF SOILS AND NEIGHBORING WELLS.
 3. THE FINAL BUILDING LOCATION AND FINISHED FLOOR ELEVATION IS TO BE DETERMINED IN THE FIELD BY THE CONTRACTOR.

EXCLUSION NOTE: IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER, PRIOR TO CONSTRUCTION, TO VERIFY PROPOSED BUILDING GRADE RELATIVE TO FINISHED GRADE AND UTILITIES CONNECTIONS, AND TO DETERMINE THE EXISTENCE OF ANY EASEMENTS, COVENANTS, OR RESTRICTIONS WHICH DO NOT APPEAR ON THE RECORDED SUBDIVISION PLAT.

RECEIVED
 DEC 2 2019
 MATANUSKA-SUSITNA BOROUGH
 DEVELOPMENT SERVICES



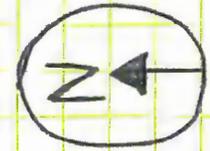
FARMER SURVEYING
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 bob@farmersurveying.com www.farmersurveying.com
 WO: 1900043
 PAGE: 1 of 1
 SCALE: 1" = 50' FILE: 1900043PO

I HEREBY CERTIFY THAT THIS PLOT PLAN WAS PREPARED UNDER MY DIRECTION ON THE FOLLOWING DESCRIBED PROPERTY:
 TWINOOK SUBDIVISION, BLOCK 1, LOT 11,
 PLAT No. 79-450, PALMER RECORDING DISTRICT, PALMER, ALASKA.
 SURVEYED ON THE 8th OF MARCH, 2019.
 ©2019

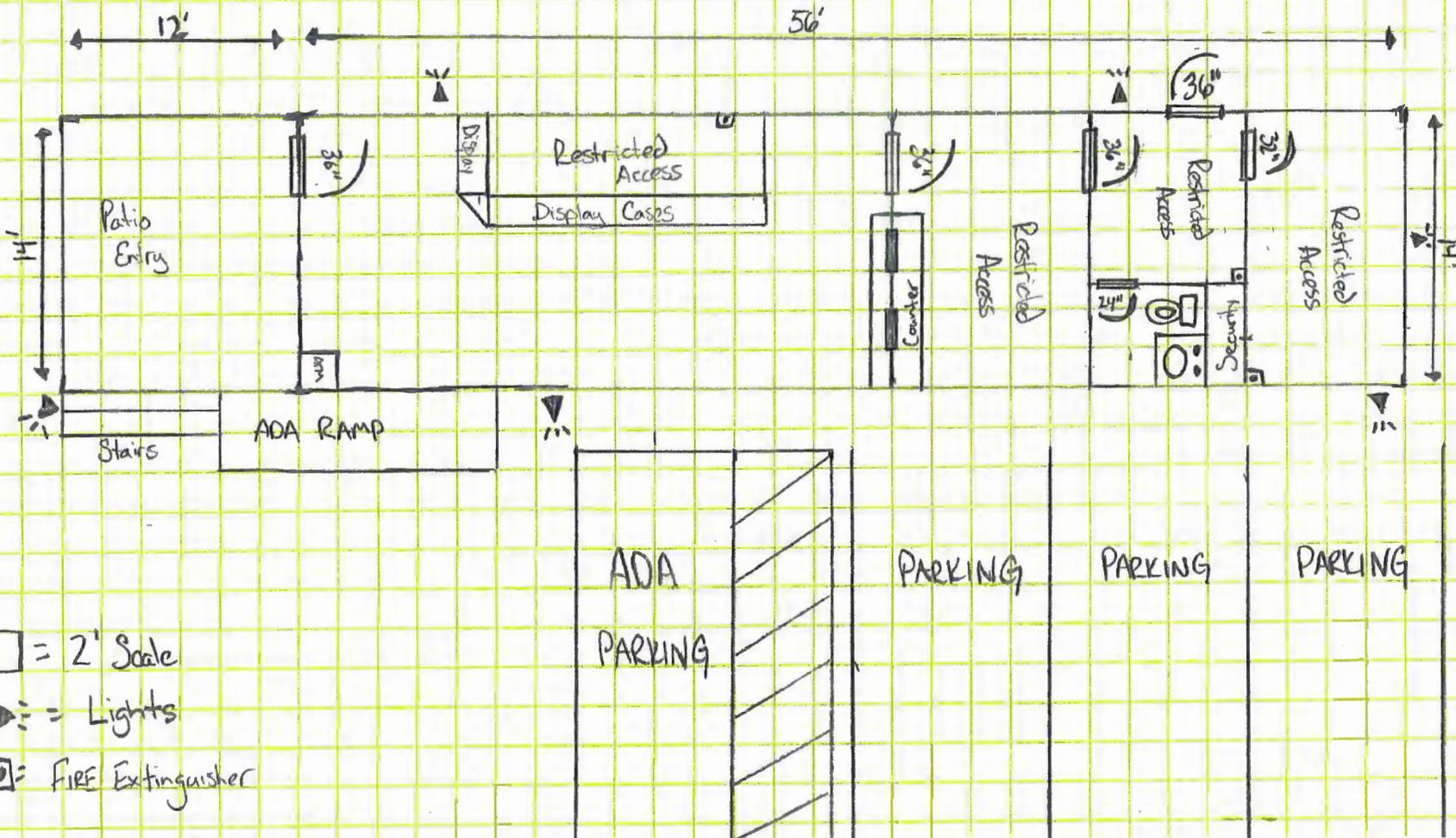
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RECEIVED
JAN 17 2020

MATANUSKA-SUSITNA BOROUGH
DEVELOPMENT SERVICES



5675 E BLUE LUPINE DR
WASILLA AK 99654



- = 2' Scale
- ▲ = Lights
- ◻ = FIRE Extinguisher

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Matsu Conditional Use Permit for Retail Marijuana Facility – MCC Flight

5675 E Blue Lupine Dr

Wasilla, AK 99654

Borough Tax ID #1807B011011

AK DOT Driveway Permit #29614

P 100

Proposed and existing use structures on site: Attached surveyed map shows our building which will contain the Retail Marijuana Facility and Limited Cultivation Facility. Attached maps also show the inside of the facility. Current setback from E Blue Lupine ROW is +/- 58', SE rear lot line +/- 26'.

Signage Existing and Proposed All signage will meet state requirements as listed under,

3 AAC 306.360. Restriction on advertising of marijuana and marijuana products (a) A retail marijuana store may have not more than three signs, visible to the general public from the public right-of-way, that identify the retail marijuana store by its business name. A sign may be placed in the retail marijuana store's window or attached to the outside of the licensed premises. The size of each sign may not exceed 4,800 square inches. (b) An advertisement for marijuana or a marijuana product may not contain a statement or illustration that (1) is false or misleading; (2) promotes excessive consumption; (3) represents that the use of marijuana has curative or therapeutic effects; (4) depicts a person under 21 years of age consuming marijuana; or (5) includes an object or character, including a toy, a cartoon character, or any other depiction designed to appeal to a person under 21 years of age, that promotes consumption of marijuana. (c) A retail marijuana store may not place an advertisement for marijuana or a marijuana product, except as provided in (a) of this section, (1) within 1,000 feet of the perimeter of any child-centered facility, including a school, a child care facility or other facility providing services to children, a playground or recreation center, a public park, a library, or a game arcade that is open to persons under 21 years of age; on or in a public transit vehicle or public transit shelter; (2) on or in a publicly owned or operated property; (3) within 1,000 feet of a substance abuse or treatment facility; or (4) on a campus for postsecondary education. (d) A retail marijuana store may not use giveaway coupons as 36 promotional materials, or conduct promotional activities such as games or competitions to encourage sale of marijuana or marijuana products.

Location and Dimensions of all Public Access and ROW: Survey map shows the property has public access ROW from E. Blue Lupine Dr as permitted by AK DOT Driveway Permit #29614.

Buffering: There is a hillside on the 3 sides of the property offering buffer. Vehicular and Pedestrian Patterns: The lot will meet all Fire Codes for access as advised and required by the State Fire Marshall. There is plenty of room for vehicles to safely enter and exit this property.

Exterior Site Lighting: Lighting will meet Alaska requirements for Security and lighting as notated on our facility map.

3 AAC 306.715. Security alarm systems and lock standards (a) Each licensee, employee, or agent of a marijuana establishment shall display an identification badge issued by the marijuana establishment at all times when on the marijuana establishment's licensed premises. (b) The licensed premises of a marijuana establishment must have (1) exterior lighting to facilitate surveillance; (2) a security alarm system on all exterior doors and windows; and (3) continuous video monitoring as provided in 3 AAC 306.720. (c) A marijuana establishment shall have policies and procedures that (1) are designed to prevent diversion of marijuana or marijuana product; (2) prevent loitering; (3) describe the use of any additional security device, such as a motion detector, pressure switch, and duress, panic, or hold-up alarm to enhance security of licensed premises; and (4) describe the actions to be taken by a licensee, employee, or agent of the marijuana establishment when any automatic or electronic notification system alerts a local law enforcement agency of an unauthorized breach of security. (d) A marijuana establishment shall use commercial grade, nonresidential door locks on all exterior entry points to the licensed premises.

Location and dimensions of Parking areas: As notated on our accompanying map, we have parking on the north west side of the building, 20' x 39' with two parking spots and one ADA compliant parking spot.

Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?

Blue Lupine is a commercial frontage road with businesses from Seward Meridian to Trunk RD. Our business should not detract from the commercial use of this Parks Hwy frontage Rd.

Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare? No. All State security requirements will be in place and followed. All requirements under 3 AAC 306 will be followed at all times so no issues with the general public will arise.

Are sufficient setbacks, loft area, buffers and other safeguards being provided? As provided in our survey maps all setbacks are properly met. We are a commercial business on a Parks Hwy frontage rd, Blue Lupine. There are commercial businesses from Trunk Rd to Seward Meridian on Blue Lupine Dr.

Does the conditional use fulfill all the other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section? Yes

Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor. We will comply with all parts of 3 AAC 306 and is outlined within our State of Alaska application.

Describe measures taken to reduce negative effects upon adjacent properties: The area of the Wasilla we will be operating is of commercial nature on Blue Lupine Dr. Many of our neighbors have stopped in as we have been remodeling and constructing the property to say hello and let us know they appreciate the cleaning up of the property we purchased and that we are adding value to the overall community. That is the goal of MCC Flight, to be a valuable member of our community and offer a product that Alaska and the Matsu Borough have asked for access to, in a clean, safe, and comfortable environment.

Describe how this use is compatible with the character of the surrounding area. We are in a highly commercial stretch of a Parks Hwy frontage Rd, Blue Lupine. There are commercial businesses from Trunk Rd to Seward Meridian on Blue Lupine.

Describe how the subject parcel is appropriate for the proposed conditional use. We are in a highly commercial stretch of the Parks Hwy frontage Rd, Blue Lupine. There are commercial businesses from Trunk Rd to Seward Meridian on Blue Lupine. There are residences located on a commercial frontage road that abut the property. Proposed hours of operation will be 8am-12am midnight, seven days a week, Monday through Sunday.

Floor Plan for Marijuana Retail Facilities.

Loitering Diversion Plan:

Signs will be posted stating no loitering. All employees will be trained and required to diverse loitering by stating to any loitering individual(s) to leave the premises or they will be required by company policy to call local law enforcement. If a non-conformance should arise they should refrain from conflict and wait for local law enforcement to arrive.

On site Consumption:

MCC Flight did not apply for an on-site consumption permit with the state. So per

3 AAC 306.310 Acts Prohibited at Retail Marijuana Store (b) (2)

(2) allow a person to consume marijuana or a marijuana product on the retail Marijuana store's licensed premises, except as provided in 3 AAC 306.305 (a) (4)

Once the state and borough has resolved the issue of regulating on-site consumption we it will be revisited as to whether it is a viable option for our business and community.

Diversion Prevention Plan:

MCC Flight will have strict rules regarding moving inventory to, from and throughout the licensed premises to effectively prevent diversion by an employee, visitor or customer. We currently have video surveillance cameras throughout the location of the licensed premises monitoring entryways, floor activity, restricted areas along with breach alarms notifications on doorways and the alarm security system has extensive room for further expansion of alarms if deemed necessary. Most if not all employees will be family or well trusted respectable friends and will required to keep their personal belongings in an employee only area and there will be no marijuana or product in that area. They will have knowledge of the prevention of diversion on how to spot diversion and how to report suspicious activity on or around the licensed premise. Employees will have knowledge that they are being monitored always while in the facility to facilitate in employee safety. As well as no photographs or videos may be taken by employees or visitors in restricted access zones to prevent any malicious activity. Visitors are never permitted to touch any cannabis or cannabis products or equipment for any reason, and will be escorted off the licensed premise if they do so. Only authorized employees will be moving cannabis and cannabis products through the license premise.

Activities Outside the facility:

Activities outside the facility would be nothing any other business in the borough would be allowed to do for their business. Current Alaska State regulations would be followed. I won't say no activities will happen outside the facility, but all activities will follow the State Statutes.

3 AAC 306.360 Restriction on advertising of marijuana and marijuana products (d)

(d) A retail marijuana store may not use giveaway coupons as promotional materials, or conduct promotional activities such as games or competitions to encourage sale of marijuana or marijuana products.

Security Plan:

MCC Flight will be using a high-quality security and surveillance systems equipped with motion detectors, panic and breach alarms, fire and smoke alarms. All alarms will alert a central monitoring company by Vivint. All surveillance and data will be stored on a NVR system with 20 TB hard drive with room for added hard drives with a 1080-pixel clarity which is well above industry standards. Data will be stored on the hard drive for 40 plus days 24 hours a day 7 days a week as well as storing data with a secure private server. The system is also equipped with a battery backup systems to keep all systems functioning during a power outage. All surveillance equipment is stored in a mounted and locked security case within a restricted area that is under surveillance and both the restricted area and the security case are equipped with audible notification and alarms as well as security alarms when the alarm system is set after business hours. This restricted area door is equipped with key pad lock that

auto locks after entry. MCC Flight will be using bullet cameras with high pixel clarity as well as infrared technology capable of capturing high quality images up to 120 ft. in complete darkness.

All entry doors will be steel frame security doors. All doors to Restricted access areas are with commercial grade locks that will be closed and locked during and after business hours. The facility has no outside windows All doors and entry points will remain locked during business hours except for the one public entrance door and when an employee is entering or exiting a restricted area.

Exterior Lighting:

The facility has lights every 20', they are movable LED 150w lights and does not spill on to adjacent properties the rear lighting is to facilitate video surveillance required in 3 ACC 306.720. All lights illuminate on a dusk to dawn sensor. All lights are pointed down to meet the required 20' recording of cameras. The lights illuminate our lot for security purposes but are not out of character with the other commercial properties located in the area, or the illumination of the Borough Fire Station up the road. All our exterior lights have assorted options such as being set to motion activation, dusk to dawn or continuous and will be set up to best facilitate safety and security as in 3 ACC 306. 720. These lights our and facing downward to avoid spillage to adjacent properties and to give best possible and all lighting on the exterior were pre-existing as this is a commercial property and to my knowledge have never been an issue to adjacent properties. All lighting is just under the eaves of the roof which varies from ~8' - ~20' depending on their location on the building.

Access to property:

AK DOT Driveway Permit #29614. Copy will be provided with packet.

Waste Disposal:

MCC Flight will store, dispose of and manage any solid or liquid waste generated by the licensed premises in compliance with federal, state and local laws and regulations following DEC regulation 18 AAC 60. (reference,3 AAC 306.735)

Matanuska Cannabis Company will give AMCO 3 days (72 hours) notice in the METRC inventory tracking system before making any marijuana or marijuana product unusable and disposing of it, we will also keep a record of the final disposal destination of the waste in company inventory tracking systems. Waste will be stored in the waste disposal area in 5 gallon buckets after 72 hours of the notification and approval by the AMCO the waste will be grinded or shredded and mixed with saw dust, soil, coffee grounds or other compostable matter and shredded paper in a 50/50 mix with the marijuana or marijuana product. A written log will be maintained in the disposal area of waste that has been made unusable stating notification date and time, type of product and employee name and the log will be also scanned at into a company computer at least once a month. Before transporting the waste the buckets will be sealed and then transported to a AMCO approved disposal site or a local dump since all waste is biodegradable. MCC Flight foresees minimal if any waste that will need to be disposed of. The disposal room is under video surveillance in an adequate fashion to provide a clear, unobstructed view of employees rendering marijuana or marijuana products unusable.

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17.60.170 STANDARDS FOR MARIJUANA RETAIL FACILITIES

(A) Marijuana retail facilities shall only be approved upon finding by the commission that the proposed facility is located on a parcel that is appropriate for commercial use. At a minimum, the commission shall consider:

- (1) proximity of the proposed use to existing businesses;
- (2) proximity to parcels developed for residential use; and
- (3) whether roads associated with the proposed use have been, or will be, appropriate for commercial use.

(B) The minimum number of parking spaces for retail facilities shall be one space per 350 square feet of net floor area. Each parking space shall be at least: 20 feet in length, ten feet wide, and have a vertical clearance of at least seven feet.

(C) Parking spaces shall be provided to comply with current Americans with Disabilities Act guidelines.

(Ord. 16-003(SUB), § 4 (part), 2016)

Per our Site plan performed by Farmers Surveying We will meet all the requirements for Parking, ADA Parking and setbacks.

Building sq footage will be 952 sq ft, and would need 2.72 parking spots. Per the Site plan we will have more than 3+ Parking spots, with one being ADA compliant for a van, 11' wide parking, with a 5' access aisle.

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Mark Whisenhunt

From: Mark Whisenhunt
Sent: Friday, December 20, 2019 12:58 PM
To: 'tokawear@outlook.com'
Subject: MCC Flight: Request for information 12-20-19
Attachments: MCCF RFAI 12-20-19.pdf

Please see the attached letter requesting information pertaining to your application for Conditional Use Permit. Thank you.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

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MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822 • Fax (907) 861-8158
www.matsugov.us

December 20, 2019

Chad Ragsdale
dba MCC Flight
2490 S. Paddock Drive
Wasilla, Alaska 99654

SUBJECT: Conditional Use Permit Application – Request for Required Information
LOCATION: 5675 E. Blue Lupine Drive (Tax ID: 1807B01L011)

Dear Mr. Ragsdale,

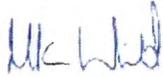
Borough staff has reviewed the application material and the site plan(s) submitted on November 27, 2019 for a Conditional Use Permit to operate a marijuana retail facility under MSB 17.60 on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request:

- 1) The narrative answers are very general and say will comply with Alaska Statute. Please provide Specific information in the answers. We can meet in person if you would like to discuss this in further detail. In order to evaluate the use, we need operation specific information. Providing information pertaining to:
 - a) Activities which may occur outside (if none, please note it). More specifically, will any outside activities involve amplified noise?
 - b) Waste disposal information speaks to disposing as “AMCO approved” sites. Please provide details on the type and location of these sites.
 - c) Please detail specific sign size, type (i.e. lighting) and location information.
 - d) What is the estimated number of employees for the operation?
- 2) As-built:
 - a) Per our conversation, I am still expecting an updated as-built/site plan to be submitted.
- 3) Site /Floor Plan:
 - a) The submitted site / floor plan is of poor quality. Some of the parking spaces and legend are cut off. Please submit a better copy or bring in the original and we can make a copy at your convenience.

Please note that I will be out of the office until January 2, 2020. Once an application has been determined to be complete, staff will begin the public notice process. Should you have any

questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-8527, or email: mwhisenhunt@matsugov.us. Thank you for your time and consideration on this matter.

Respectfully,



Mark Whisenhunt
Planner II
Matanuska-Susitna Borough



1) The narrative answers are very general and say will comply with Alaska Statute. Please provide specific information in the answers. We can meet in person if you would like to discuss this in further detail. In order to evaluate the use, we need operation specific information. Providing information pertaining to:

a) Activities which may occur outside (if none, please note it). More specifically, will any outside activities involve amplified noise? – We may want to have an outside event one day in the future but would get any required permitting from the borough for amplified noise.

b) Waste disposal information speaks to disposing as “AMCO approved” sites. Please provide details on the type and location of these sites. – AMCO approved sites just refers to the use of the any Matanuska Susitna Dump facility, but we will primarily use the dump located off Palmer- Wasilla Highway. We will follow the state prescribed regulations for all disposal of products as outlined below;

3 AAC 306.740. Waste disposal (a) A marijuana establishment shall store, manage, and dispose of any solid or liquid waste, including wastewater generated during marijuana cultivation production, processing, testing, or retail sales, in compliance with applicable federal, state, and local statutes, ordinances, regulations, and other law. (b) Marijuana waste must be rendered unusable for any purpose for which it was grown or produced before it leaves a marijuana establishment. Marijuana waste includes (1) marijuana plant waste, including stalks, leaves, and stems that have not been processed with solvent; (2) solid marijuana sample plant waste in the possession of a marijuana testing facility; (3) marijuana or a marijuana product that has been found by the licensee unfit for sale or consumption; (4) expired marijuana products; and (5) other waste as determined by the board. (c) A marijuana establishment shall (1) give the board notice, on a form prescribed by the board, not later than three days before making the waste unusable and disposing of it; however, the director may authorize immediate disposal on an emergency basis; (2) record the waste in the marijuana inventory tracking system required under 3 AAC 306.730; and (3) keep a record through the marijuana inventory tracking system of the final destination of marijuana waste made unusable. (d) Marijuana plant waste must be made unusable by grinding the marijuana plant waste and mixing it with at least an equal amount of other compostable or non-compostable materials. A marijuana establishment may use another method to make marijuana waste unusable if the board approves the method in advance. Material that may be mixed with the marijuana waste includes (1) compostable materials including food waste, yard waste, vegetable based grease or oils, or other wastes approved by the board when the mixed material can be used as compost feedstock or in another organic waste method such as an anaerobic digester with approval of any applicable local government entity; or (2) non-compostable materials including paper waste, cardboard waste, plastic waste, oil, or other wastes approved by the board when the mixed material may be delivered to a permitted solid waste facility, incinerator, or other facility with approval of any applicable local government entity. (e) If marijuana or a marijuana product is found by, or surrendered to, a law enforcement officer including a peace officer or an airport security officer, the officer may dispose of the marijuana or marijuana product as provided in this section or by any method that is allowed under any applicable local ordinance.

c) Please detail specific sign size, type (i.e. lighting) and location information. – Current plans are for a sign on the roof of the building, lighted by LED or Fluorescent lighting. Sign will meet the guidelines outlined by the state, 4800 sq inches or less, so the sign will be no larger than 4800 sq inches. We will most likely use Broadway Signs in Anchorage for the fabrication and install of the sign. We will ensure that the sign will not interfere with any of the residential homes in the area beyond the illumination factors of the Harley Davidson sign and the State High intensity freeway lights on the Parks highway located 500' from our facility.

d) What is the estimated number of employees for the operation? – We currently plan to have about 8-12 employees for this location.

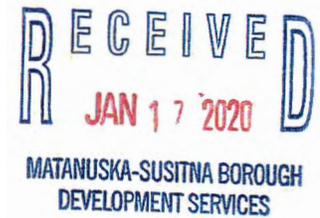
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a) Activities which may occur outside (if none, please note it). More specifically, will any outside activities involve amplified noise? – We may want to have an outside event one day in the future but would get any required permitting from the borough for amplified noise.

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d) What is the estimated number of employees for the operation? – We currently plan to have about 8-12 employees for this location.



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Joseph Metzger

From: Joseph Metzger
Sent: Friday, January 31, 2020 11:14 AM
To: 'Chad Ragsdale'
Cc: 'Chad Ragsdale'
Subject: RFAI MCC Flight 1-31-20
Attachments: MCCF RFAI 1-31-2020.pdf

Hey Chad,

Please see the attached letter requesting additional information on your CUP request. As always, if you have any questions or need clarification on anything, don't hesitate to contact me.

Respectfully,

Joe Metzger
MSB Planner II
907-861-7862

**MATANUSKA-SUSITNA BOROUGH**

Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822 • Fax (907) 861-8158
www.matsugov.us

January 31, 2020

Chad Ragsdale
dba MCC Flight
2490 S. Paddock Drive
Wasilla, Alaska 99654

SUBJECT: Conditional Use Permit Application – Request for Required Information
LOCATION: 5675 E. Blue Lupine Drive (Tax ID: 1807B01L011)

Dear Mr. Ragsdale,

Borough staff has reviewed the application material and the site plan(s) submitted on November 27, 2019 and additional application information submitted on January 17, 2020 for a Conditional Use Permit to operate a marijuana retail facility under MSB 17.60 on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request:

1. What are the proposed hours of operation for the marijuana retail facility?
2. The application material indicates you have a security plan in place. Will all employees be trained on all security measures?
3. Do you have any landscaping plans? If so, please elaborate.
4. What is your status with the State of Alaska Marijuana Control Board?

Once an application has been determined to be complete, staff will begin the public notice process. Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-7862, or email: joseph.metzger@matsugov.us. Thank you for your time and consideration on this matter.

Respectfully,

Joe Metzger
MSB Planner II
907-861-7862

Joseph Metzger

From: Joseph Metzger
Sent: Monday, February 3, 2020 7:47 AM
To: 'Chad Ragsdale'
Subject: RE: RFAI MCC Flight 1-31-20

Received, thank you Chad.

Respectfully,

Joe Metzger
MSB Planner II
907-861-7862

From: Chad Ragsdale <tokawear@outlook.com>
Sent: Saturday, February 1, 2020 9:02 AM
To: Joseph Metzger <Joseph.Metzger@matsugov.us>
Subject: RE: RFAI MCC Flight 1-31-20

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Chad Ragsdale
dba MCC Flight
2490 S. Paddock Drive Wasilla, Alaska 99654

SUBJECT: Conditional Use Permit Application – Request for Required Information **LOCATION:** 5675 E. Blue Lupine Drive (Tax ID: 1807B01L011)

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1. What are the proposed hours of operation for the marijuana retail facility? - The planning commission seems comfortable with 8am-12pm, 7 days a week. MCC Flight's operating hours would work well within those parameters. We would likely not be open those hours per se, but the flexibility as a business to react to changing customer patterns would be agreeable.
2. The application material indicates you have a security plan in place. Will all employees be trained on all security measures? If so, please elaborate. – Yes during training the employees receive training about security measures and the correct responses in the event of a security threat.
4. What is your status with the State of Alaska Marijuana Control Board? – The license was approved with Delegation on 1/24/20 by the AMCO MCB.

Thanks,
Chad

Sent from Mail for Windows 10

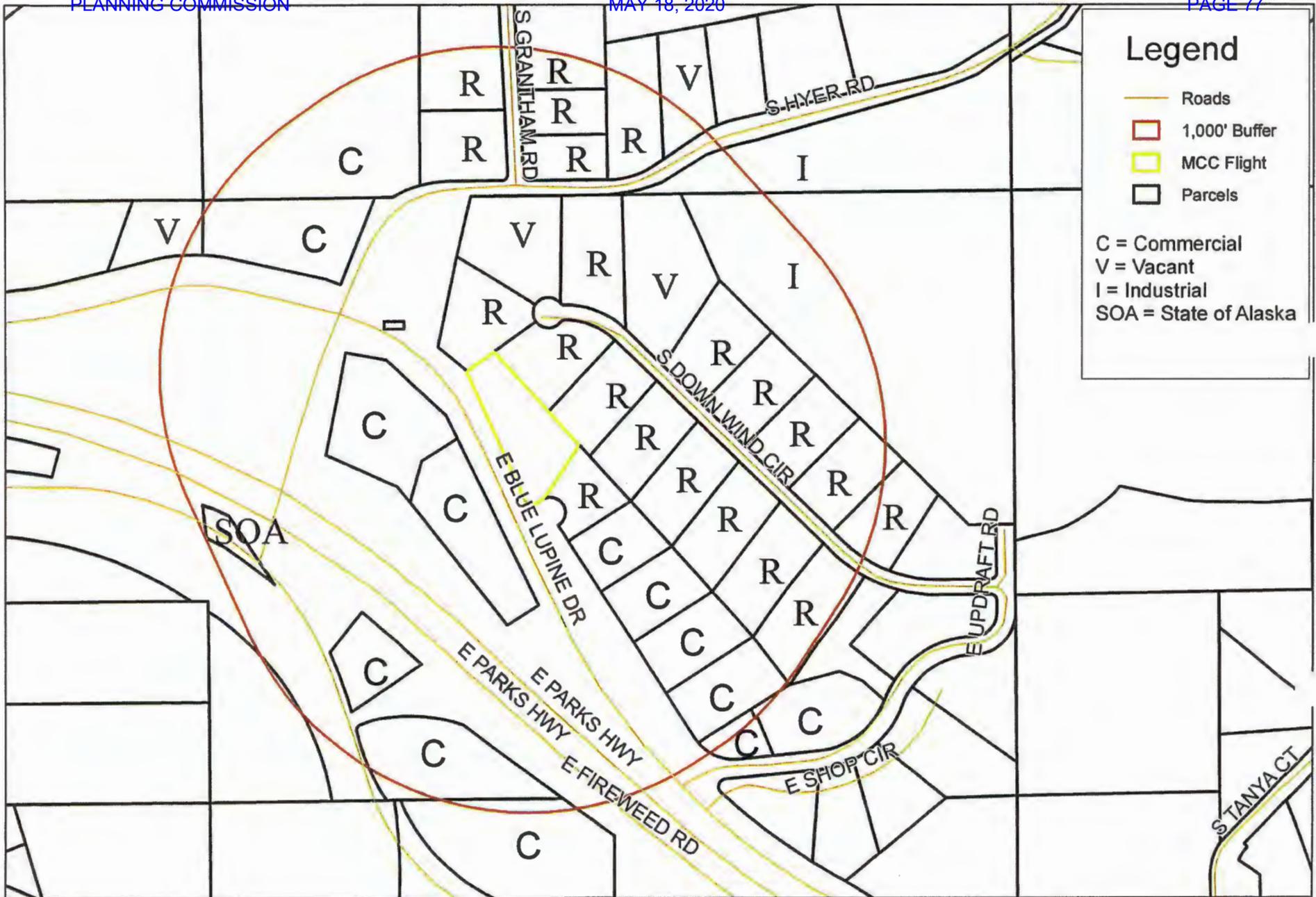
From: Joseph Metzger
Sent: Friday, January 31, 2020 11:15 AM
To: Chad Ragsdale
Cc: Chad Ragsdale
Subject: RFAI MCC Flight 1-31-20

Hey Chad,

Please see the attached letter requesting additional information on your CUP request. As always, if you have any questions or need clarification on anything, don't hesitate to contact me.

Respectfully,

Joe Metzger
MSB Planner II
907-861-7862



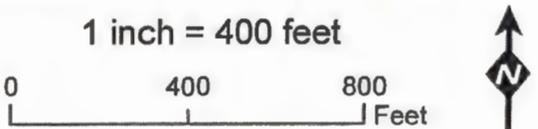
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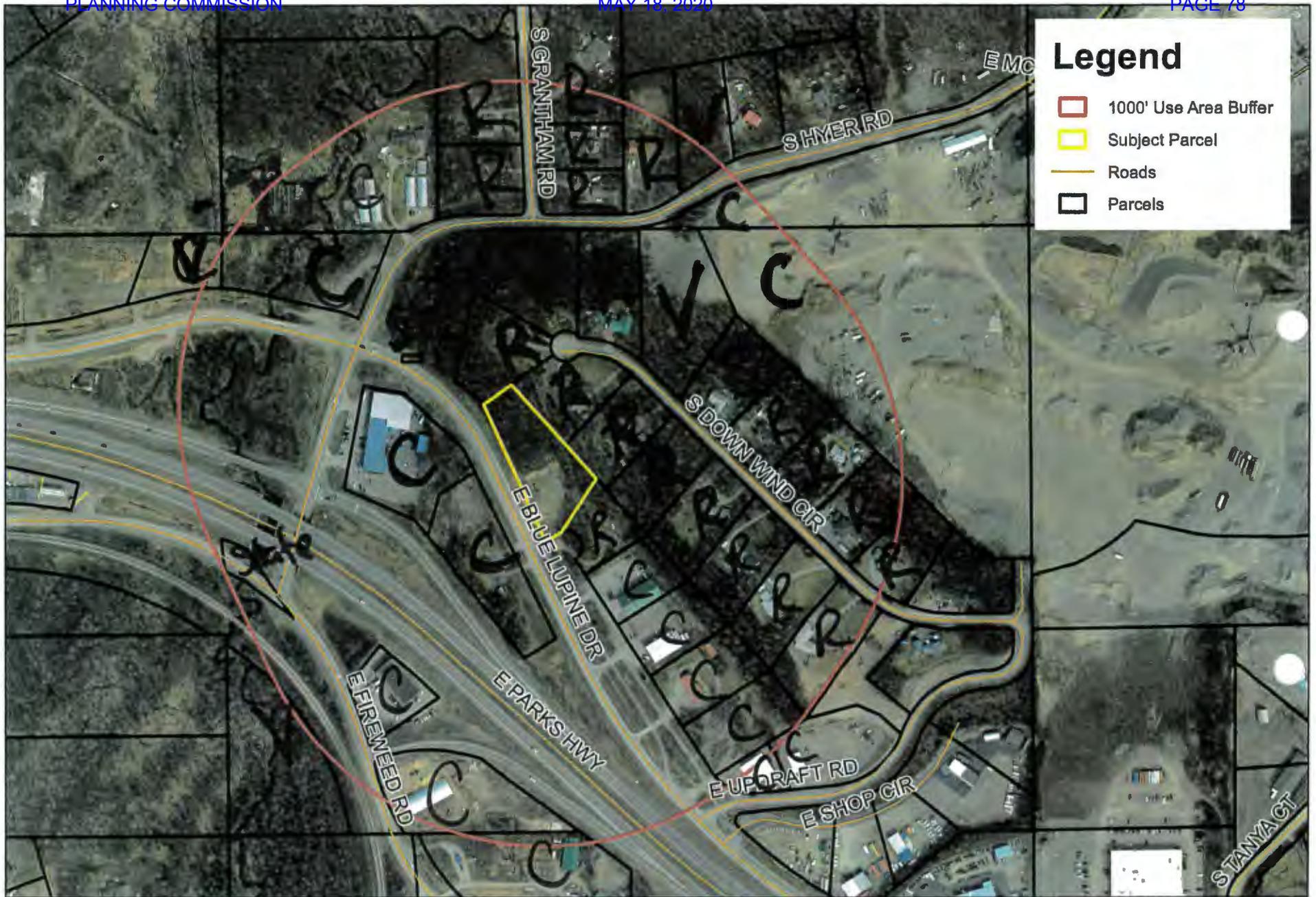
- Roads
- 1,000' Buffer
- MCC Flight
- Parcels

C = Commercial
 V = Vacant
 I = Industrial
 SOA = State of Alaska

This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-961-7801.

Date: 12/20/2019



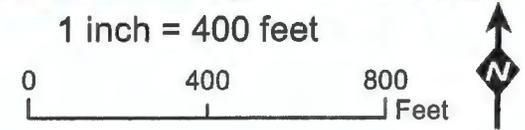


Legend

- 1000' Use Area Buffer
- Subject Parcel
- Roads
- Parcels

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Date: 10/23/2019



Legend

-  1000' Use Area Buffer
-  Subject Parcel
-  Roads
-  Parcels

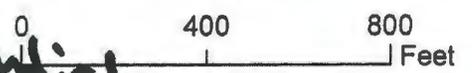


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C = Commercial
V = Vacant
R = Residential

Date: 10/23/2019

1 inch = 400 feet



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Permit No. 29614



State of Alaska
Department of Transportation and Public Facilities

Driveway Permit #29614

This permit allows the owner to construct and maintain a driveway within a State owned highway Right of Way.

Contact Name: Chad Ragsdale

Phone Number: (360) 991-4631

Owner: Chad Ragsdale

Mailing Address: 2490 S Poddock Dr, 4
 Wasilla, AK 99623

Driveway Location: Wasilla DW- 5675 E Blue Lupine Dr.-Twinook Subdivision, Block 1, Lot 11, Plat 79-450, Parcel ID: 19746

Design Criteria

Driveway width	25 Feet	Road surface type	Paved
Left edge clearance	500 Feet	Shoulder type	Paved
Right edge clearance	75 Feet	Landing surface type	Asphalt
Left return radius	40 Feet	Left driveway fore slope	3: 1
Right return radius	40 Feet	Right driveway fore slope	3: 1
Shoulder width	10 Feet	Ditch depth	3 Feet
Approach angle	90 Degrees	Culvert Type	Corrugated metal pipe
Landing grade	+/- 2 Percent	Culvert Size	18 Inches
Landing length	35 Feet	Culvert Length	42 Feet

This permit applies only to the Department of Transportation & Public Facilities (DOT&PF) State right of way.

Any survey monument or monument accessory that will be disturbed or destroyed during construction of the driveway must be referenced prior to the disturbance and restored or replaced by a Land Surveyor licensed in the State of Alaska. The Land Surveyor must file a Monument Record in accordance with AS 34.65.040. All monument records must be reviewed by DOT&PF prior to filing with the District Recorder.

Placement of fill material in waters of the U.S., including wetlands and streams, requires prior authorization from the U.S. Army Corps of Engineers. It is the responsibility of the owner to contact the Corps before filling activities take place. www.poa.usace.army.mil/reg

A driveway constructed under permit within a highway right of way is the property of the State, constructed under permit within a highway right-of-way is the property of the State, but all cost

Permit No. 29614

and liability arising from the construction, operation, or maintenance of a driveway is at the sole expense of those lands served.

DOT&PF is not obligated to change its maintenance practices to accommodate a driveway constructed under a permit, or to incur any additional expense removing snow berms or other obstructions from a driveway within a right of way resulting from DOT&PF's activities, or activities under a permit issued under 17 AAC 15.

Permittee is responsible for adjusting or relocating the driveway without cost or liability to DOT&PF if the use or safety of the highway requires that the driveway be adjusted or relocated.

This permit is not a property right but a temporary authorization, revocable by the State upon violation of any permit terms or conditions, or for other reasons. All reasonable attorney's fees and costs associated with legal or enforcement actions related to the terms and conditions of this permit will be borne by the Permittee.

A Permittee shall construct and maintain a driveway in such a manner that the highway, and all of the highway's appurtenances or facilities, including drainage facilities, pipes, culverts, ditches, traffic control devices, street lights, pathways, and sidewalks are not impaired or endangered in any way by the construction or maintenance. (17 AAC 10.20(b)) If the Permittee damages any improvements within the State right of way, the Permittee will be responsible for returning them to their previous condition. DOT&PF inspection and approval of the restored improvements is required. (17 AAC 10.065)

Permittee shall indemnify, defend, and hold harmless the State, and its officers, employees, and contractors, from any and all claims or actions resulting from injury, death, loss, or damage sustained by any person or personal property resulting directly or indirectly from Permittee's use of or activities in the permitted area.

If driveway construction or maintenance interferes with the public's safety and/or use of facilities within State owned right of way, you will be directed to stop work until adjustments are made.

If a culvert is required by this driveway permit, culvert ends must be installed at the time of construction and maintained continuously by the Permittee. Please contact DOT&PF for information about acceptable driveway markers (i.e., size, materials, distance, etc.) for placement within the right of way.

Permittee may not push or otherwise deposit upon any street, avenue, alley, sidewalk, or other public right of way any snow or ice which has been removed from a private driveway, private parking area, or the adjacent property. (13 AAC 02.530)

Permittee is responsible for sight distance clearing of brush and obstructions within the right of way adjacent to their property.

While doing construction or maintenance activities do not park equipment or stockpile material on the shoulder during non-working hours.

Permit No. 29614

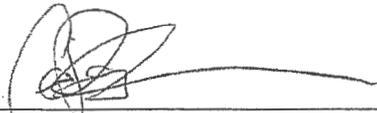
The Permittee will be responsible for all necessary Federal, State, and Municipal permits and licenses required by law, pay all taxes and special assessments lawfully imposed upon the permitted area, and pay other fees and charges assessed under applicable law.

This permit grants permission for construction only, allowing access to and from Permittee's property onto a State maintained highway. It does not permit the following within the right of way or within that portion of a driveway that is within the right of way: (1) Parking of vehicles "for sale"; (2) Obstructions of any kind (i.e. logs, cables, fencing, etc.); (3) Advertising signs or banners/flags; (4) Parking vehicles with signs/advertising on the side.

Attachments included as part of this permit are:

- Site Plan

I, Chad Ragsdale, ^{ack} knowledge and accept that we will comply with all the provisions and conditions that the Department of Transportation and Public Facilities has included as a condition of issuing this permit.



Chad Ragsdale Signature

8-29-19

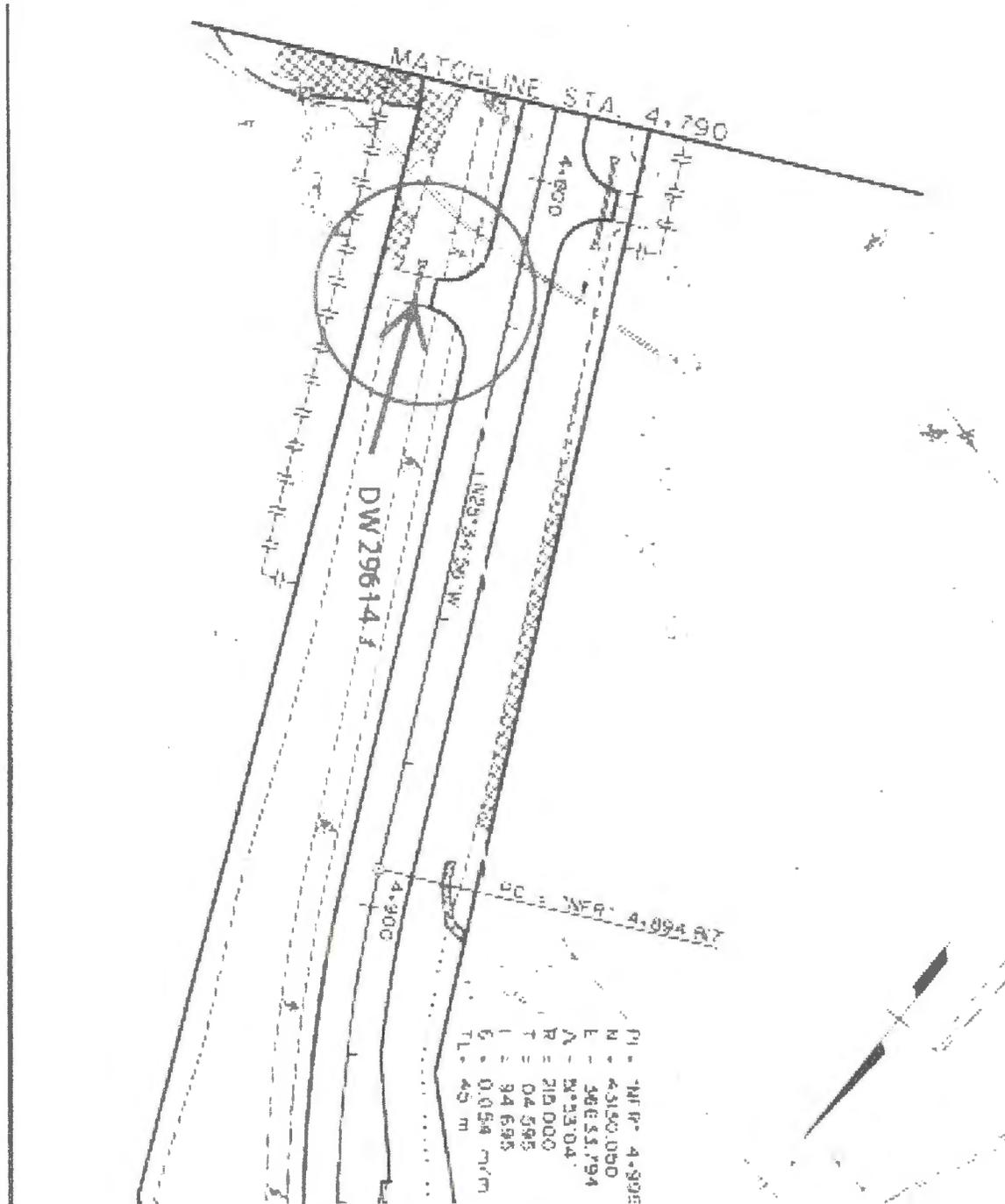
Date

DOT&PF Signature

Date

Permit No. 29614

Site Plan: project Asbuilt 53989



Department of Commerce, Community, and Economic Development
ALCOHOL & MARIJUANA CONTROL OFFICE

State of Alaska / Commerce / Marijuana / License Search / License #23122

[Return to Search Results](#)

LICENSE NUMBER 23122

License Number: 23122

License Status: Delegated

License Type: Retail Marijuana Store

Doing Business As: MCC Flight

Business License Number: 2092384

Issue Date:

Effective Date:

Expiration Date:

Email Address: tokawear@outlook.com

Physical Address: 5675 E Blue Lupine Dr
Wasilla, AK 99654
UNITED STATES

Licensees: Alaskan Pipe Dreams, LLC 10113559

Entity Officials: Chad Ragsdale
Dara Ragsdale

Onsite Consumption Endorsement

Status:

Approval Date:

Issue Date:

Effective Date:

MSB • Department of Emergency Services • Central Mat-Su Fire Department

Physical: Station 51 – 1911 S Terrace Court, Palmer
Mailing: 101 W Swanson Avenue • Wasilla, AK 99654
Office (907) 861-8030 • Fax (907) 861-8157 • E-mail: FireCode@matsugov.us



September 20, 2019

Chad Ragsdale
MCC Flight
2490 S. Paddock Dr.
Wasilla, AK 99654

SUBJECT: MCC Flight - New
FIRE SERVICE AREA: Central Mat-Su FSA
PLAN REVIEW: 2020-044
TYPE OF CONSTRUCTION: VB
OCCUPANCY TYPE: B
2012 INTERNATIONAL BUILDING AND FIRE CODE

Dear Mr. Ragsdale:

Plans for the subject facility have been reviewed by this office for conformity with the State Fire Safety Regulations and are hereby approved as submitted. Enclosed is a certificate of approval that must be posted on the premises until completion of the above facility. Any changes to the approved plans must be submitted to this office for review and approval. **You are prohibited to occupy this building until construction is completed for which plans have been examined and approved.**

It must be understood that the inclusion of and compliance with State Fire Safety Regulations does not preclude the necessity of compliance with the requirements of local codes and ordinances. Also understand that approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulations. The plans have not been reviewed for compliance with the Federal Americans with Disabilities Act or structural requirements.

If we can be of further assistance in this matter, please contact us at the address above.

Sincerely,

Donald C. Cuthbert
Fire Marshal

Central Mat-Su Fire Service Area No. 130 - District 1
Department of Emergency Services, Matanuska-Susitna Borough

Plan Review #2020-044 MCC Flight



This is to certify that the plans for this building were reviewed by CMSFD's Fire & Life Safety Division on 9/20/2019, for conformance with AS 18.70.010-100; 13 AAC 50.027. This certificate becomes invalid 180 days after the work on the site is commenced within 180 days after issuance, or if the work authorized is suspended or abandoned for a period of 180 days after the time work is commenced. An extension may be requested at the above mentioned address.

This certificate shall be posted in a conspicuous place on the premises listed above and shall remain posted until construction is completed. **Notice:** *Any changes or modifications to the approved plans must be resubmitted for review by the Central Mat-Su Fire Department.*

Authority: AS 18.70.080, 13 AAC 50.075 & MSB RS 06-054


by Donald C. Cuthbert, Fire Marshal

PERMIT CENTER – FEE RECEIPT FORM

Property Location: 5675 E. Blue Lupine Dr. Applicant: Chad Raysdale

	USE PERMITS {100.000.000.341.300}	Fee
<input type="checkbox"/>	8.35 Public Display of Fireworks	\$25.00
<input type="checkbox"/>	8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuan	\$100.00
<input type="checkbox"/>	8.52 Temporary Noise Permit	\$500.00
<input type="checkbox"/>	8.55 Special Events Permit 500 – 1000 Attendees	\$500.00
<input type="checkbox"/>	8.55 Special Events Permit Site 1000+ Attendees	\$1,000.00
<input type="checkbox"/>	8.55 Special Events Permit Site Matanuska Susitna Borough	\$300.00
<input type="checkbox"/>	17.02 Mandatory Land Use Permi	Payment Date Wednesday, December 4, 2 Deposit Number 39719 Operator Lach0415
<input type="checkbox"/>	17.02 Mandatory Land Use Permi	\$25.00
<input type="checkbox"/>	17.02 Mandatory Land Use Permi	\$150.00
<input type="checkbox"/>	17.04 Nancy Lake Special Land U	Real 2019 (Total) \$0.00 MCR (100.000.000.341.300) \$1,000.00
<input type="checkbox"/>	17.04 Nancy Lake Special Land U	\$1,000.00
<input type="checkbox"/>	17.06 Electrical Generating & Del	Misc Rec
<input type="checkbox"/>	17.06 Electrical Generating & Del	\$500.00
<input type="checkbox"/>	17.08 Hay Flats Special Land Use	Tax Map # 2MISC
<input type="checkbox"/>	17.08 Hay Flats Special Land Use	\$1000.00
<input type="checkbox"/>	17.17 Denali State Park Condition	
<input type="checkbox"/>	17.17 Denali State Park Condition	\$1000.00
<input type="checkbox"/>	17.18 Chickaloon Special Land U	Total Paid \$1,000.00
<input type="checkbox"/>	17.18 Chickaloon Special Land U	\$1000.00
<input type="checkbox"/>	17.19 Glacier View Special Land	Cash \$1,000.00
<input type="checkbox"/>	17.19 Glacier View Special Land	\$1000.00
<input type="checkbox"/>	17.23 Port MacKenzie Developm	Change \$0.00
<input type="checkbox"/>	17.23 Port MacKenzie Developm	\$1000.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use	Receipt Number MSB91364140
<input type="checkbox"/>	17.25 Talkeetna Conditional Use	\$1000.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use	11/27/2019 12:16:22 PM
<input type="checkbox"/>	17.25 Talkeetna Conditional Use	\$1000.00
<input type="checkbox"/>	17.27 Sutton Special Land Use	Paid By RAYSDALE CHAD/CASH
<input type="checkbox"/>	17.27 Sutton Special Land Use	\$1000.00
<input type="checkbox"/>	17.27 Sutton Special Land Use	Cashier Id. LACH0415
<input type="checkbox"/>	17.27 Sutton Special Land Use	\$1000.00
<input type="checkbox"/>	17.28.030 Interim Materials Dist	
<input type="checkbox"/>	17.28.030 Interim Materials Dist	\$2000.00
<input type="checkbox"/>	17.29 Flood Damage Prevention	
<input type="checkbox"/>	17.29 Flood Damage Prevention	\$100.00
<input type="checkbox"/>	17.29 Flood Damage Prevention	
<input type="checkbox"/>	17.29 Flood Damage Prevention	\$500.00
<input type="checkbox"/>	17.30.040 Earth Materials Extrac	
<input type="checkbox"/>	17.30.040 Earth Materials Extrac	\$500.00
<input type="checkbox"/>	17.30.050 Earth Materials Extra	
<input type="checkbox"/>	17.30.050 Earth Materials Extra	\$1000.00
<input type="checkbox"/>	17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots	\$500.00
<input type="checkbox"/>	17.36 Residential Planned Unit Development Additional Lots or tracts being created – Per Lot	\$100.00
<input type="checkbox"/>	17.48 Mobile Home Park Permit Application	\$500.00
<input type="checkbox"/>	17.52 Residential Land Use District App (Rezone)	\$1,000.00
<input type="checkbox"/>	17.52 Conditional Use Permit Application	\$1,000.00
<input type="checkbox"/>	17.55 Shoreline Setback Exception Application	\$300.00
<input checked="" type="checkbox"/>	17.60 Conditional Use Permit Application	\$1000.00

**INTRODUCTION FOR PUBLIC HEARING
QUASI-JUDICIAL**

Resolution No. PC 20-13

**Moonstone Farm
Alcoholic Beverage Dispensary (Bar) CUP
2141 S. Church Road**

Page 89 - 112

INTRODUCTION FOR PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-7876

Email: permitcenter@matsugov.us

APPLICATION FOR A CONDITIONAL USE PERMIT REGULATION OF ALCOHOLIC BEVERAGE USES – MSB 17.70

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Handwritten: Pd ck #441
11/15/19

Application fee must be attached:

- \$1,000 for Liquor Beverage Dispensary
- \$1,000 for Liquor Package Store

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission.

Subject Property Township: 17N, Range: 1E, Section: 16, Meridian (~~1E~~) ^{SW}

MSB Tax Account # 17N01E16 0012

SUBDIVISION: _____ BLOCK(S): _____ LOT(S): _____

STREET ADDRESS: 2141 S. Church Street Palmer AK 99645

(US Survey, Aliquot Part, Lat. /Long. etc)

Establishment Name: Moonstone Farm

Ownership A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner

David Church

Address: 2141 S. Church St

Palmer AK 99645

Phne: Hm 7450130 Fax —

Wk 745-0130 Cell —

E-mail moonstonefarm05@gmail.com

Name of Agent/ Contact for application

Michelle Church

Address: 2141 S. Church Street

Palmer AK 99645

Phne: Hm 7450130 Fax _____

Wk 354-1887 Cell 354-1887

E-mail moonstonefarm05@gmail.com

In order to grant a conditional use permit under MSB 17.70, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
1. Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	
2. Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	

3. Are sufficient setbacks, lot area, buffers and other safeguards being provided?	
4. Is there any potential negative effect upon other properties in the area due to such factors as dust, noise, obtrusive advertising and glare?	
5. Is there any potential negative effect on the safe, efficient flow of traffic on any highway, arterial, collector or street from which access to and from the establishment is obtained?	
6. What measures are being proposed to reduce any negative effect upon adjacent and nearby properties by property line buffers and arterial buffers, planted berms, landscaping, reduction or elimination of obtrusive or garish signing or other features, lowered building elevation, clustering with other commercial establishments and use of frontage roads to reduce the number of entries and exits onto highways, arterials and collectors and where the surrounding area is predominantly residential in character, site and building design features that contribute to the residential character of the development?	
7. Are there adequate parking facilities to accommodate a reasonably expected increased demand for parking created by issuing the permit?	
8. Will access to the premises create an unreasonable traffic hazard?	
9. Will a reasonably expected increase in traffic overtax the existing road system?	
10. Is the use compatible with the character of the surrounding neighborhood?	
11. Is there or would the use tend to result in, a high crime rate or a high incidence of alcohol-related accidents in the area?	
12. Does the applicant or a person with an interest in the application have an interest in a liquor license which was suspended or revoked in the 12 months preceding the application?	
13. Has the applicant or person with an interest in the application demonstrated that the person is untrustworthy or unfit to conduct the operation of a licensed business, or is a potential source of harm to the public?	

Supplemental Information – Explain in Detail	Attached
1. Maximum occupancy capacity of facility as determined by Fire Marshall	3
2. Number of employees proposed to work on largest work shift.	2
3. Number of regular parking spaces provided.	10
4. Number of handicapped parking spaces provided.	2
5. Is the use a sole occupant in a building or a tenant in a building?	yes
6. Total square footage of space in building occupied by this use.	144 sq ft
7. Hours of operation.	12-5 pm
8. Noise mitigation measures	n/a

SITE PLAN – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
1. Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the liquor use. Draw lot dimensions and indicate setback distance of structure(s) from the lot lines, rights-of-way, and waterbodies.	
2. Dimensions of all structures	
3. Interior floor plans (specific location of the use or uses to be made of the development)	
4. Signage – Existing and Proposed	
5. Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	
6. Proposed contouring	
7. Vegetation and any landscaping	
8. Buffering – Fences, trees, topography, or berms	
9. Drainage	
10. Vehicular and pedestrian circulation patterns	
11. Exterior site lighting	
12. Distance(s) to the nearest intersection in all directions from proposed permit site along roads adjacent to the site.	
13. Location and dimensions of parking areas to be provided	
14. Boundary protection	
15. Scale and north arrow.	

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax parcel ID #(s) ~~D00~~ 17N01E16C012 and, I hereby apply for approval an alcoholic beverage use conditional use permit on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.70 and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved conditional use permit may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

Michelle Church Michelle Church 9-5-19
Signature: Property Owner Printed Name Date

Signature: Agent Printed Name Date

MOONSTONE FARM
ALCOHOL BEVERAGE DISPENSARY
CONDITIONAL USE APPLICATION

Matanuska - Susitna Borough
Development Services

Applicants:

NOV 15 2019

Michelle and David Church
Owners
Moonstone Farm
2141 S Church Street
Palmer, AK 99645
Moonstonefarm05@gmail.com
(907)354-1887

Received

1. Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?

Moonstone Farm is a market farm owned and operated by the grandson of the colonists who built the homestead in 1935. Farm tours have been occurring on the farm for the past two seasons, 2018 and 2019. The purpose of obtaining an alcohol license is to allow diversification of revenue sources for the farm and augmentation of the ongoing tourist related activities providing introduction, education and promotion of Alaska grown products, beer, wine, cider and spirits produced in Alaska. The bar will be operated in conjunction with current ongoing farm activities which include produce, flower and hay sales, and farm tour opportunities. The bar will keep in character with the small family run farm operation. The bar will be located in a small cabin on the property with a designated fenced in "beer garden." Traffic will be limited to the buses and vans already coming to the farm as well as potential foot traffic from patrons of a neighboring RV Park. Bar hours will be limited to noon to 5:00pm to serve tour operations.

2. Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?

Operation of the bar will be conducted in full compliance of all state and local laws. Staff serving alcohol will be property credentialed. Alcohol consumption will occur only in designated outdoor area and will be strictly monitored by staff. The purpose of the bar is to provide tasting opportunities for tour groups and the number of drinks allowed will be limited.

3. Are sufficient setbacks, lot area, buffers and other safeguards being provided?

See site map.

4. Is there any potential negative effect upon other properties in the area due to such factors as dust, noise, obtrusive advertising and glare?

There will not be any lighted signage. Hours of operation are limited to usual hours of farm tours, anticipated to be noon to 5:00 pm. Church Street is paved, the road dead ends at the subject property. Parking area will be kept watered if needed for dust control. There will be no amplified sound system within the bar area. The past two years of farm tours have not resulted in any issues addressed here and the tours will continue to operate in the same way with the added opportunity to taste test local brews and spirits.

5. Is there any potential negative effect on the safe, efficient flow of traffic on any highway, arterial, collector or street from which access to and from the establishment is obtained?

Traffic to the property will not increase beyond what is already occurring other than potential foot traffic from the neighboring RV park. Patrons currently arrive at the property in buses and vans operated by licensed tour companies. Church Street dead ends at the subject property.

6. What measures are being proposed to reduce any negative effect upon adjacent and nearby properties....

The subject property is 30 acres in total. No homes or businesses are within 100' of the property lines. The bar will be housed in a small cabin within the property (see site map) with a fenced "beer garden" where consumption will occur. No lighted signage or amplified sound systems will be used. Hours of operation are during the day.

7. Are there adequate parking facilities to accommodate a reasonably expected increased demand for parking created by issuing the permit?

See site map. Parking is located in the entrance to the property with handicapped parking allowed next to the bar. Local farm tourists are transported to the farm in vans and buses so the number of vehicles traveling to the property is limited. Parking can occur on the gravel and grass areas accommodating anywhere from 10 to 50 vehicles. There are two exits from the property available for potential emergency vehicle use.

8. Will access to the premises create an unreasonable traffic hazard?

Traffic to the property is limited to occasional customers who come to buy produce, flowers and hay. Tour buses and vans come in sporadically throughout the week and do not create any traffic issues. The property is at the end of Church Street.

9. Will a reasonable expected increase in traffic overtax the existing road system?

There is no increased traffic anticipated beyond what already occurs from people traveling to the farm to purchase produce, flowers, hay or participate in farm tours.

10. Is the use compatible with the character of the surrounding neighborhood?

The bar will be incorporated into the ongoing activities of a historical family farm. It will meld into the character of the farm and will simply augment ongoing activities designed to celebrate and educate the public on Alaska grown and Alaska produced products. Consumption of alcohol will be limited to taste tasting and consumption will be closely monitored to maintain a family friendly atmosphere.

11. Is there or would the use tend to result in a high crime rate or a high incidence of alcohol-related accidents in the area?

Alcohol consumption will be closely monitored by staff who will be family members living on the farm. Anyone serving alcohol will be properly credentialed by the state and all laws concerning the serving of alcoholic beverages will be strictly adhered to. Consumption is for taste testing and refusal to serve anyone who is inebriated will be strictly enforced.

12. Does the applicant or a person with an interest in the application have an interest in a liquor license which was suspended or revoked in the 12 months preceding the application?

No.

13. Has the applicant or person with an interest in the application demonstrated that the person is untrustworthy or unfit to conduct the operation of a licensed business, or is a potential source of harm to the public?

No.

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SUPPLEMENTAL INFORMATION

1. Maximum occupancy capacity of facility as determined by Fire Marshall.

The cabin that will serve as the bar is under renovation and will be inspected by the Fire Marshall as soon as it is completed, estimated to occur spring 2020. All alcohol will be purchased and served in the cabin but consumption will occur in a designated outdoor area. Patrons will buy their beer, etc then step outside to drink it. Maximum capacity of the bar will be 3, one server and two patrons maximum at a time. There will be smoke and CO2 detectors and a fire extinguisher.

2. Number of employees proposed to work on largest work shift

Two (2)

3. Number of regular parking spaces provided

Ten (10) (see site map)

4. Number of handicapped parking spaces provided

Two (2) (see site map)

5. Is the use a sole occupant in a building or tenant in a building?

Yes

6. Total square footage of space in building occupied by this use

144 sq feet (building is 12' X 12')

7. Hours of operation

12:00 noon to 5:00pm Coinciding with scheduled farm tours

8. Noise mitigation measures

None required

SECURITY PLAN:

The bar will be on a family owned market farm. Two family members or farm workers will be present during bar hours. The purpose is to provide tasting opportunities for farm tour participants and farm guests. Alcohol service and consumption will be monitored by the host/farm guide as well as the server in the bar. Tour guests who have minor children with them will be served refreshments in a different area of the farm outside the designated bar

garden. Signage will be prominently placed at the entrances stating that no minors will be allowed in the bar garden as required by state law.

The area designated for consumption of all alcoholic beverages is an outside "beer garden" design delineated on all sides by a 3 foot wooden fence. There will be a single point of entry via a gate on the north side of the fenced area next to the building. We will have a camera on the gate with a monitor inside the small building where the alcohol will be sold so that the employee serving the alcohol can monitor the gate along with the host farm guide who will remain with the guests.

All individuals serving alcohol will hold current TAP cards.

Signage will be posted at each gate stating that alcoholic beverages are prohibited beyond that point.

MOONSTONE FARM
ALCOHOL BEVERAGE DISPENSARY
CONDITIONAL USE APPLICATION
REQUEST FOR ADDITIONAL INFORMATION RESPONSE

1/30/20

Matanuska-Susitna Borough
Permit Center

Applicants:

FEB 03 2020

Michelle and David Church
Owners
Moonstone Farm
2141 S Church Street
Palmer, AK 99645
moonstonefarm05@gmail.com
(907)354-1887

Received

Dear Mr. Whisenhunt:

Enclosed are scaled drawings, maps and additional narrative in answer to your 12/9/19 letter requesting additional information/clarification for our CUP liquor license.

- Drawing 1: PROPERTY MAP
- Drawing 2: SITE MAP
- Drawing 3: Bar Layout
- Drawing 4: Bar Interior Layout and Lighting

In our discussions with planning staff regarding our CUP application, we were informed of a setback violation on the north side of the property. The 120' long structure (marked as 'q' on the SITE MAP) will be moved to the south to meet the required 25' setback from the north property line as required by code. The structure is currently 10' from the property line. Once the ground has thawed and is workable the building will be moved forward. Our goal is to have the setback issue resolved by the first of July 2020. We understand completion of this setback remedy will be a requirement of the CUP.

The Site Map drawing indicates the area that will be utilized for parking. As stated in our earlier CUP narrative, the bar will be primarily used to augment ongoing farm tour activities. Farm tour participants arrive via bus or van so multiple parking spaces are not normally required. However, in order to host a larger event such as a reception or wedding, we have indicated where additional public parking can occur. The total area designated for the parking is 17,830 sq feet and is noted on the Property Map as well as the Site Map.

The Handicapped Parking is designated as two ADA compliant spaces (each 8' wide) directly on the north side of the bar building. Signage for these spaces will be placed on the north side of the bar building. Persons requiring handicapped parking will be able to drive

directly to the bar building. Others will be walking from the parking area past the north garden as indicated on the drawing as Pedestrian Circulation. See Site Map and Bar Layout for details showing ADA compliant handicap parking location.

There will be no contouring or landscaping done regarding the bar beyond what already exists on the property. Natural surface drainage occurs southward of the subject building, indicated by blue arrows on the Site and Property Maps. No persons or property will be impacted by placement of this structure as we own the 20+ acres of land to the south of the bar building.

Existing vegetative buffers consists of a tree line along the entire property as well as significant tree stands to the east and the south, clearly visible on the attached aerial photo of the property. The bar will not have additional vegetative buffering added around the structure.

There are no private or public use easements on the property.

Drawings 3 and 4 provide detailed to scale plans for the 12' X 12' bar. The outdoor beer garden will be bordered by fencing. Proper signage designating where consumption of alcoholic beverages can occur will be posted on the bar and on the fencing as required by state statute. The 27' X 28' outdoor beer garden area is south of the bar building and is designated on the drawings. Bar patrons will enter the gate on the south west corner of the bar. Beverages will be dispensed inside the 12' X 12' bar with consumption of the beverage occurring outside the bar in the beer garden area. We anticipate maximum capacity for the bar building will be 3 to 5 people, to be determined by the Fire Marshall. Persons with mobility issues will be served in the beer garden.

Bar hours will be available Monday through Sunday from noon to 8:00pm in conjunction with farm tour activities. We expanded the proposed hours of operation from our original application to allow maximum flexibility for activities as we are unable to confirm scheduled farm tours at this date. We will be meeting with tour operators to finalize hours of operation once we have received final approval of the liquor license. Our focus is to enhance the farm tour experience and to promote Alaska agriculture through tourism activities; however, as a seasonal full dispensary license we reserve the right to serve other groups and members of the public during our stated hours of operation. The bar will be seasonally operated from May 15 to October 15.

We have attached the driveway permit for the primary access which will be from Church Street. We have applied for and received a grandfathered permit for the driveway off Leslie Circle. We have been informed that we will receive the permit for this driveway as soon as inspections by the Borough can be completed this spring. The Church Street driveway is approximately 20' wide. The Leslie Circle driveway is approximately 15' wide. Leslie Circle exit is available for emergency and overflow access for larger events. There is an additional permitted driveway on the south west boundary of the property intersecting with Dearborn Circle however it will not be used for any activity associated with this CUP. We have attached the receipt for this permit application. Dearborn Circle is also scheduled for

upgrade by the Borough and the final driveway will be completed when that project is done.

The bar is 330' from the nearest intersection, which is Church Street and Leslie Circle.

The farm has a 3 X 3 Moonstone Farm sign posted at the entrance to the property off Church Street. We will have an unlighted bar sign designed and mounted to the outside of the building scaled to the building once remodeling of the structure is completed. There will be one exterior light outside the bar door entrance on the south side of the building and a security light on the north side of the building above the handicap parking area. Because CUP activities are limited to May through October, no additional lighting will be required.

There will be an interior security camera and three exterior mounted security cameras that can be remotely monitored as well as via a screen inside the bar.

We are currently working with DEC to get final approval of the grey water disposal plan. A 'porta john' will be rented and on site for guest use during the farm tour season from May through October. An outdoor guest hand washing station will be located on the west side of the bar building. We will be meeting with the Fire Marshall in the next week to get scheduled for inspection and plan approval. We anticipate both additional agency approvals will be completed prior to the CUP hearing.

If there are any other questions or clarification we need to provide please let us know. Thank you for your assistance.

Michelle Church
Moonstone Farm
(907)354-1887
moonstonefarm05@gmail.com

Attachments:

Drawing 1: Property Map

Drawing 2: Site Map

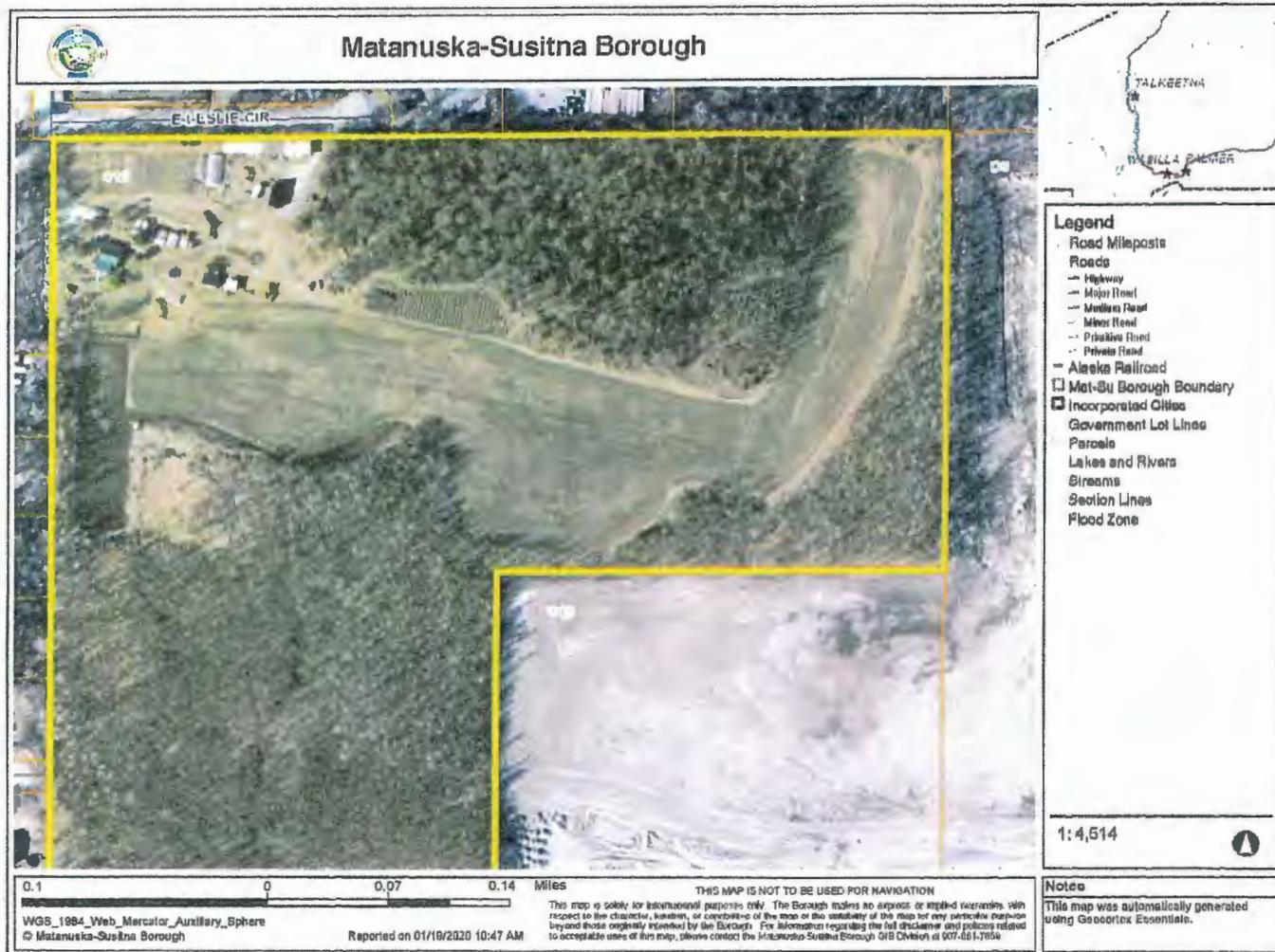
Drawing 3: Bar Layout

Drawing 4: Bar Interior Layout and Lighting

Matanuska Susitna Borough Geocortex photo

Matanuska Susitna Borough parcel viewer showing street map

Driveway permits: Church Street, Leslie Circle, Dearborn





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Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division

350 East Dahlia Ave Palmer, AK 99645
Phone (907) 861-7822 / Fax (907) 861-8158
www.matsugov.us

FINAL DRIVEWAY ACCEPTANCE

PERMIT # D23405
TAX PARCEL ID # 17N01E16C006

October 9, 2019

The Matanuska-Susitna Borough has performed the Final Inspection of your driveway. The driveway has been adequately constructed to Borough standards and to the conditions outlined by the initial driveway inspector. Your Approved Driveway Permit Number is listed above.

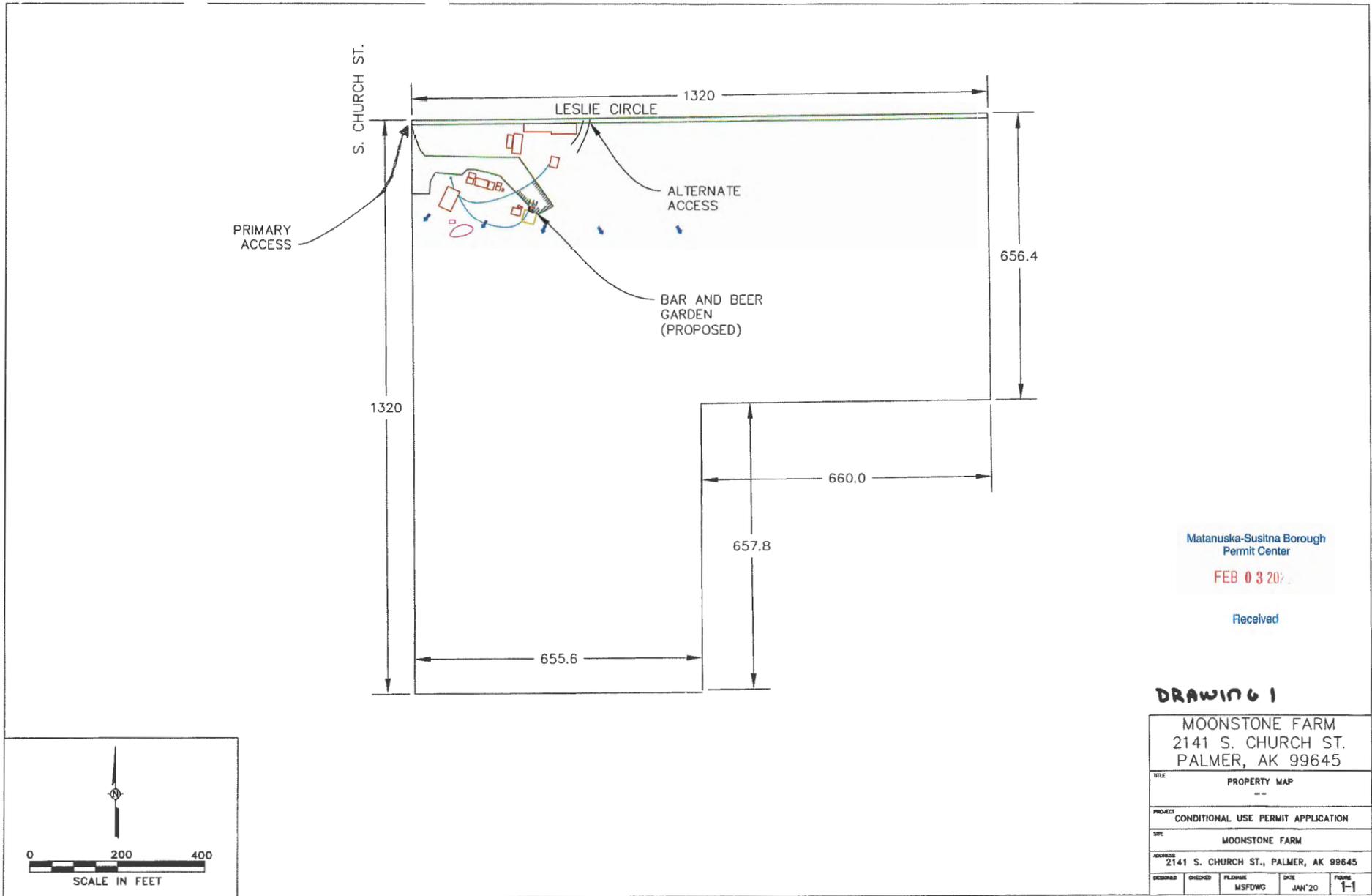
Please keep this letter.

If you have any questions or concerns about your driveway or this permit, you may contact the Permit Center at 907-861-7822.

Sincerely,

A handwritten signature in black ink that reads "Michelle Olsen".

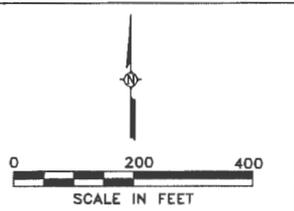
Michelle Olsen, CFM
Permit Technician

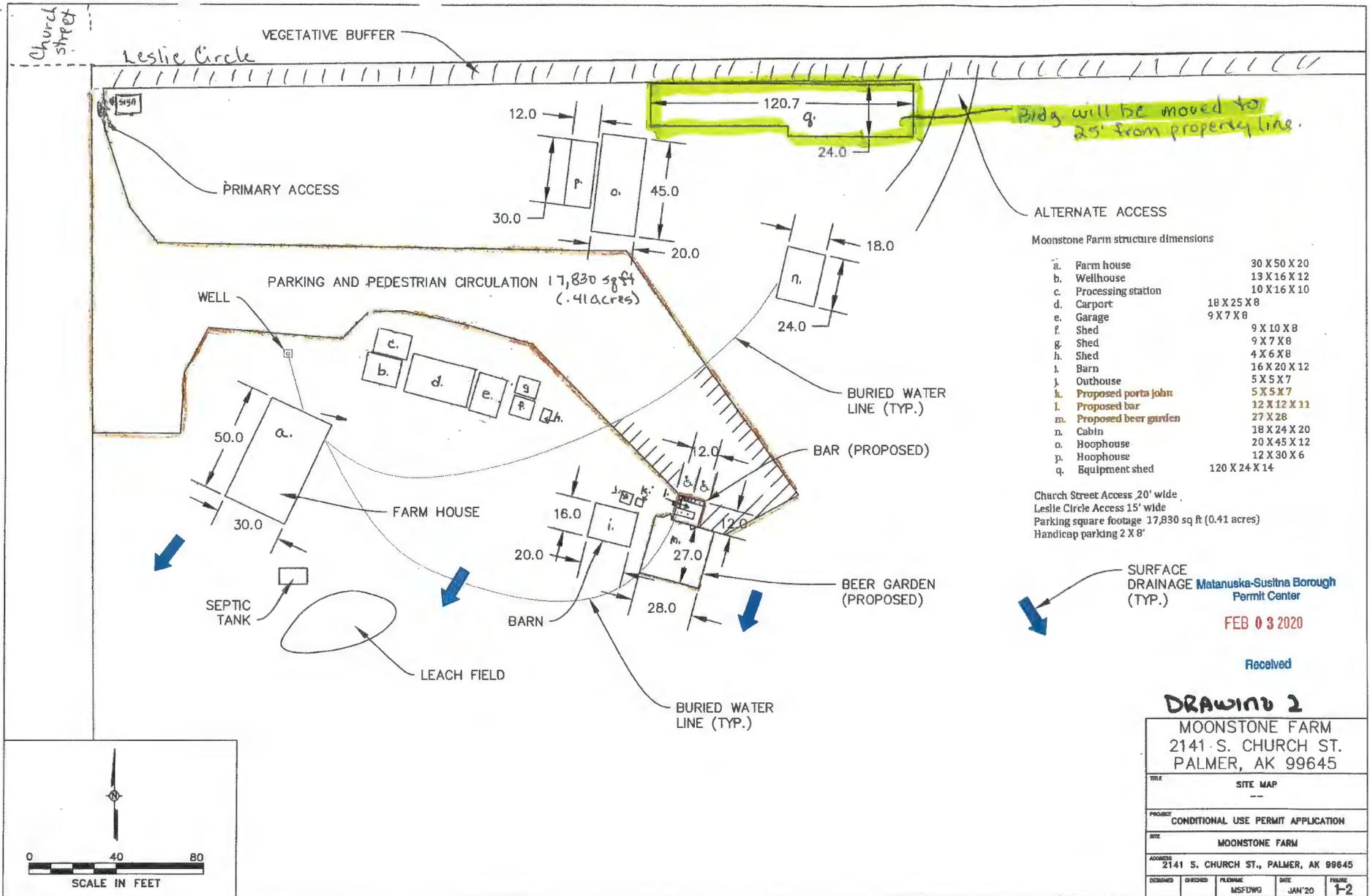


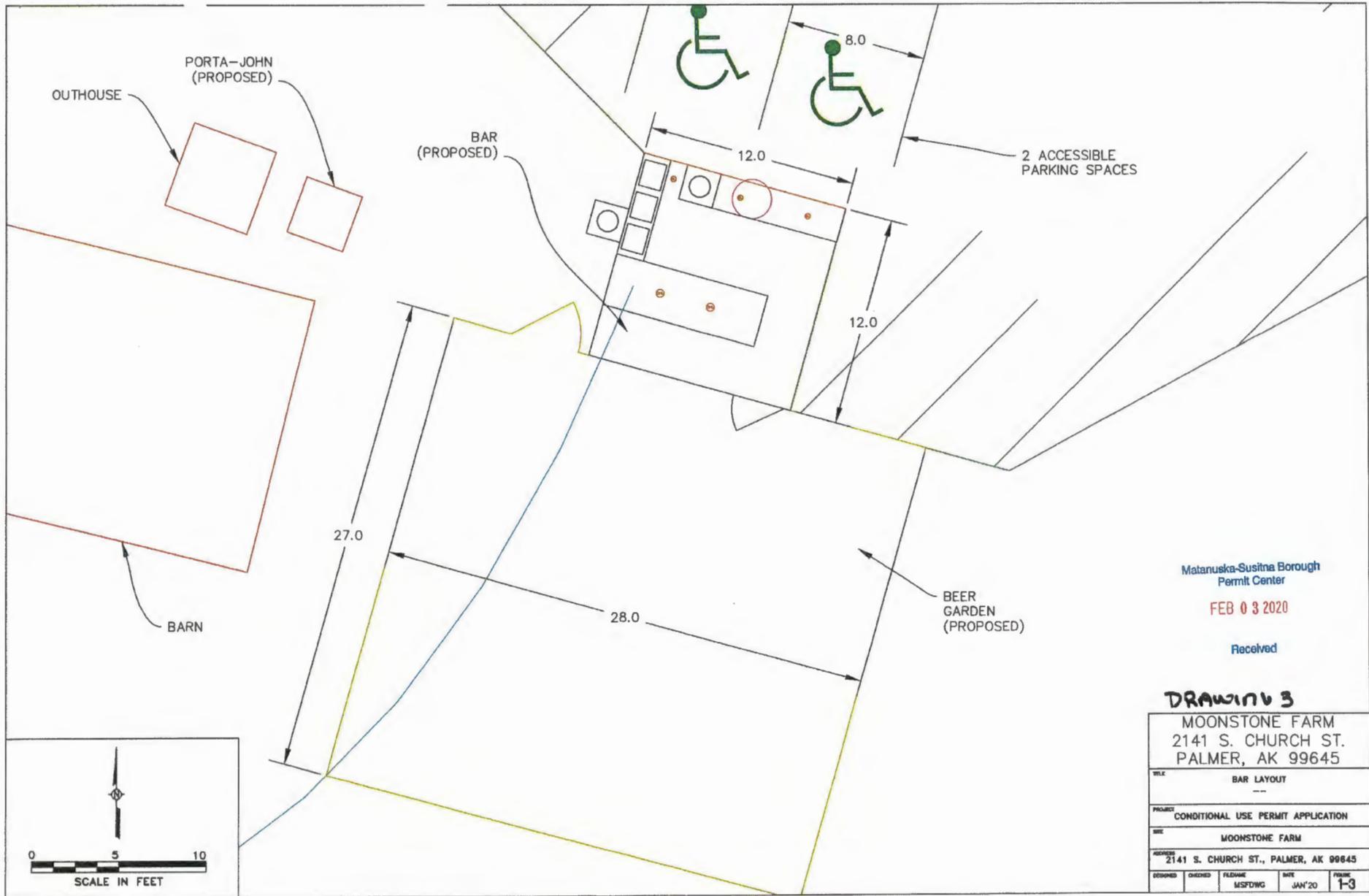
Matanuska-Susitna Borough
Permit Center
FEB 03 2020
Received

DRAWING 1

MOONSTONE FARM 2141 S. CHURCH ST. PALMER, AK 99645				
TITLE PROPERTY MAP --				
PROJECT CONDITIONAL USE PERMIT APPLICATION				
SITE MOONSTONE FARM				
ADDRESS 2141 S. CHURCH ST., PALMER, AK 99645				
DESIGNED	DRAWN	FILED	DATE	PAGE
		MSFDWG	JAN'20	1-1







Matanuska-Susitna Borough
Permit Center

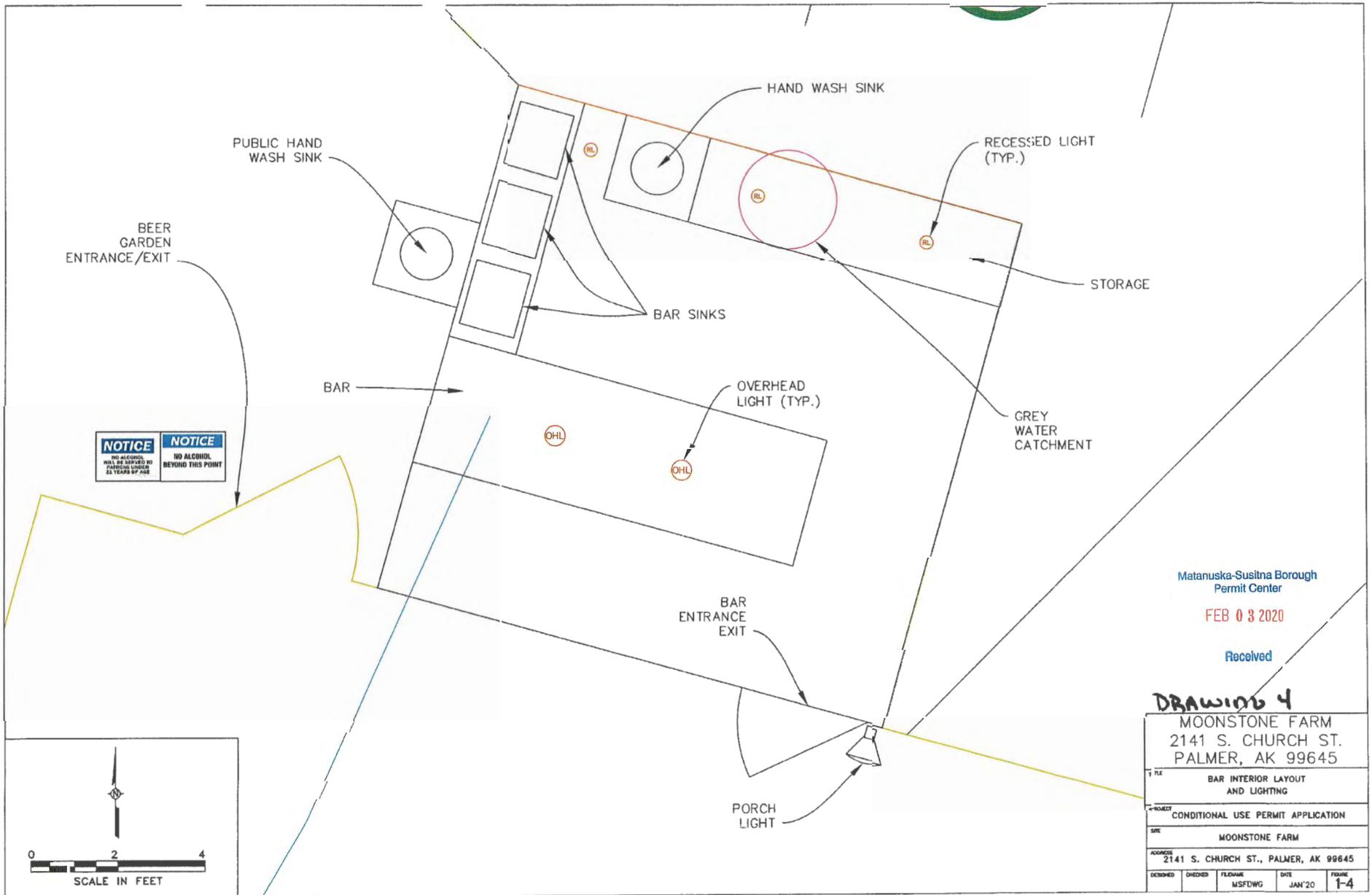
FEB 03 2020

Received

DRAWING 3

MOONSTONE FARM
2141 S. CHURCH ST.
PALMER, AK 99645

TITLE BAR LAYOUT				
PROJECT CONDITIONAL USE PERMIT APPLICATION				
SITE MOONSTONE FARM				
ADDRESS 2141 S. CHURCH ST., PALMER, AK 99645				
DESIGNED	CHECKED	FILED/DATE	DATE	PLANK
		MSP/DWG	JAN'20	1-3



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**INTRODUCTION FOR PUBLIC HEARING
QUASI-JUDICIAL**

**Resolution No. PC 20-16
Canna Get Happy
Marijuana Retail Facility CUP
2123 E. Palmer-Wasilla Highway**

Page 113 - 168

INTRODUCTION FOR PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us



CONDITIONAL USE PERMIT FOR MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,000 for Marijuana Retail Facility
- \$1,000 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- Hazardous Chemicals Information – 17.60.160 (C)
- Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 17N, Range: 1W, Section: 11, Meridian: Lot A20
 MSB Tax ID# 17N01W11A020
 SUBDIVISION: _____ BLOCK(S): _____ LOT(S): _____
 STREET ADDRESS: 2321 E. Palmer Wasilla Hwy
 FACILITY / BUSINESS NAME: Canna Get Happy

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner	Name of Agent / Contact for application
<u>Sandra D. Millhouse</u>	_____
Mailing: <u>PO Box 874574</u>	Mailing: _____
<u>Wasilla, AK 99687</u>	_____
Phone: Hm _____ Fax _____	Phone: Hm _____ Fax _____
Wk _____ Cell <u>373-8761</u>	Wk _____ Cell _____
E-mail <u>sandradhbica@yahoo.com</u>	E-mail _____

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	
Signage – Existing and Proposed.	
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	
Buffering – Fences, vegetation, topography, berms, and any landscaping	
Drainage	
Vehicular and pedestrian circulation patterns.	
Exterior site lighting.	
Location and dimensions of parking areas to be provided	
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	
Describe how this use is compatible with the character of the surrounding area.	
Current status of State License application process – 17.60.150 (D) (1)	

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	

Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	
Interior floor plans (specific location of the use or uses to be made of the development).	
Net floor area square footage calculations.	

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 17N01W11A020 and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public’s health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.


Sandra D. Millhouse

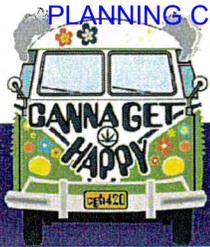
Signature: Property Owner Printed Name Date

Signature: Agent Printed Name Date



CANNA GET HAPPY





CANNA GET HAPPY



January 9, 2020

To Whom it May Concern:

Hello, my name is Sandra Millhouse. I am a 4th generation Alaskan. I was born at the old Native Hospital downtown and raised in Anchorage. When I started a family of my own, I moved to the valley for the possibility of a larger home and more acreage.

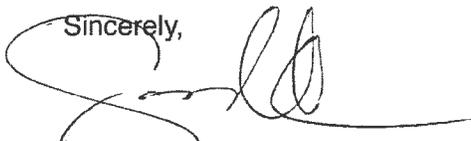
In 1999 my husband and I started a our first business out of our garage. Within 6 months, we were renting a shop and our career took off. We owned Hard Rock Designs, a granite and marble fabrication company. In 2007 we bought property and built a state of the art fabrication facility in Wasilla. We installed kitchens from Fairbanks to Seldovia and everywhere in between. We closed our business in June of 2019, so I could pursue this new business adventure.

In February of 2019, I purchased 19 acres along the Palmer Wasilla highway, where I would be able to build a retail facility with space to be in compliance of all codes.

My husband has owned Green Go, a marijuana cultivation in Anchorage for the last 3 years. I have been in charge of light bookkeeping, but most importantly compliance with taxes and insurance. I am fully aware of the financial obligations of a marijuana company and will make sure Canna Get Happy complies with all state and borough regulations.

I appreciate your time and consideration in this matter.

Sincerely,



Sandra D Millhouse, Owner
Canna Get Happy

Alaska Business License # 2090055

Alaska Department of Commerce, Community, and Economic Development

Division of Corporations, Business, and Professional Licensing
PO Box 110806, Juneau, AK 99811-0806

This is to certify that

Canna Get Happy LLC

P.O. Box 874574, wasilla, AK 99687

owned by

canna get happy llc

is licensed by the department to conduct business for the period

January 2, 2020 to December 31, 2021
for the following line(s) of business:

42 - Trade



This license shall not be taken as permission to do business in the state without having complied with the other requirements of the laws of the State or of the United States.

This license must be posted in a conspicuous place at the business location.
It is not transferable or assignable.

Julie Anderson
Commissioner



Matanuska-Susitna Borough Business License #. 35771

350 E. Dahlia Ave, Palmer, Alaska 99645

Effective Date: NOV 22 2019

Expiration Date: DEC 31 2021

**This license must be prominently displayed.
It is not transferable or assignable.**

This license shall not be taken as permission to do business in the State without having complied with the other requirements of the laws of the State of Alaska or the United States.

DEPARTMENT OF FINANCE

**CANNA GET HAPPY LLC
CANNA GET HAPPY LLC
PO BOX 874574
WASILLA, AK 99687**

Business Location(s): 2321 E PALMER WASILLA HWY

This is to certify that the licensee named above holds a Matanuska-Susitna Borough business license covering the period listed above.

Detach Here

**CANNA GET HAPPY LLC
CANNA GET HAPPY LLC
PO BOX 874574
WASILLA, AK 99687**

Fee Paid: \$100

License No.: MBL **35771**

Effective: NOV 22 2019 To DEC 31 2021

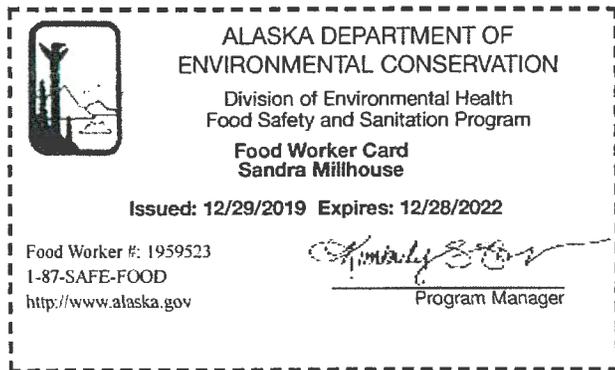
The above business has been licensed to conduct business in the Matanuska-Susitna Borough. The borough business license must be prominently displayed. When a business has more than one location, the original license shall be displayed at the main location and a copy of the license shall be displayed at each branch location. If the business is continued at the same location but there is a change in its form of organization, such as from a single proprietorship to a partnership or a corporation, the admission or withdrawal of a partner, or any other change, the seller making the

[EH / Food Safety and Sanitation]

PRINT YOUR FOOD WORKER CARD

Congratulations on passing the State of Alaska's Food Safety test and meeting all of the qualifications necessary to obtain a Food Worker Card and work in Alaska's food industry. You will need to print two copies: one copy for your employer and one to keep on your person.

Note, your Food Worker Card is good for a period of three years from today's date. Please keep your Test ID. It is your proof of qualifying to work in Alaska's food industry. If your card is lost or stolen, you will need your Test ID to come back to this page and print out a replacement.



State of Alaska

© 2013

Webmaster (mailto:beth.johnson@alaska.gov)

SOA / DCCED / Marijuana / Account / #20807

HANDLER PERMIT 20807

Handler Permit Number:

20807

Handler Status:

Active

Issue Date:

04/12/2019

Effective Date:

04/12/2019

Expiration Date:

02/13/2022

Name:

Sandra Millhouse

Date of Birth:

01/28/1972

Phone Number:

907-373-8761

Email Address:

sandradhbic@yahoo.com

Mailing Address:

P.O. Box 874574
Wasilla, AK 99687
UNITED STATES

Actions & Documents



CANNA GET HAPPY



Re: Site Plan

Canna Get Happy is located on a 5 acre parcel. It is located in the old railroad building (highlighted in yellow on the map) that was placed on the property back in the 1930's. We tried to preserve as much of the original building as possible because it is one of the last original structures on Wasilla Lake. There is another building on the property that currently has What Tattoo renting and they are agreeable to the new proposed business.

We are putting a 60's style sign on the Palmer Wasilla that will light up when we are open, but not a digital screen that can sometimes distract drivers. We will be painting the outside of the building a light green tone, and will have a flower design cascading around the building.

I have provided a map from Bull Moose Surveying which provides the right of ways and easements.

Most of the 5 acres is treed, but we plan to plant crabapple trees with pink flowers along the highway to add to the beauty of the location.

The buildings were existing so current drainage and parking lots were in place, but we took out a few trees along the tree line to provide 5 other spaces. The rest of the 5 acres is landscaped with grass or thick forest. Along with exterior building lights we will have lamp posts around the parking lot as shown on the scale. We plan to have Clearwater Fence Company place a 6 foot fence along the front 558 lineal feet front of the property, but have to wait to meet with the State in the spring regarding the bike trail to make sure we place it in the correct area. We have already spoken with the state, and they staked the property for us, but they weren't able to meet again before winter hit.

I have provided a layout of the exterior (A13) which shows all exterior lighting and security cameras.

I have provided a map of the parking lot with 2 handicap spaces, 1 veteran parking, and 7 additional spaces for the general public.



Flickr

1960s MID CENTURY MODERN MOTEL ERA
FUN at The Safari Motel... | Flickr



Images may be subject to copyright [Learn More](#)

Related images



US Wi Milwaukee 1960s mediados sigl...

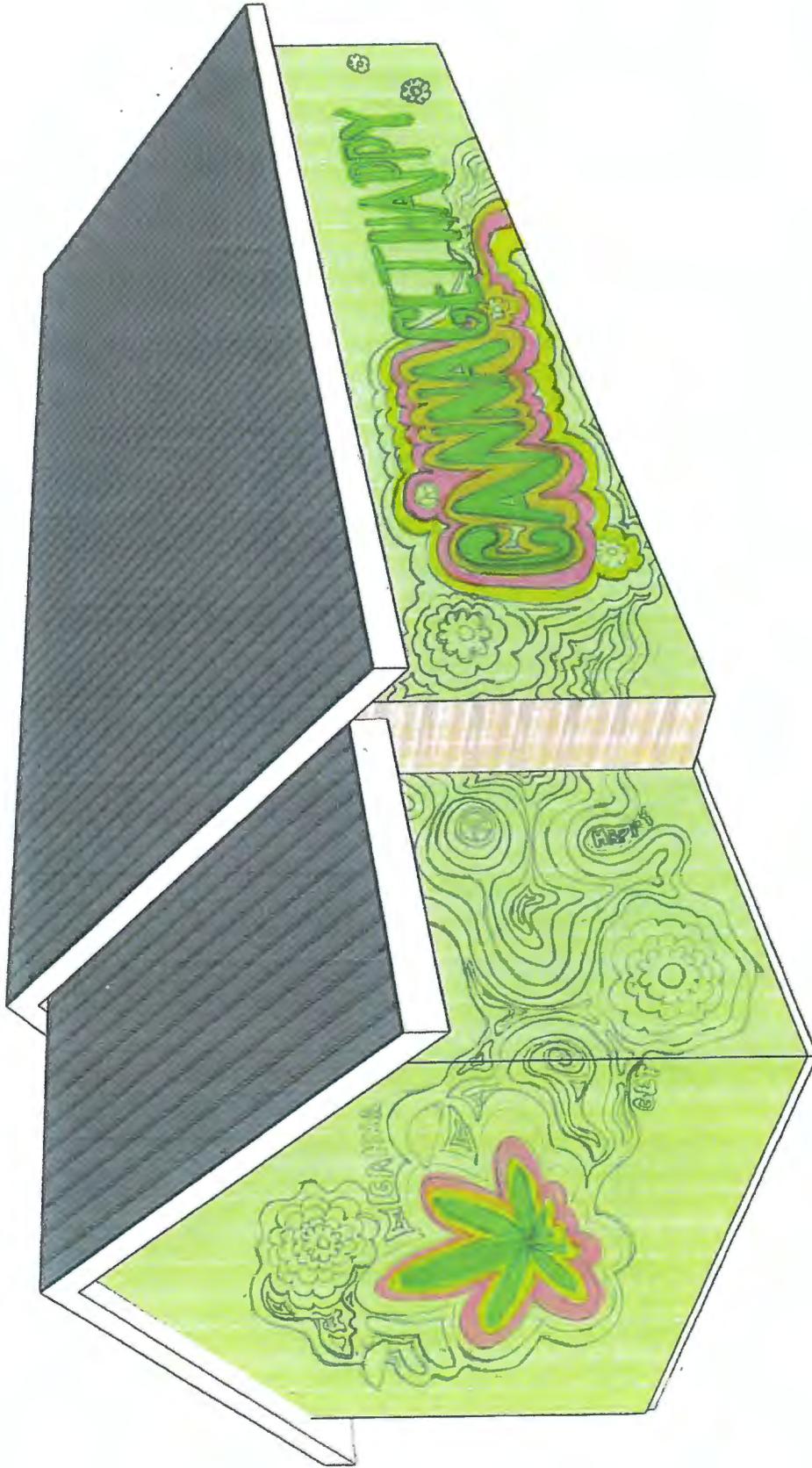
[View image](#)



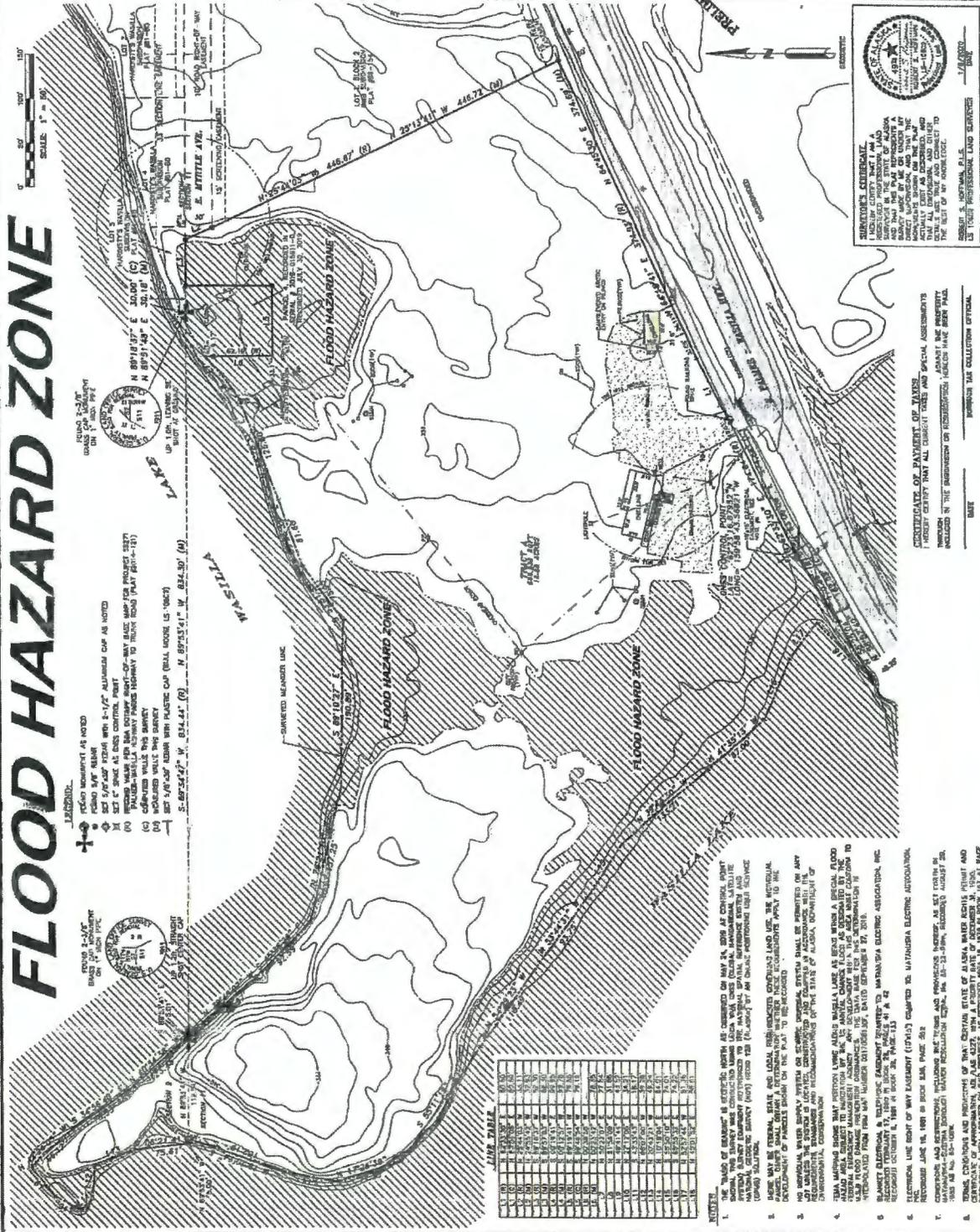
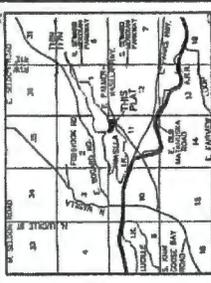
Arizona Mid-Century Modern Motels a...

[View image](#)





FLOOD HAZARD ZONE



- LEGEND:**
- 1. REGION BOUNDARY AS NOTED
 - 2. 5/16" DIA. PIPES WITH 1-1/2" ALUMINUM CAP AS NOTED
 - 3. 4" DIA. PIPES WITH 2" DIA. CONCRETE POINT
 - 4. 6" DIA. PIPES WITH 3" DIA. CONCRETE POINT
 - 5. 8" DIA. PIPES WITH 4" DIA. CONCRETE POINT
 - 6. 10" DIA. PIPES WITH 5" DIA. CONCRETE POINT
 - 7. 12" DIA. PIPES WITH 6" DIA. CONCRETE POINT
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 - 47. 92" DIA. PIPES WITH 46" DIA. CONCRETE POINT
 - 48. 94" DIA. PIPES WITH 47" DIA. CONCRETE POINT
 - 49. 96" DIA. PIPES WITH 48" DIA. CONCRETE POINT
 - 50. 98" DIA. PIPES WITH 49" DIA. CONCRETE POINT
 - 51. 100" DIA. PIPES WITH 50" DIA. CONCRETE POINT

AREA TABLE

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (AC.)
1	LOT 1	10,000	0.23
2	LOT 2	10,000	0.23
3	LOT 3	10,000	0.23
4	LOT 4	10,000	0.23
5	LOT 5	10,000	0.23
6	LOT 6	10,000	0.23
7	LOT 7	10,000	0.23
8	LOT 8	10,000	0.23
9	LOT 9	10,000	0.23
10	LOT 10	10,000	0.23
11	LOT 11	10,000	0.23
12	LOT 12	10,000	0.23
13	LOT 13	10,000	0.23
14	LOT 14	10,000	0.23
15	LOT 15	10,000	0.23
16	LOT 16	10,000	0.23
17	LOT 17	10,000	0.23
18	LOT 18	10,000	0.23
19	LOT 19	10,000	0.23
20	LOT 20	10,000	0.23
21	LOT 21	10,000	0.23
22	LOT 22	10,000	0.23
23	LOT 23	10,000	0.23
24	LOT 24	10,000	0.23
25	LOT 25	10,000	0.23
26	LOT 26	10,000	0.23
27	LOT 27	10,000	0.23
28	LOT 28	10,000	0.23
29	LOT 29	10,000	0.23
30	LOT 30	10,000	0.23
31	LOT 31	10,000	0.23
32	LOT 32	10,000	0.23
33	LOT 33	10,000	0.23
34	LOT 34	10,000	0.23
35	LOT 35	10,000	0.23
36	LOT 36	10,000	0.23
37	LOT 37	10,000	0.23
38	LOT 38	10,000	0.23
39	LOT 39	10,000	0.23
40	LOT 40	10,000	0.23
41	LOT 41	10,000	0.23
42	LOT 42	10,000	0.23
43	LOT 43	10,000	0.23
44	LOT 44	10,000	0.23
45	LOT 45	10,000	0.23
46	LOT 46	10,000	0.23
47	LOT 47	10,000	0.23
48	LOT 48	10,000	0.23
49	LOT 49	10,000	0.23
50	LOT 50	10,000	0.23

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

WHEREAS, THE SUBMISSION HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION ACT AND THE REGULATIONS THEREUNDER AND THE PLANNING AND ZONING ORDINANCES OF THE STATE OF ALASKA, AND WHEREAS, THE PLANNING AND ZONING COMMISSION HAS APPROVED THE PLANNING AND ZONING MAP FOR THE PROJECT;

IT IS HEREBY CERTIFIED THAT THE SUBMISSION IS IN ACCORDANCE WITH THE PLANNING AND ZONING ACT AND THE REGULATIONS THEREUNDER AND THE PLANNING AND ZONING ORDINANCES OF THE STATE OF ALASKA, AND THAT THE PLANNING AND ZONING COMMISSION HAS APPROVED THE PLANNING AND ZONING MAP FOR THE PROJECT.

DATE: _____

PLANNING AND LAND USE DIRECTOR: _____

PLANNING CLERK: _____

MILLHOUSE ESTATES

A PART OF A REPLAT OF GOVERNMENT LANDS IN SECTION 2 AND PARCELS No. 1 & 2, M58 WAYER No. 85-22-PWH RECORDED AS 85-189W LOCATED WITHIN SECTIONS 2 & 11, T17N R1W SEWARD MERIDIAN, ALASKA PALMER RECORDING DISTRICT THIRD ALASKA DISTRICT CONTAINING 12.5 ACRES MORE OR LESS

BULL MOOSE SURVEYING

ROBERT S. OPTMAN P.L.L.C.
 1000 W. 10TH AVENUE, SUITE 100
 ANCHORAGE, ALASKA 99501
 PHONE: (907) 257-4487
 FAX: (907) 257-4488
 WWW.BULLMOOSE-SURVEYING.COM

DATE: 3/14/2020
 CHECKED BY: RSH
 SHEET: 1 OF 1

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

WHEREAS, THE SUBMISSION HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION ACT AND THE REGULATIONS THEREUNDER AND THE PLANNING AND ZONING ORDINANCES OF THE STATE OF ALASKA, AND WHEREAS, THE PLANNING AND ZONING COMMISSION HAS APPROVED THE PLANNING AND ZONING MAP FOR THE PROJECT;

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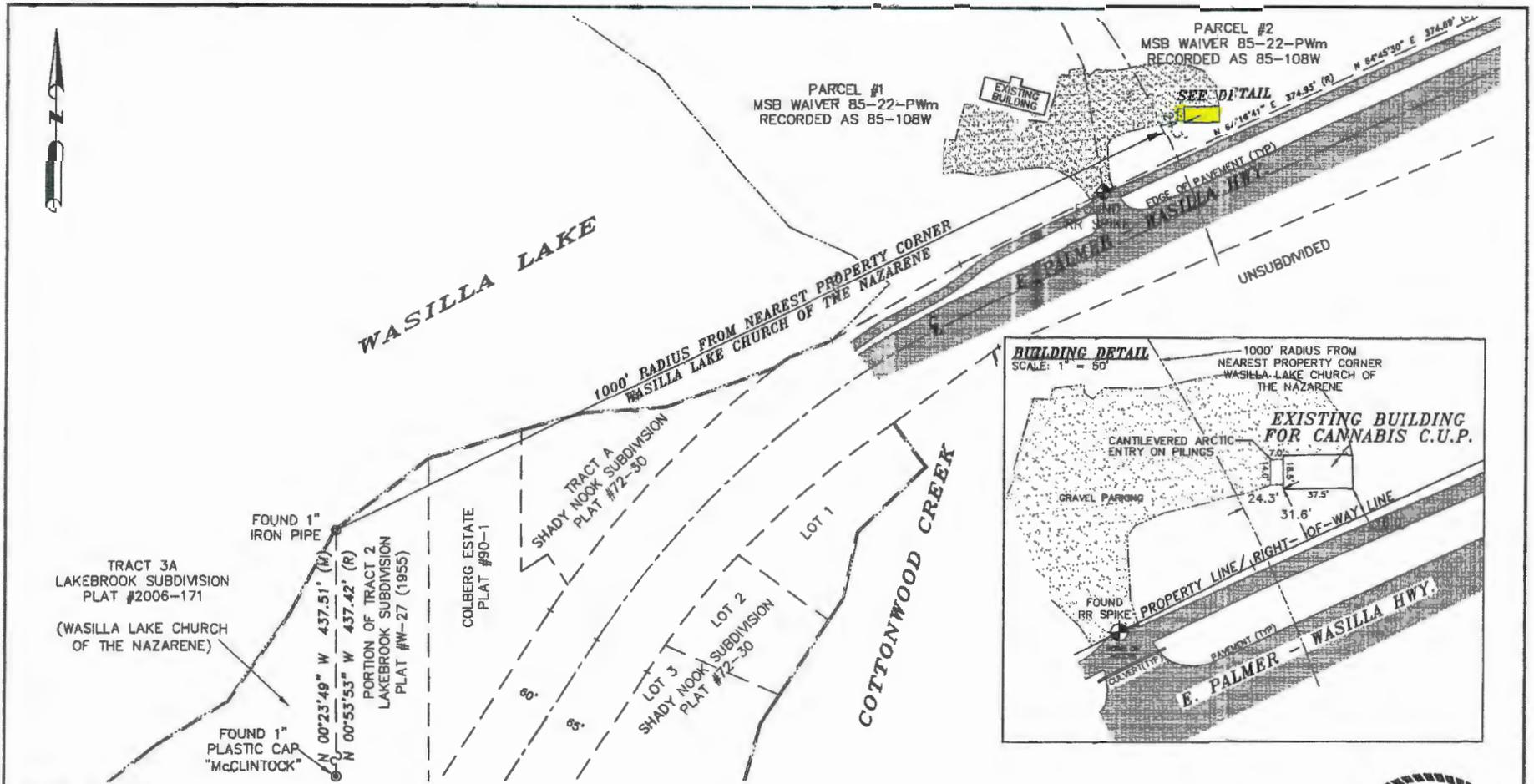
DATE: _____

PLANNING AND LAND USE DIRECTOR: _____

PLANNING CLERK: _____

LEGEND:

- 1. REGION BOUNDARY AS NOTED
- 2. 5/16" DIA. PIPES WITH 1-1/2" ALUMINUM CAP AS NOTED
- 3. 4" DIA. PIPES WITH 2" DIA. CONCRETE POINT
- 4. 6" DIA. PIPES WITH 3" DIA. CONCRETE POINT
- 5. 8" DIA. PIPES WITH 4" DIA. CONCRETE POINT
- 6. 10" DIA. PIPES WITH 5" DIA. CONCRETE POINT
- 7. 12" DIA. PIPES WITH 6" DIA. CONCRETE POINT
- 8. 14" DIA. PIPES WITH 7" DIA. CONCRETE POINT
- 9. 16" DIA. PIPES WITH 8" DIA. CONCRETE POINT
- 10. 18" DIA. PIPES WITH 9" DIA. CONCRETE POINT
- 11. 20" DIA. PIPES WITH 10" DIA. CONCRETE POINT
- 12. 22" DIA. PIPES WITH 11" DIA. CONCRETE POINT
- 13. 24" DIA. PIPES WITH 12" DIA. CONCRETE POINT
- 14. 26" DIA. PIPES WITH 13" DIA. CONCRETE POINT
- 15. 28" DIA. PIPES WITH 14" DIA. CONCRETE POINT
- 16. 30" DIA. PIPES WITH 15" DIA. CONCRETE POINT
- 17. 32" DIA. PIPES WITH 16" DIA. CONCRETE POINT
- 18. 34" DIA. PIPES WITH 17" DIA. CONCRETE POINT
- 19. 36" DIA. PIPES WITH 18" DIA. CONCRETE POINT
- 20. 38" DIA. PIPES WITH 19" DIA. CONCRETE POINT
- 21. 40" DIA. PIPES WITH 20" DIA. CONCRETE POINT
- 22. 42" DIA. PIPES WITH 21" DIA. CONCRETE POINT
- 23. 44" DIA. PIPES WITH 22" DIA. CONCRETE POINT
- 24. 46" DIA. PIPES WITH 23" DIA. CONCRETE POINT
- 25. 48" DIA. PIPES WITH 24" DIA. CONCRETE POINT
- 26. 50" DIA. PIPES WITH 25" DIA. CONCRETE POINT
- 27. 52" DIA. PIPES WITH 26" DIA. CONCRETE POINT
- 28. 54" DIA. PIPES WITH 27" DIA. CONCRETE POINT
- 29. 56" DIA. PIPES WITH 28" DIA. CONCRETE POINT
- 30. 58" DIA. PIPES WITH 29" DIA. CONCRETE POINT
- 31. 60" DIA. PIPES WITH 30" DIA. CONCRETE POINT
- 32. 62" DIA. PIPES WITH 31" DIA. CONCRETE POINT
- 33. 64" DIA. PIPES WITH 32" DIA. CONCRETE POINT
- 34. 66" DIA. PIPES WITH 33" DIA. CONCRETE POINT
- 35. 68" DIA. PIPES WITH 34" DIA. CONCRETE POINT
- 36. 70" DIA. PIPES WITH 35" DIA. CONCRETE POINT
- 37. 72" DIA. PIPES WITH 36" DIA. CONCRETE POINT
- 38. 74" DIA. PIPES WITH 37" DIA. CONCRETE POINT
- 39. 76" DIA. PIPES WITH 38" DIA. CONCRETE POINT
- 40. 78" DIA. PIPES WITH 39" DIA. CONCRETE POINT
- 41. 80" DIA. PIPES WITH 40" DIA. CONCRETE POINT
- 42. 82" DIA. PIPES WITH 41" DIA. CONCRETE POINT
- 43. 84" DIA. PIPES WITH 42" DIA. CONCRETE POINT
- 44. 86" DIA. PIPES WITH 43" DIA. CONCRETE POINT
- 45. 88" DIA. PIPES WITH 44" DIA. CONCRETE POINT
- 46. 90" DIA. PIPES WITH 45" DIA. CONCRETE POINT
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- 50. 98" DIA. PIPES WITH 49" DIA. CONCRETE POINT
- 51. 100" DIA. PIPES WITH 50" DIA. CONCRETE POINT



SITE PLAN

PARCEL #2, MSB WAIVER 85-22-PWm

PALMER RECORDING DISTRICT, ALASKA

BULL MOOSE SURVEYING
 ROBERT S. HOFFMAN
 200 HYGRADE LANE, WASILLA, ALASKA 99654
 (907) 357-6957 bob@bullmoosesurveying.com

PLAT # 2014-121	
DRAWN BY: EEG	DATE OF SKETCH: 1/6/2020
CHECKED BY: RSH	SECTION TWP. RANGE 11 17N 1W S.M.

NOTES:

- IT IS THE RESPONSIBILITY OF THE OWNER TO DETERMINE THE EXISTENCE OF ANY EASEMENTS, COVENANTS, OR RESTRICTIONS WHICH DO NOT APPEAR ON THE RECORDED SUBDIVISION PLAT.
- RECORD BEARINGS AND DISTANCES SHOWN ARE TAKEN FROM SOA DOT&PF RIGHT-OF-WAY MAP FOR PROJECT #59271, PALMER-WASILLA HIGHWAY PARKS HIGHWAY TO TRUNK ROAD, PLAT #2014-121.

SCALE: 1"=100'	REVISION	BY	DATE	PREPARED FOR: SANDRA MILLHOUSE
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CANNA GET HAPPY



Re: Planning Commission

We have worked with Destynie Ost (a local artist) to create an artistic design for the exterior which will add to the beauty of the area. Destynie will be painting the exterior of the building in a floral design with metal lighted effects. She has created a modern space with a 70's flair.

We have a security system in place to help provide safety to the public, and we will have continuing education classes for our employees in safety procedures.

This property is 5 acres with only one other commercial building on it, so space is not an issue.

We are a retail shop, so we don't have a product that would put out odor or noise that could affect surrounding businesses or homes.

This property is located near to another potential dispensary, so like businesses will be around it. We plan to plant flowers all around the building to additionally provide safety and beauty, and trees along the highway to add beauty to the property.

We are renovating in a commercial area with like businesses.

We are just starting the application process with the state, we wanted to get all details worked out with the borough before moving forward.

MSB • Department of Emergency Services • Central Mat-Su Fire Department

Fire & Life Safety Division

Physical: Station 51 – 1911 S Terrace Court, Palmer

Mailing: 101 W Swanson Avenue • Wasilla, AK 99654

Office (907) 861-8030 • Fax (907) 861-8157 • E-mail: FireCode@matsugov.us



August 28, 2019

Sandra Millhouse
Millhouse Farms & Gardens
P O Box 874574
Wasilla AK 99687

SUBJECT: Canna Get Happy, TI
FIRE SERVICE AREA: Central Mat-Su FSA
PLAN REVIEW: 2020-011
TYPE OF CONSTRUCTION: V-B
OCCUPANCY TYPE: M
2012 INTERNATIONAL BUILDING AND FIRE CODE

Dear Ms. Millhouse:

Plans for remodeling the subject facility have been reviewed by this office for conformity with the State Fire Safety Regulations and are hereby approved as submitted. Enclosed is a certificate of approval that must be posted on the premises until completion of the remodel work. Any changes to the approved plans must be submitted to this office for review and approval. **You are prohibited to occupy this building until construction is completed for which plans have been examined and approved. After completion of the construction, you must schedule a certificate of occupancy inspection prior to opening.**

It must be understood that the inclusion of and compliance with State Fire Safety Regulations does not preclude the necessity of compliance with the requirements of local codes and ordinances. Also understand that approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulations. The plans have not been reviewed for compliance with the Federal Americans with Disabilities Act or structural requirements.

If we can be of further assistance in this matter, please contact us at the address above.

Sincerely,

A handwritten signature in black ink, appearing to read 'Donald C. Cuthbert', written over a horizontal line.

Donald C. Cuthbert
Fire Marshal

Fire and Life Safety Division

Central Mat-Su Fire Service Area No. 130 - District 1
Department of Emergency Services, Matanuska-Susitna Borough



Plan Review #2020-011

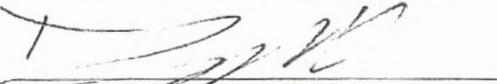
Canna Get Happy

Tenant Improvement Approval

This is to certify that the plans for this building were reviewed by CMSFD's Fire & Life Safety Division on 8/28/2019, for conformance with AS 18.70.010-100; 13 AAC 50.027. This certificate becomes invalid 180 days after the work on the site is commenced within 180 days after issuance, or if the work authorized is suspended or abandoned for a period of 180 days after the time work is commenced. An extension may be requested at the above mentioned address.

This certificate shall be posted in a conspicuous place on the premises listed above and shall remain posted until construction is completed. **Notice:** Any changes or modifications to the approved plans must be resubmitted for review by the Central Mat-Su Fire Department.

Authority: AS 18.70.080, 13 AAC 50.075 & MSB RS 06-054


by Donald C. Cuthbert, Fire Marshal

PERMIT CENTER – FEE RECEIPT FORM

Property Location: 17NO1W11A020

Applicant: Sandra Millhouse

USE PERMITS (100.000.000.341.300)		Fee
<input type="checkbox"/>	8.35 Public Display of Fireworks	\$25.00
<input type="checkbox"/>	8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.52 Temporary Noise Permit	\$500.00
<input type="checkbox"/>	8.55 Special Events Permit 500 – 1000 Attendees	\$500.00
<input type="checkbox"/>	1000+ Attendees	\$1,000.00
<input type="checkbox"/>	8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
<input type="checkbox"/>	17.02 Mandatory Land Use Permits- Residential Non-habitable Matanuska Susitna Borough Payment Date Friday, January 10, 2020 Deposit Number 40052 Operator hoff0401 Real 2020 (Total) \$0.00 MCR (Planning/Platting) \$1,000.00 Misc Rec Tax Map # 1MISC Utility Aid \$1,000.00 Other \$1,000.00 Heating \$0.00 Permit Number MSB91367497 Date 20 9:41:08 AM Permittee MILLHOUSE SANDRA Applicant Id. hoff0401	\$25.00
		\$150.00
		\$1,000.00
		\$500.00
		\$1000.00
		\$1000.00
		\$1000.00
		\$1000.00
		\$1000.00
		\$1000.00
<input type="checkbox"/>	17.28.030 Interim Materials District	\$2000.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit	\$100.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
<input type="checkbox"/>	17.30.040 Earth Materials Extraction Admin. Permit	\$500.00
<input type="checkbox"/>	17.30.050 Earth Materials Extraction CUP	\$1000.00
<input type="checkbox"/>	17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots Additional Lots or tracts being created – Per Lot	\$500.00 \$100.00
<input type="checkbox"/>	17.48 Mobile Home Park Permit Application	\$500.00
<input type="checkbox"/>	17.52 Residential Land Use District App (Rezone)	\$1,000.00
<input type="checkbox"/>	17.52 Conditional Use Permit Application	\$1,000.00
<input type="checkbox"/>	17.55 Shoreline Setback Exception Application	\$300.00
<input checked="" type="checkbox"/>	17.60 Conditional Use Permit Application	\$1000.00

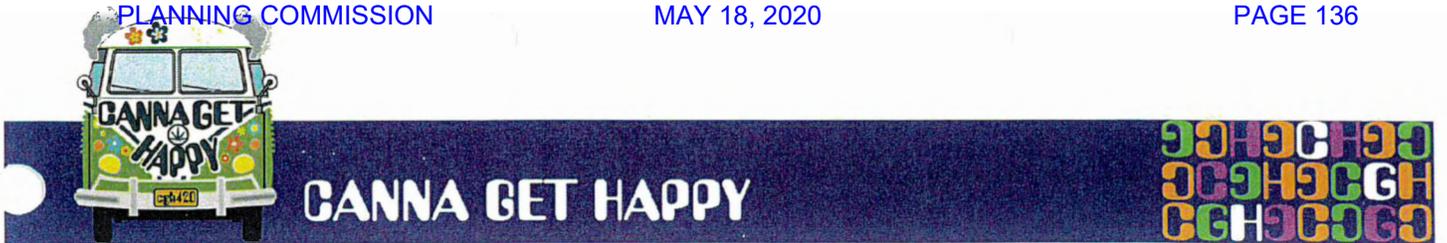
<input type="checkbox"/>	17.61 Commercial/Industrial Core Area Conditional Use Permit -	\$1000.00
<input type="checkbox"/>	17.62 Coal Bed Methane	\$1000.00
<input type="checkbox"/>	17.63 Conditional Use Permit for Racetracks	\$1000.00
<input type="checkbox"/>	17.65 Variance	\$1000.00
<input type="checkbox"/>	17.67 Tall Structures - Network Improvement Permit Nonconforming Use Administrative Permit Conditional Use Permit	\$100.00 \$200.00 \$500.00 \$1000.00
<input type="checkbox"/>	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1000.00
<input type="checkbox"/>	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
<input type="checkbox"/>	17.75 Single-Family Residential Land Use District CUP	\$1000.00
<input type="checkbox"/>	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
<input type="checkbox"/>	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
<input type="checkbox"/>	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$1000.00

RIGHT-OF-WAY FEES:		
<input type="checkbox"/>	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
<input type="checkbox"/>	Construction	\$200.00
<input type="checkbox"/>	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
<input type="checkbox"/>	Encroachment	\$150.00
<input type="checkbox"/>	Construction Bond {100.227.000}	

PLATTING PRE-APPLICATION CONFERENCE:		
<input type="checkbox"/>	Pre-Application Fee	\$50.00

FEES:		
<input type="checkbox"/>	Flood Plain Development Survey CD	\$10.00
<input type="checkbox"/>	CD/DVD/DVD-R	\$7.50
<input type="checkbox"/>	Construction Manual/Title 43	\$5.00
<input type="checkbox"/>	Plat Map/Tax Map Copies/Mylar	\$5.00
<input type="checkbox"/>	Color Maps	\$12.00
<input type="checkbox"/>	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
<input type="checkbox"/>	Advertising Fees	
<input type="checkbox"/>	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
<input type="checkbox"/>	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1000 Amount Paid Date: 1-10-2020 Receipt # 91367497 By: [Signature]



Re: Standards for Marijuana Retail Facilities

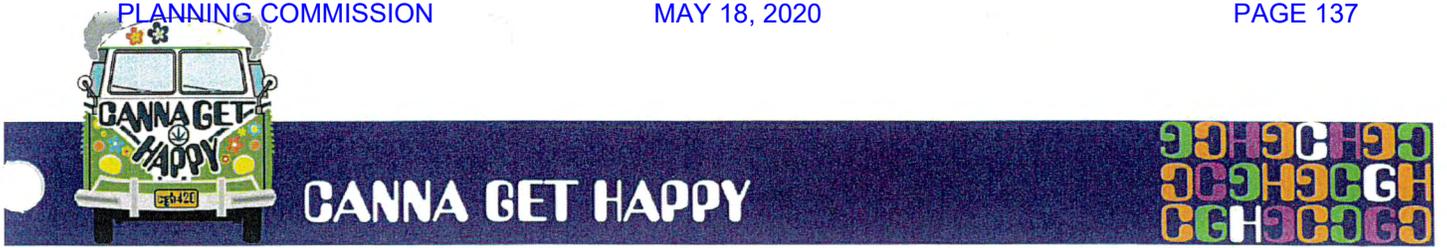
The building located closest to a tattoo shop.

The building is located on a parcel that is connected to another 5 acre commercial property.

There are 4 homes close to the facility which I own, and I reside in one of them.

This is a commercial lot off the Palmer Wasilla Highway, so it is appropriate for the business, and can handle the traffic.

We would like to be open 10am-10pm Friday and Saturday, 10am-9pm Sunday thru Thursday



Re: Floor Plan

We have attached the renderings showing the complete floor design. The facility is approx 1270 square feet, and we will have 2 dedicated handicap parking, 1 dedicated veteran parking, and 5 additional spaces for customers.

Joseph Metzger

From: Joseph Metzger
Sent: Wednesday, March 11, 2020 3:15 PM
To: 'Sandra D Millhouse'
Subject: RE: Canna Get Happy- Follow Up

Hi Sandra,

Thank you for your additional information submittal. I also received the parking layout you sent earlier today. I will review the additional information and let you know if anything else is needed.

Respectfully,

Joe Metzger
MSB Planner II
907-861-7862

-----Original Message-----

From: Sandra D Millhouse <sandradhbic@yahoo.com>
Sent: Wednesday, March 11, 2020 3:02 PM
To: Joseph Metzger <Joseph.Metzger@matsugov.us>
Subject: Canna Get Happy- Follow Up

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hey Joseph,

I haven't heard back from the state about my driveway permit.
I will stop by there tomorrow.

Please let me know if I got it right this time. :)

Thx,
Sandra D



March 11, 2020

To Whom it May Concern:

Re: Page 2 of the Conditional Use Permit Application

The location we picked for our dispensary is in a highly commercial area. Fred Meyers, our largest grocery store in the valley is located approximately 2500 feet from our location. There is a tattoo shop and CBD/Glass store on the property next door. There is another dispensary located directly across the Palmer Wasilla Hwy with 3 other commercial lots available beside it. Most of the locations within 1000 feet are commercial or vacant with commercial possibilities.

Our location has been cleared for parking spots, and we did not leave any area for loitering. We will have signs stating "No Loitering" in all areas of the parking lot. We have 2 dedicated handicap spots and 1 dedicated for veteran parking. We will have numerous signs clearly stating our policy of 21 or older in the parking lot and throughout the building. We have photo cell lights around the entire building which will come on when the natural light goes down, and turn off when the sun rises which will light up the entire parking lot. We also put in lights on a pole on the adjacent property to light up the lot behind the dispensary.

We do not expect to have any issues with noise or odor, because we are not looking to do on site consumption, and we don't have a grow which would produce odor. We won't be holding any events which would create noise problems, and the traffic should remain the same because there used to be another commercial business with high traffic prior to Canna Get Happy.

We plan to have future landscaping (natural perennial bushes), but we have to wait until spring to meet with the state so we know exactly where the new bike trail will be. The state had the land staked but we weren't able to get together before the snow flew to determine where I could plant without being in an easement.

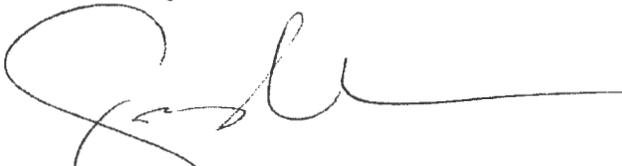
We expect to have a total of 10 employees. All of our employees will be trained in sales, security, and cleanliness. We will require employees to wear a lanyard with their ID and Handlers Card for entrance and all operations. We will have training classes for sales and dealing with all situations that can arise (unruly customers). We will have a security plan in place for employees to follow. Cameras will record all daily operations to prevent diversion. In the case of needing to dispose of product, it will be mixed in with recycled shredded paper and put into our locked dumpster.

We hired Cardosa Integrated Security to put in a security system for us. We have cameras at all doors, above the point of sale, throughout the showroom, in the stairway, in the employee break room area, and lower office. We will have recorded data on site, and Cardosa will have extra hours logged which are available at request. We have security TVs to view the cameras beside the point of sale and downstairs in the break room visible from all areas downstairs. In addition to this security we have a security vestibule with a treated glass window under which you present ID before being buzzed into the facility, and a door greeter for added security.

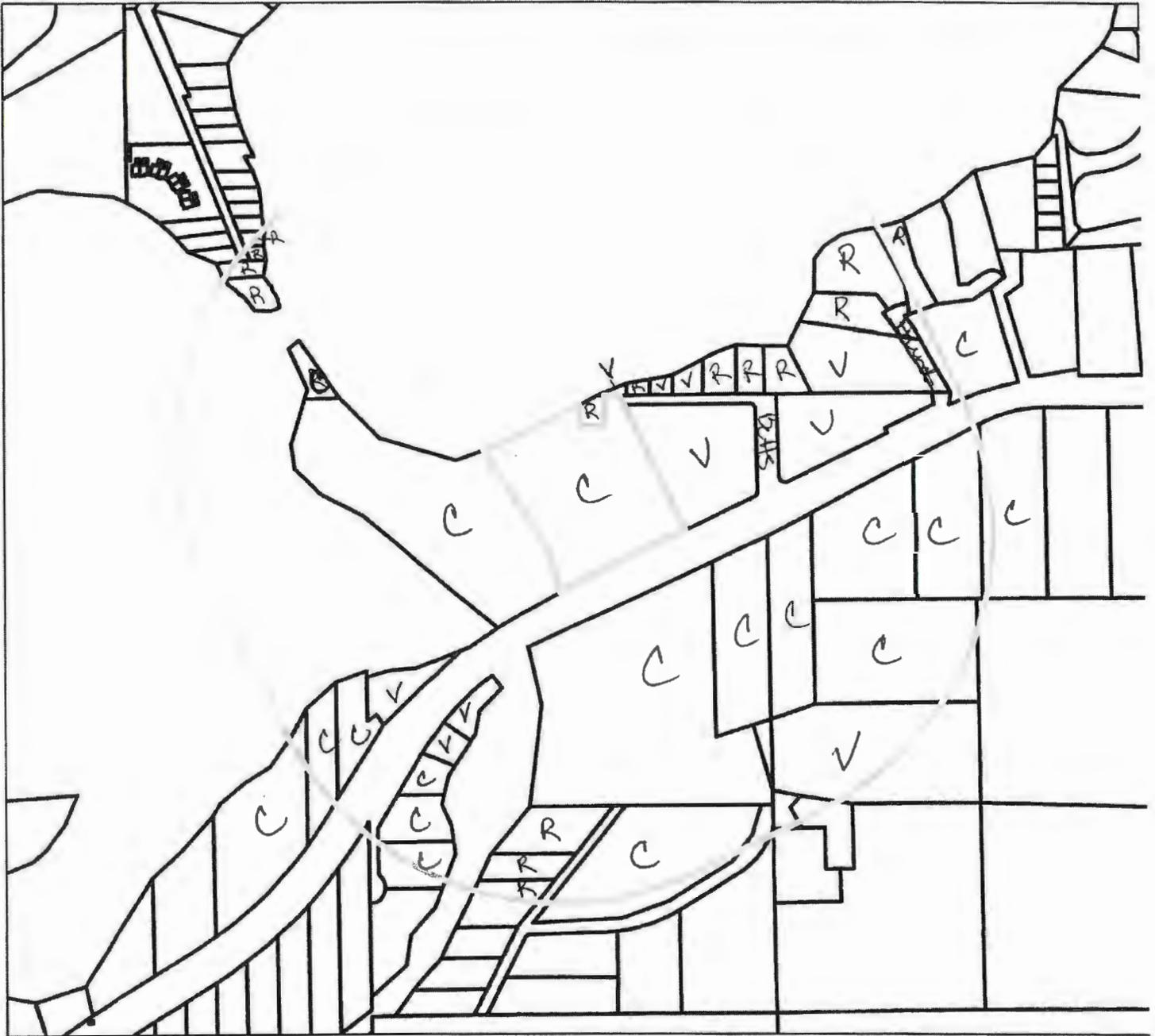
We are currently scheduled for the April 2nd and 3rd for going before AMCO for approval.

If you need more information, please do not hesitate to contact me.

Thank you,



Sandra Millhouse, Owner
Canna-Get Happy



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matawan-Union Borough GIS Division at 907-661-7801.

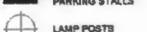
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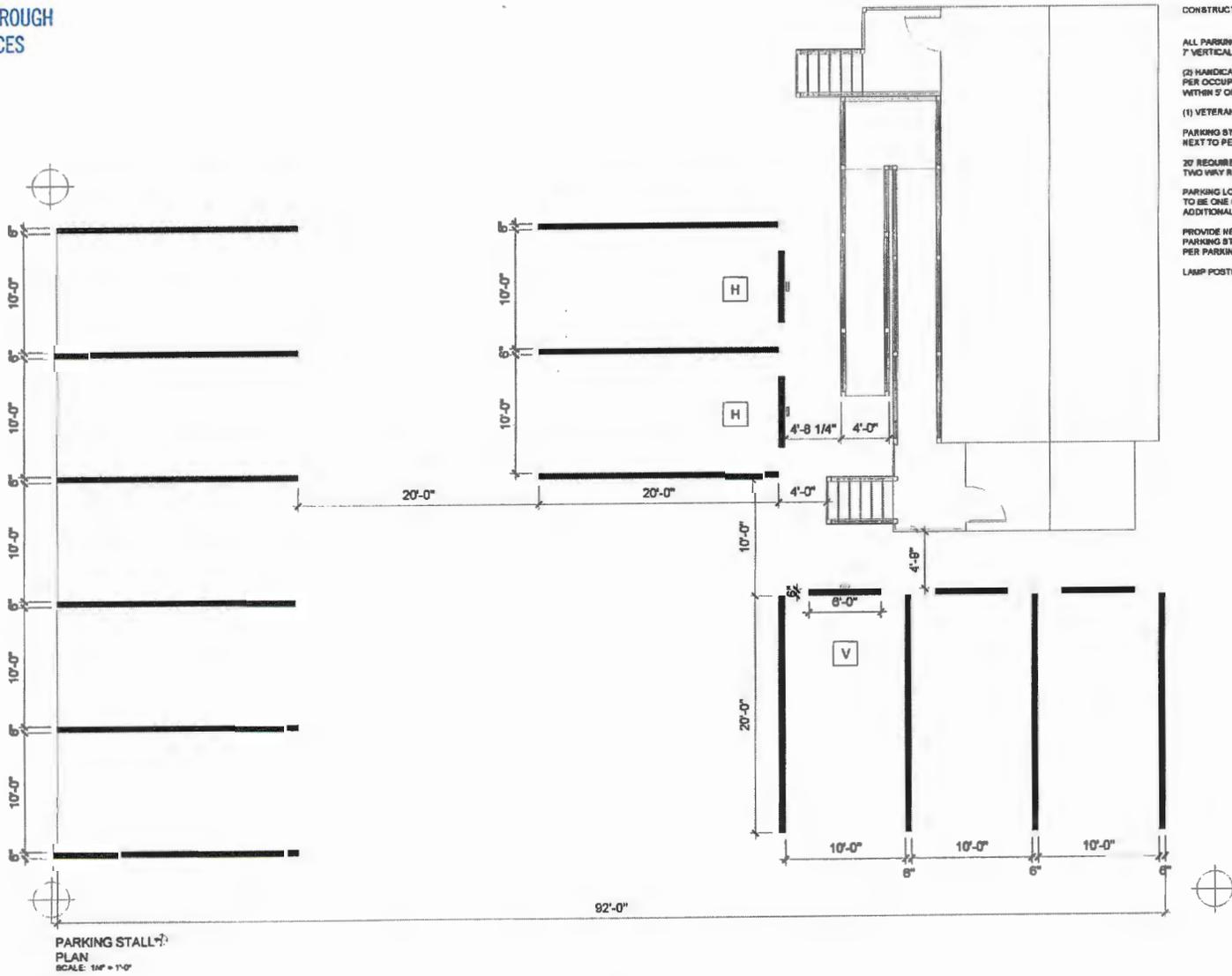
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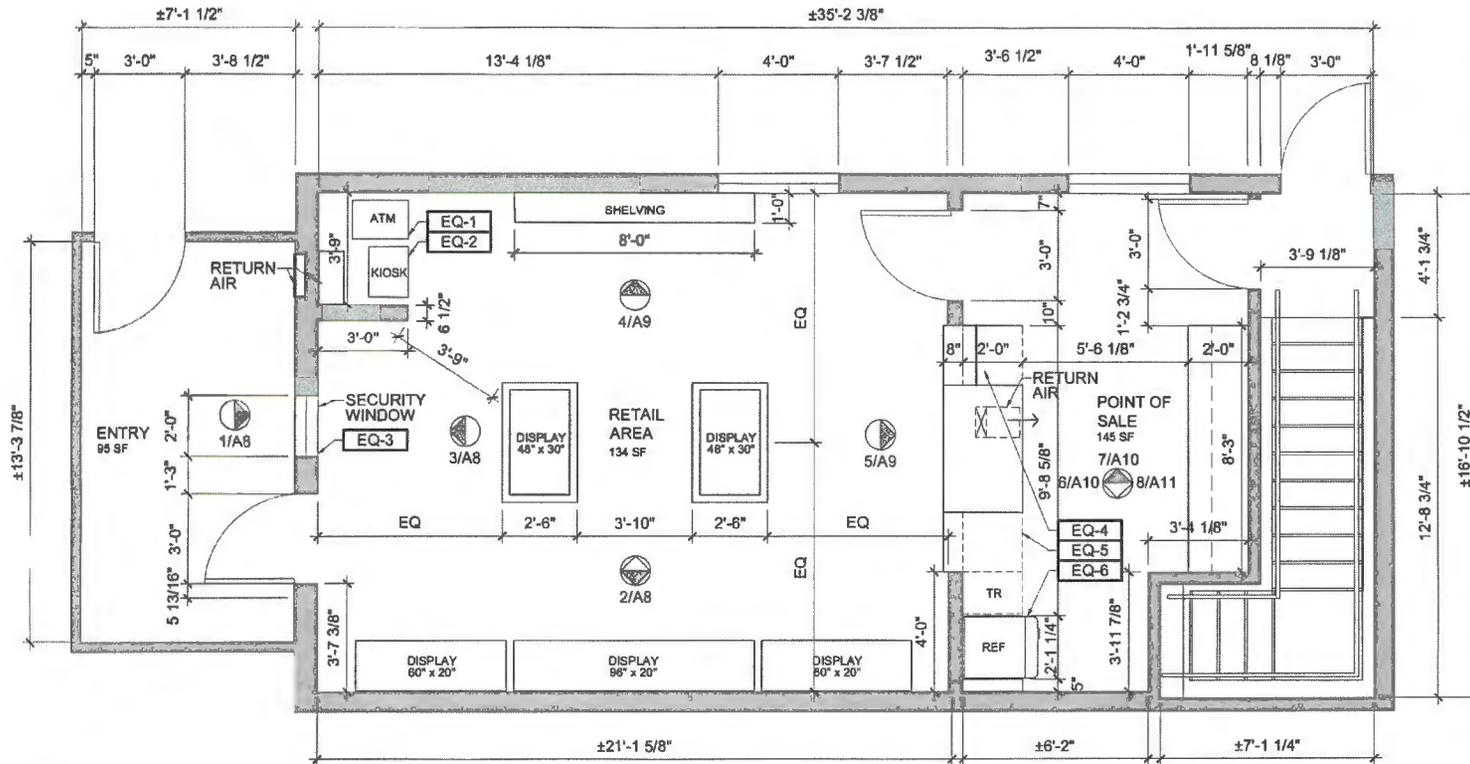
Res
Use
Comm

RECEIVED
MAR 11 2020

MATANUSKA-SUSITNA BOROUGH
DEVELOPMENT SERVICES

- LEGEND:
-  KEY NOTE
 -  PARKING STALLS
 -  LAMP POSTS
 -  HANDICAP STALL
 -  VETERAN STALL
 -  PARKING SIGNAGE





CONSTRUCTION PLAN NOTES:

ALL SUBCONTRACTORS SHALL CHECK & VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REQ CLARIFICATION FROM THE DESIGNER (DO) OF POSSIBLE CONFLICTS BETWEEN DWGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK

FRAMING SUBCONTRACTOR TO CHALK-OUT ALL WALLS FOR REVIEW PRIOR TO CONSTRUCTION BEGINNING

DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. NOTIFY DESIGNER OF ANY POSSIBLE CONFLICTS BEFORE PROCEEDING.

PARTITIONS SHALL BE DIMENSIONED FROM FINISHED FACE OF WALL AND "CL" INDICATES CENTER LINE OF WALL OR OBJECT, U.N.O.

SUBCONTRACTOR TO PROVIDE ALL REQ'D. ROUGH-INS, VALVES, COMPONENTS & TRIMS FOR A COMPLETE INSTALLATION OF ALL PLUMBING FIXTURES SPECIFIED

SUBCONTRACTORS TO PROVIDE SHOP DRAWINGS FOR ALL CABINETS AND SUBMITTALS FOR ALL ITEMS AND FIXTURES SPECIFIED FOR REVIEW & APPROVAL PRIOR TO ORDERING

PROVIDE NEW PAINT GRD. 2 1/2" FLAT CASING AT ALL DOORS & WINDOWS. PROV. NEW PT. GRD. 4"H X 1/2"TH BASEBOARD THROUGHOUT.

PROVIDE (2) NEW SINGLE PANEL DOORS W/ LEVER HDWR, (2) METAL SECURITY DOORS W/ LEVER HDWR, (1) FIRE RATED DOOR W/ LEVER HDWR & (1) FRONT ENTRY DOOR W/ LEVER DWR NEW DBL. DOORS TO BE PT. GRD. FLAT PANEL STYLE SOLID CORE DOORS. TO COMPLY WITH COMMERCIAL CODE. ALL HDWR. (TBD). PROV. 1/4" UNDER-CUT AFF, TYP.

REFER TO ELEVATION SHEET A9 AND A10 FOR CABINET & COUNTER TOP INFO / SPECS.

PROVIDE POLY-SEAL @ ALL MECH., ELECTRICAL & PLUMBING ROUGH-IN OPENINGS FOR COMPLETE SEAL - ONLY IF REQUIRED BY CITY

LEGEND:

- KEY NOTE
- EXISTING PARTITIONS
- EXIST. PH PARTITION
- EQUIPMENT TAG
- PLUMBING FIXT. TAG
- ELEVATION TAGS

SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

EQUIPMENT (CON'T):

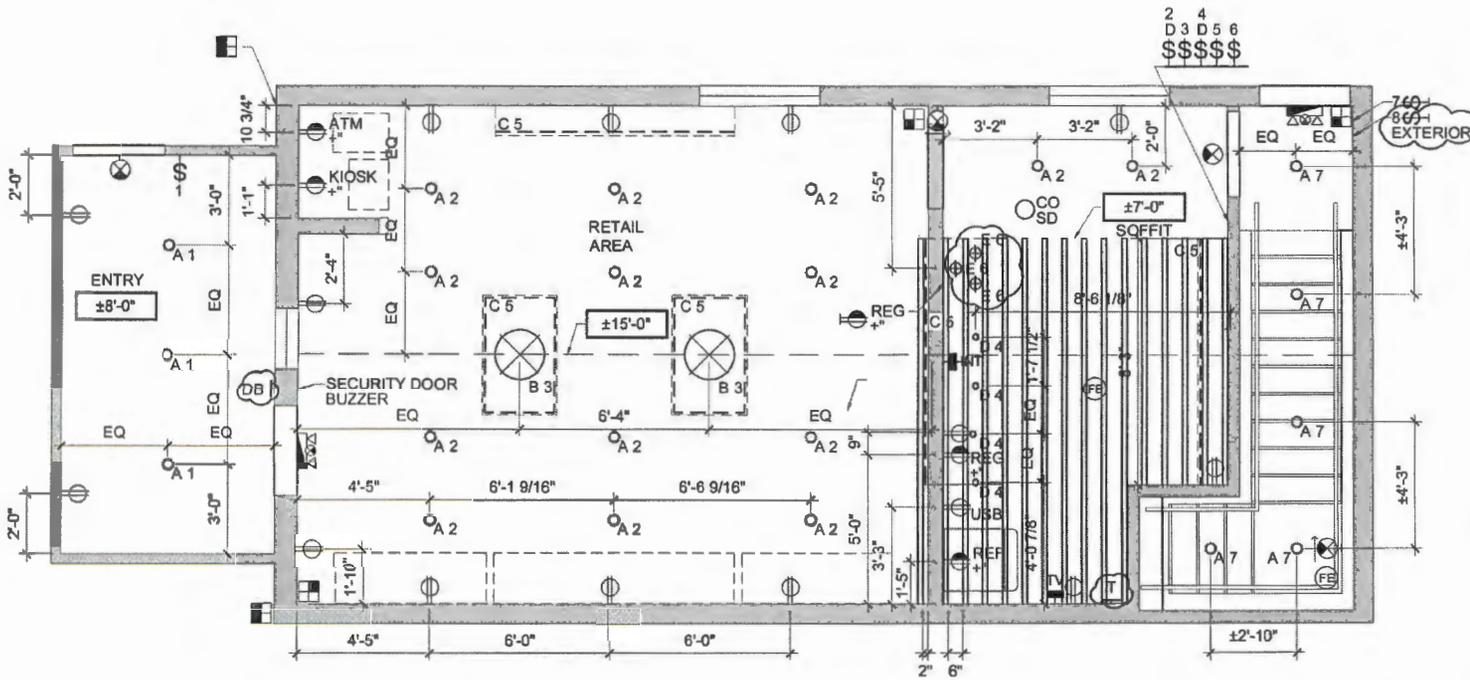
- (EQ-4) CASH REGISTER: TBD
"W X "D X "H
- (EQ-5) CASH REGISTER: TBD
"W X "D X "H
- (EQ-6) THE BIG CHILL:

EQUIPMENT:

- (EQ-1) ATM: CASH DISPENSING MACHINE, TBD
"W X "D X "H
- (EQ-2) KIOSK: TBD
"W X "D X "H
- (EQ-3) SECURITY BUZZER:

REVISED: 12.29.19
DATE: 10.02.19





REFLECTED CEIL. & POWER PLAN NOTES & KEY NOTES:

ALL KITCHEN RECEPTACLES SHALL BE GROUND-FAULT INTERRUPTER TYPE DEVICES.

ALL RECESSED LIGHT FIXTURES IN CONTACT WITH INSULATION SHALL BE RATED FOR SUCH AN INSTALLATION.

CLEAN AND EQUIP ALL LIGHT FIXTURES WITH NEW SPECIFIED LAMPS AT THE COMPLETION OF CONST.

PROVIDE ALL REQ'D SWITCHES. EACH LIGHT FIXTURE TYPE IN EA. ROOM/AREA TO HAVE SEPARATE SWITCH.

OUTLET & SWITCH SPECIFICATIONS:
 OUTLETS, RECEPTACLES & WALL PLATES: ELECTRICIAN RECOMMENDED
 DIMMERS: ELECTRICIAN RECOMMENDED
 DIMMER & SWITCH PLATES: ELECTRICIAN RECOMMENDED SERIES TO COORD. W/ DIMMERS & SWITCHES

ALL SWITCHES & OUTLETS TO BE GANGED WITH SINGLE SWITCH PLATE AND ALL COVER PLATES TO HAVE INVISIBLE ATTACHMENT. NO SCREWS VISIBLE.

DIMMERS TO BE PROVIDED FOR ALL PENDANTS, DOWNLIGHTS AND SURFACE MT. FIXTURES. PENDANT LIGHT MOUNTING HEIGHTS TBD IN THE FIELD WITH DO.

PROVIDE NEW POWER, PHONE & CABLE TV / INTERNET OUTLETS AS SHOWN.

PROVIDE POLY-SEAL @ ALL MECH., ELECTRICAL & PLUMBING ROUGH-IN OPENINGS FOR COMPLETE SEAL - ONLY IF REQUIRED BY THE CITY

SECOND FLOOR RCP & POWER PLAN

SCALE: 1/4" = 1'-0"

LIGHT FIXTURES:

- (TYPE A): 6" LED LENSED (FROSTED) DOWNLIGHT CLEAR ALZAK TRIM, WHITE TRIM RING, 3000K COLOR, DIMMABLE
- (TYPE B): LOUIS POULSEN: PH 5 PENDANT, 23 WATT 120 VOLT MEDIUM BASE FLUORESCENT LAMP, E26 BULB, 1380 LUMEN, 19.7"DIA x 11.1"H, SPUN ALUMINUM SHADE, HUES OF GREEN
- (TYPE C): CONTINUOUS LED LINEAR UNDER CABINET LIGHT W/ REMOTE TRANSFORMER, 3000K COLOR, PROVIDE ALL TRANSFORMERS CABLES, CONNECTORS AND COMPONENTS
- (TYPE D): LED SPOTLIGHTS - TO CONFIRM ELECTRICIAN RECOMMENDED LIGHT FIXTURE
- (TYPE E): BESA LIGHTING: PERA 6 PENDANT, 40 WATT 120 VOLT, E12 CANDELABRA BASE INCANDESCENT BULB, 330 LUMENS, 4.5" DIA x 6.5"H, GLASS AND METAL, AMBER MATTE

- 1 PROVIDE DEDICATED CIRCUITS FOR ATM, PURCHASE KIOSK, REFRIGERATOR, CASH REGISTERS OUTLETS (CONFIRM ALL REQUIREMENTS & PROVIDE ALL REQUIRED OUTLET TYPES PER EACH MFG'S. SPECS)
- 2 FISHEYE SECURITY CAMERA LOCATED ON ROOF

LIGHT FIXTURES (CONT.):

- (TYPE F): HOME DEPOT: LITHONIAN LIGHTING: IBC 454 MV 4-LIGHT T5 WHITE HIGH OUTPUT FLOURESCENT HIGH BAY, 120-277 VOLT, 54 WATT HIGH OUTPUT BULBS, TO VERIFY
- (TYPE G): HUDSON VALLEY LIGHTING: ANGIE DOUBLE WALL SCONCE, TWO 3 WATT 120 VOLT G9 DOUBLE LOOP BASE LED LAMPS, 230 LUMENS, 4.75"WIDTH x 15"H, METAL AND GLASS, AGED BRASS AND POLISHED NICKEL

REVISED: 12.28.19
 DATE: 12.09.19

LEGEND (CONT):

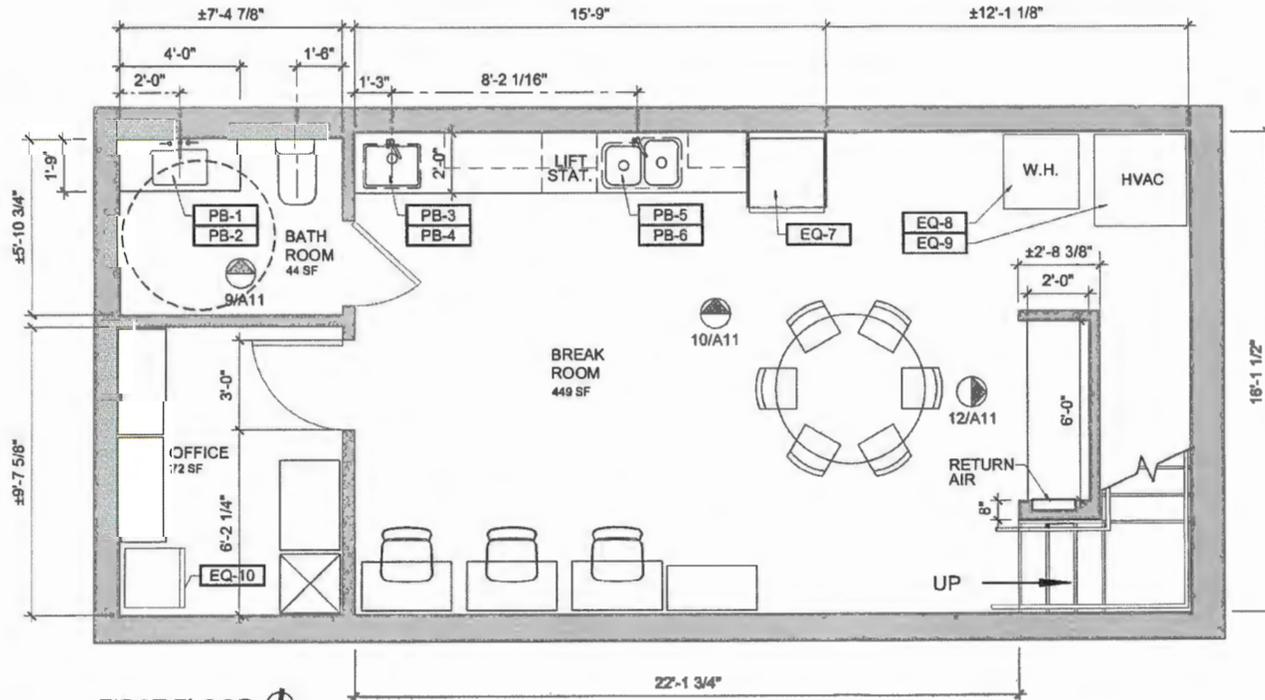
- EMERGENCY EXIT LIGHT COMBO, WALL MOUNTED
- EMERGENCY EXIT LIGHT COMBO, CEILING MOUNTED
- EXIT LIGHT, WALL MOUNTED
ARROW INDICATES EXIT
- FLUORESCENT LIGHT FIXTURE
- WALL SCONCE
- FISHEYE SECURITY CAMERA
- SECURITY CAMERA
- DOOR BELL ANNUNCIATOR
- THERMOSTAT

LEGEND (CONT):

- DUPLEX RECEPTACLE: (USB) ADD USB OUTLET WHERE NOTED
- DUPLEX RECEPTACLE: DEDICATED CIRCUIT
- FOURPLEX RECEPTACLE
- TELEPHONE OUTLET.
- TELEVISION / INTERNET OUTLET
- INTERNET OUTLET
- JUNCTION BOX
- THERMOSTAT
- INDICATES MOUNTING HEIGHT
- GFI

LEGEND:

- KEY NOTE
- LIGHT SWITCH: (D) DIMMER, (3W) 3 WAY SWITCH, (#) CIRCUIT NUMBER
- UNDER CABINET OUTLET STRIP, GROUND FAULT INTERRUPTER TYPE
OUTLETS: GF (X" = LENGTH OF STRIP), WHITE LAGRAND 2000 SERIES GFCI OR EQUAL
- CARBON MONOXIDE / SMOKE DETECTOR
CEILING MOUNT
- GARBAGE DISPOSAL
- EXISTING CEILING HEIGHT A.F.F.



FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

- LEGEND:**
- KEY NOTE
 - EXISTING PARTITIONS
 - EXIST. PH PARTITION
 - EQUIPMENT TAG
 - PLUMBING FIXT. TAG
 - ELEVATION TAGS

PLUMBING FIXTURES (CONT.):

- (PB-4) DELTA: TRINSIC, SINGLE HOLE, PULL-DOWN KITCHEN FAUCET, #9159-CZ-DST, CHAMPAGNE BRONZE
- (PB-5) FRANKE: CRYSTAL, UNDERMOUNT KITCHEN SINK, #CLV110-31, 30"W X 17"D X 9"H, STAINLESS STEEL
- (PB-6) DELTA: TRINSIC, SINGLE HOLE, PULL-DOWN KITCHEN FAUCET, #9159-CZ-DST, CHAMPAGNE BRONZE

PLUMBING FIXTURES:

- (PB-1) DELTA: TRINSIC, THREE HOLE, WIDESPREAD BATHROOM FAUCET, #3559-CZMPU-DST, CHAMPAGNE BRONZE
- (PB-2) KOHLER: LADENA, UNDERMOUNT BATHROOM SINK WITH OVERFLOW, WIDESPREAD BATHROOM FAUCET, #K-2214-0, 20-7/8"W X 14-3/8"D X 8-1/8"H, WHITE FINISH
- (PB-3) KOHLER: UNDERTONE, UNDERMOUNT UNDERCOUNTER UTILITY SINK, #K-6661-NA, 23"W X 11-1/4"D X 11.63"H, STAINLESS STEEL

CONSTRUCTION PLAN NOTES:

ALL SUBCONTRACTORS SHALL CHECK & VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REQ CLARIFICATION FROM THE DESIGNER (DO) OF POSSIBLE CONFLICTS BETWEEN DWGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK

FRAMING SUBCONTRACTOR TO CHALK-OUT ALL WALLS FOR REVIEW PRIOR TO CONSTRUCTION BEGINNING

DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. NOTIFY DESIGNER OF ANY POSSIBLE CONFLICTS BEFORE PROCEEDING.

PARTITIONS SHALL BE DIMENSIONED FROM FINISHED FACE OF WALL AND "CL" INDICATES CENTER LINE OF WALL OR OBJECT, U.N.O.

SUBCONTRACTOR TO PROVIDE ALL REQ'D. ROUGH-INS, VALVES, COMPONENTS & TRIMS FOR A COMPLETE INSTALLATION OF ALL PLUMBING FIXTURES SPECIFIED

SUBCONTRACTORS TO PROVIDE SHOP DRAWINGS FOR ALL CABINETS AND SUBMITTALS FOR ALL ITEMS AND FIXTURES SPECIFIED FOR REVIEW & APPROVAL PRIOR TO ORDERING

PROVIDE NEW PAINT GRD. 2 1/2" FLAT CASING AT ALL DOORS & WINDOWS. PROV. NEW PT. GRD. 4"H X 1/2"TH BASEBOARD THROUGHOUT.

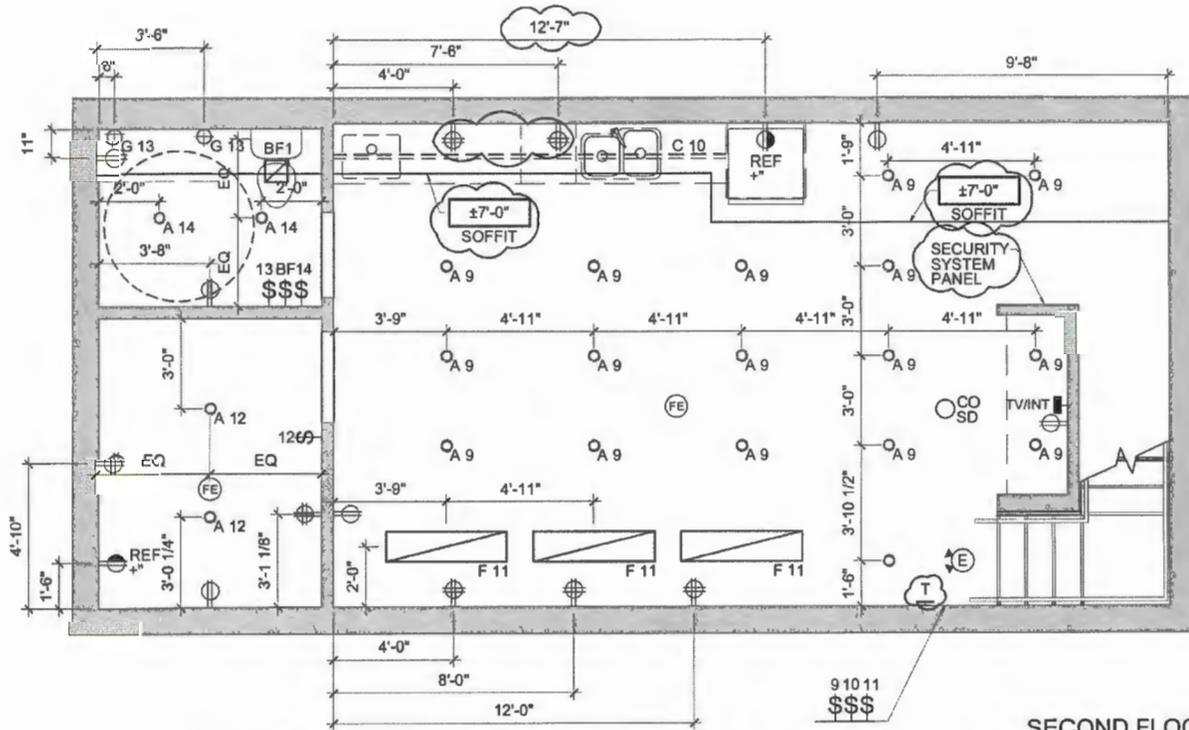
PROVIDE (2) NEW SINGLE PANEL DOORS W/ LEVER HDWR, (2) METAL SECURITY DOORS W/ LEVER HDWR, (1) FIRE RATED DOOR W/ LEVER HDWR & (1) FRONT ENTRY DOOR W/ LEVER DWR NEW DBL. DOORS TO BE PT. GRD. FLAT PANEL STYLE SOLID CORE DOORS. TO COMPLY WITH COMMERCIAL CODE. ALL HDWR. (TBD). PROV. 1/4" UNDER-CUT AFF, TYP.

REFER TO ELEVATION SHEET A9 AND A10 FOR CABINET & COUNTER TOP INFO / SPECS.

PROVIDE POLY-SEAL @ ALL MECH., ELECTRICAL & PLUMBING ROUGH-IN OPENINGS FOR COMPLETE SEAL - ONLY IF REQUIRED BY CITY

- EQUIPMENT:**
- (EQ-7) 30" FRIDGE, TBD
 - (EQ-8) WATER HEATER
 - (EQ-9) HVAC UNIT
 - (EQ-10) 30" FRIDGE, TBD

REVISED: 12.30.19
DATE: 10.02.19



REFLECTED CEIL. & POWER PLAN NOTES & KEY NOTES:

ALL KITCHEN RECEPTACLES SHALL BE GROUND-FAULT INTERRUPTER TYPE DEVICES.

ALL RECESSED LIGHT FIXTURES IN CONTACT WITH INSULATION SHALL BE RATED FOR SUCH AN INSTALLATION.

CLEAN AND EQUIP ALL LIGHT FIXTURES WITH NEW SPECIFIED LAMPS AT THE COMPLETION OF CONST.

PROVIDE ALL REQ'D SWITCHES. EACH LIGHT FIXTURE TYPE IN EA. ROOM/AREA TO HAVE SEPARATE SWITCH.

OUTLET & SWITCH SPECIFICATIONS: LUTRON / DESIGNER STYLE, SATIN SNOW
OUTLETS, RECEPTACLES & WALL PLATES: CLARO SERIES

SWITCHES: DIVA CLARO SERIES
DIMMERS: DIVA SERIES
DIMMER & SWITCH PLATES: DIVA & DIVA CLARO SERIES TO COORD. W/ DIMMERS & SWITCHES
ALL SWITCHES & OUTLETS TO BE GANGED WITH SINGLE SWITCH PLATE AND ALL COVER PLATES TO HAVE INVISIBLE ATTACHMENT. NO SCREWS VISIBLE.

DIMMERS TO BE PROVIDED FOR ALL PENDANTS, DOWNLIGHTS AND SURFACE MT. FIXTURES. PENDANT LIGHT MOUNTING HEIGHTS TBD IN THE FIELD WITH IV.

PROVIDE NEW POWER, PHONE & CABLE TV / INTERNET OUTLETS AS SHOWN. ALL OTHER EXISTING OUTLETS TO REMAIN, U.N.O.

PROVIDE POLY-SEAL @ ALL MECH., ELECTRICAL & PLUMBING ROUGH-IN OPENINGS FOR COMPLETE SEAL. - ONLY IF REQUIRED BY THE CITY

LEGEND (CONT):

- EMERGENCY EXIT LIGHT COMBO, WALL MOUNTED
- EMERGENCY EXIT LIGHT COMBO, CEILING MOUNTED
- EXIT LIGHT, WALL MOUNTED ARROW INDICATES EXIT
- FLUORESCENT LIGHT FIXTURE
- WALL SCONCE
- FISHEYE SECURITY CAMERA
- SECURITY CAMERA
- DOOR BELL ANNUCIATOR
- THERMOSTAT

LEGEND (CONT):

- DUPLEX RECEPTACLE: (USB) ADD USB OUTLET WHERE NOTED
- DUPLEX RECEPTACLE: DEDICATED CIRCUIT
- FOURPLEX RECEPTACLE
- TELEPHONE OUTLET
- TELEVISION / INTERNET OUTLET
- INTERNET OUTLET
- JUNCTION BOX
- THERMOSTAT
- INDICATES MOUNTING HEIGHT
- GFI

LEGEND:

- KEY NOTE
- LIGHT SWITCH: (D) DIMMER, (3W) 3 WAY SWITCH, (#) CIRCUIT NUMBER
- UNDER CABINET OUTLET STRIP, GROUND FAULT INTERRUPTER TYPE
- CARBON MONOXIDE / SMOKE DETECTOR CEILING MOUNT
- GARBAGE DISPOSAL
- EXISTING CEILING HEIGHT A.F.F.

SECOND FLOOR RCP & POWER PLAN

SCALE: 1/4" = 1'-0"

LIGHT FIXTURES:

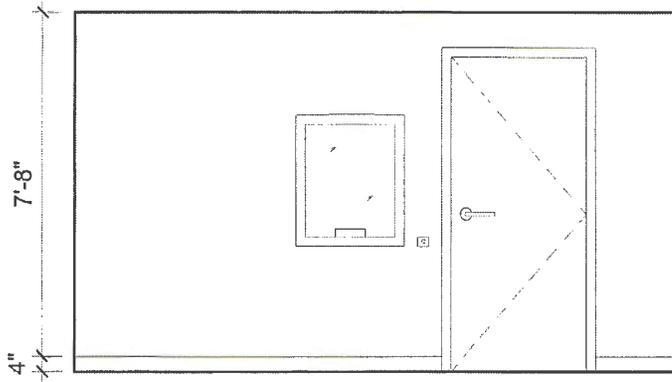
- (TYPE A): 6" LED LENSED (FROSTED) DOWNLIGHT CLEAR ALZAK TRIM, WHITE TRIM RING, 3000K COLOR, DIMMABLE
- (TYPE B): LOUIS POULSEN: PH 5 PENDANT, 23 WATT 120 VOLT MEDIUM BASE FLUORESCENT LAMP, E26 BULB, 1380 LUMEN, 19.7"DIA x 11.1"H, SPUN ALUMINUM SHADE, HUES OF GREEN
- (TYPE C): CONTINUOUS LED LINEAR UNDER CABINET LIGHT W/ REMOTE TRANSFORMER, 3000K COLOR, PROVIDE ALL TRANSFORMERS CABLES, CONNECTORS AND COMPONENTS
- (TYPE D): LED SPOTLIGHTS - TO CONFIRM ELECTRICIAN RECOMMENDED LIGHT FIXTURE
- (TYPE E): BESA LIGHTING: PERA 6 PENDANT, 40 WATT 120 VOLT, E12 CANDELABRA BASE INCANDESCENT BULB, 330 LUMENS, 4.5" DIA x 6.5"H, GLASS AND METAL, AMBER MATTE

- 1 PROVIDE DEDICATED CIRCUITS FOR ATM, PURCHASE KIOSK, REFRIGERATOR, CASH REGISTERS OUTLETS (CONFIRM ALL REQUIREMENTS & PROVIDE ALL REQUIRED OUTLET TYPES PER EACH MFG'S. SPECS)

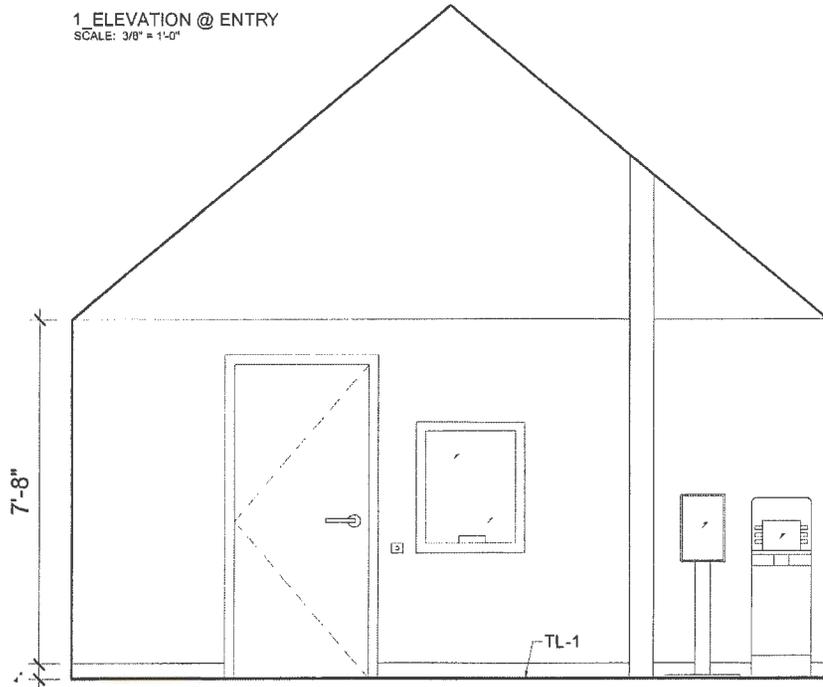
LIGHT FIXTURES (CONT.):

- (TYPE F): HOME DEPOT: LITHONIAN LIGHTING: IBC 454 MV 4-LIGHT T5 WHITE HIGH OUTPUT FLOURESCENT HIGH BAY, 120-277 VOLT, 54 WATT HIGH OUTPUT BULBS,
- (TYPE G): HUDSON VALLEY LIGHTING: ANGIE DOUBLE WALL SCONCE, TWO 3 WATT 120 VOLT G9 DOUBLE LOOP BASE LED LAMPS, 230 LUMENS, 4.75"WIDHTH x 15"H, METAL AND GLASS, AGED BRASS AND POLISHED NICKEL

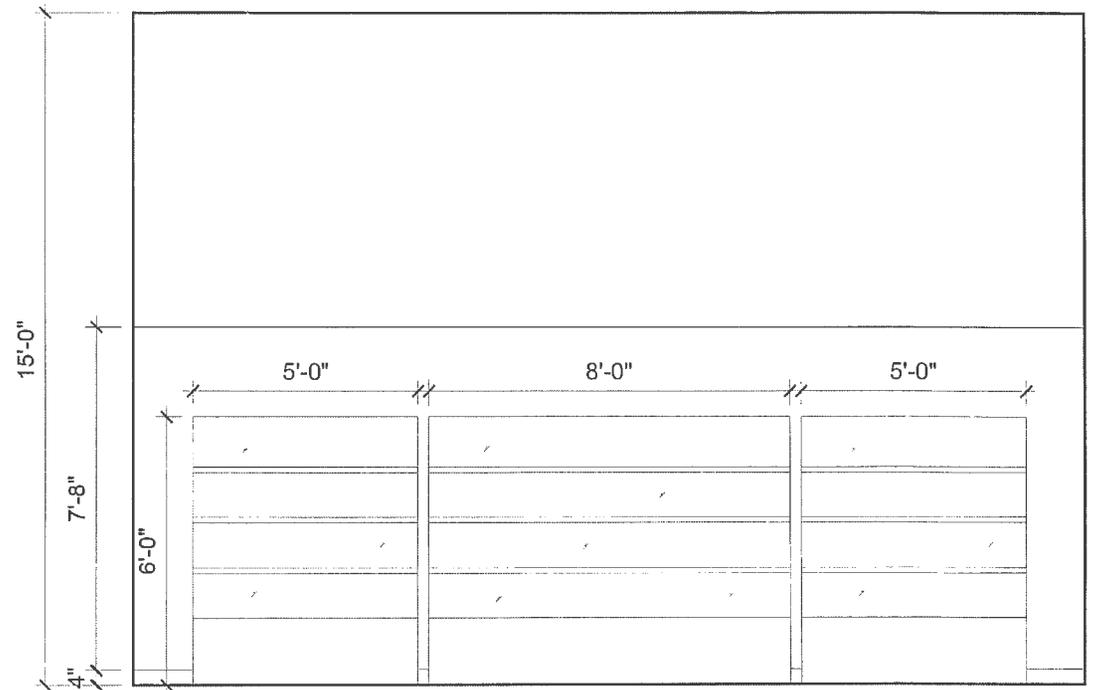
REVISED: 12.29.19
DATE: 12.09.19



1_ELEVATION @ ENTRY
SCALE: 3/8" = 1'-0"

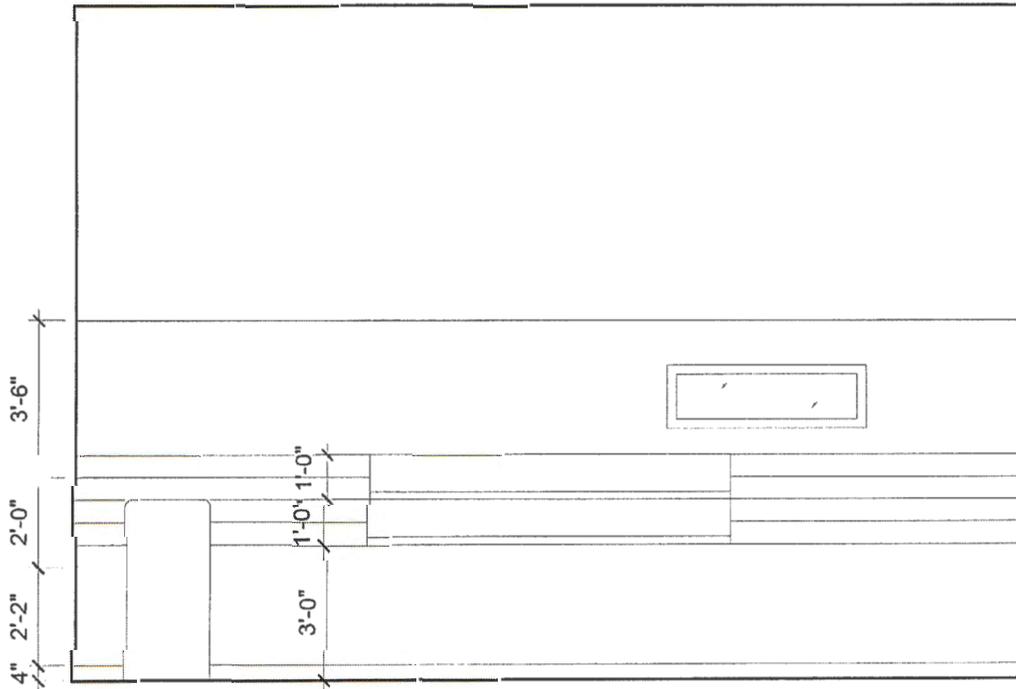


3_ELEVATION @ RETAIL AREA
SCALE: 3/8" = 1'-0"

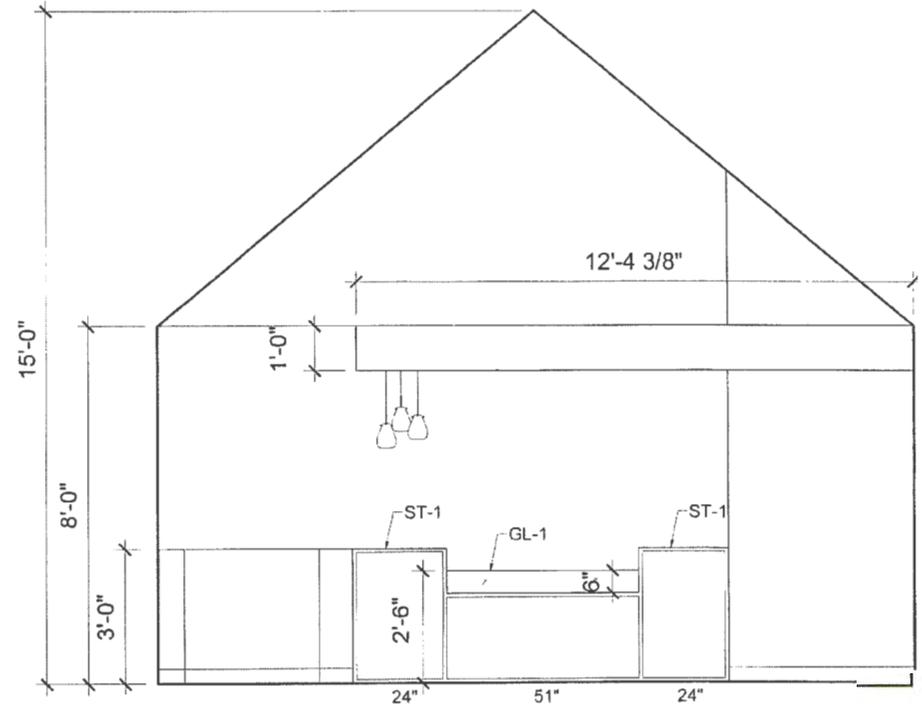


2_ELEVATION @ RETAIL AREA
SCALE: 3/8" = 1'-0"

- DOORBELL LOCATED AT SECURITY ENTRANCE DOOR
- SECURITY ENTRY BUZZER LOCATED NEXT TO SECURITY WINDOW, BUZZER REQUIRED TO OPEN DOOR
- SECURITY WINDOW TO HAVE FILM
- KIOSK AND ATM TO HAVE OWN DEDICATED OUTLETS
- FREESTANDING DISPLAYS, NOT BUILT-IN



4_ELEVATION @ RETAIL AREA
SCALE: 3/8" = 1'-0"

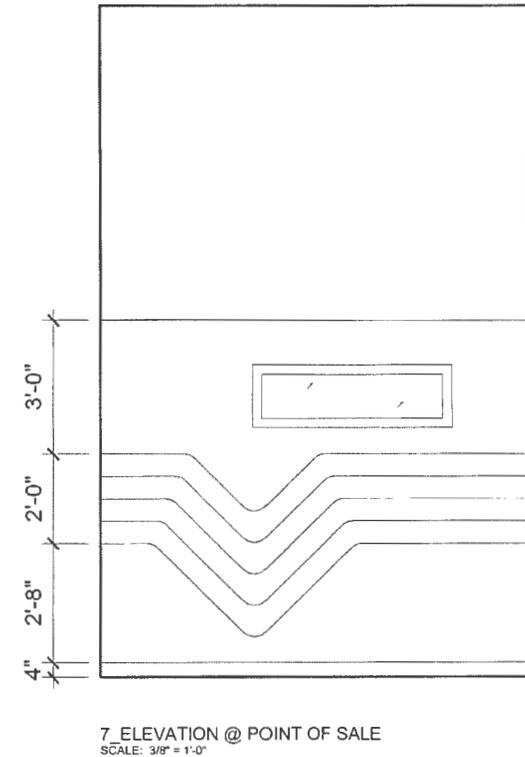
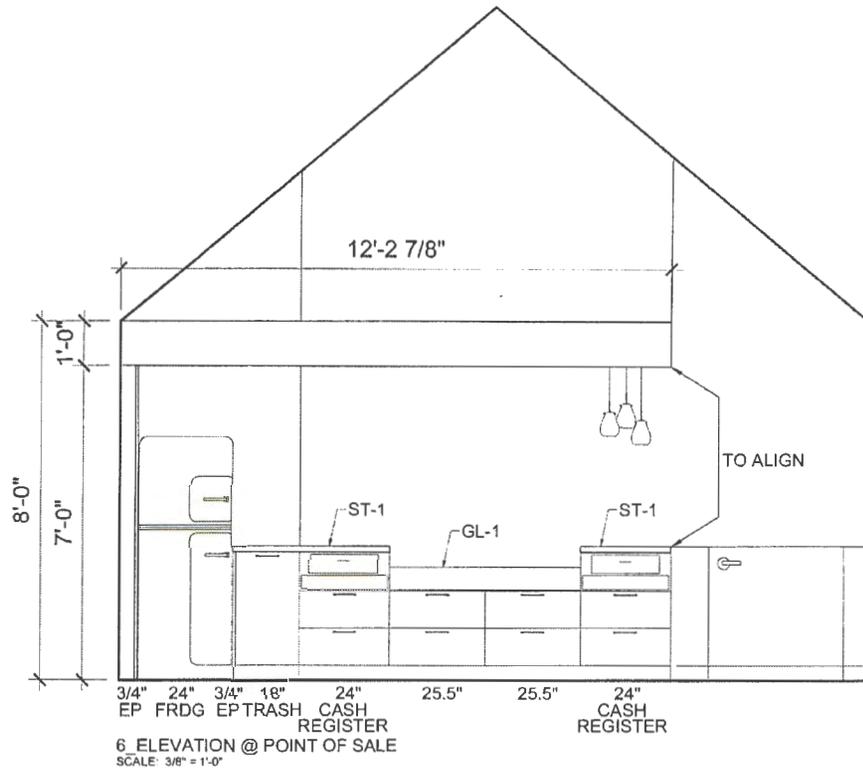


5_ELEVATION @ RETAIL AREA
SCALE: 3/8" = 1'-0"

- FLOATING SHELF WITH GLASS ENCLOSURE LOCATION TO BE VERIFIED WITH DESIGNER
- PROVIDE CONTINUOUS LINEAR LED STRIP LIGHTS AT FLOATING SHELVES, RE: 4/A9
- OPEN SHELVING BELOW CASH REGISTER AND DELI COUNTERTOP
- PAINT STRIPES ALONG ENTIRE WALL, COLOR SELECTION TO BE VERIFIED WITH DESIGNER, RE: 4/A9
- 2" x 12" WOOD PLANKS FOR SOFFIT APPEARANCE, WOOD TBD, REF 5/A9
- COUNTERS TO HAVE SQUARE EDGE PROFILE WITH MIN. EASED EDGES, NO MORE THAN 1/32" BREAK. ALIGN COUNTER EDGE WITH CABINET DOOR / DRAWER FACE, TYP UNO. PROVIDE SUGGESTED JOINT LOCATIONS FOR APPROVAL PRIOR TO FABRICATION.
- CENTER GLASS COUNTER DISPLAY, OPEN FROM POINT OF SALE

DATE: 12.29.19

Δ9

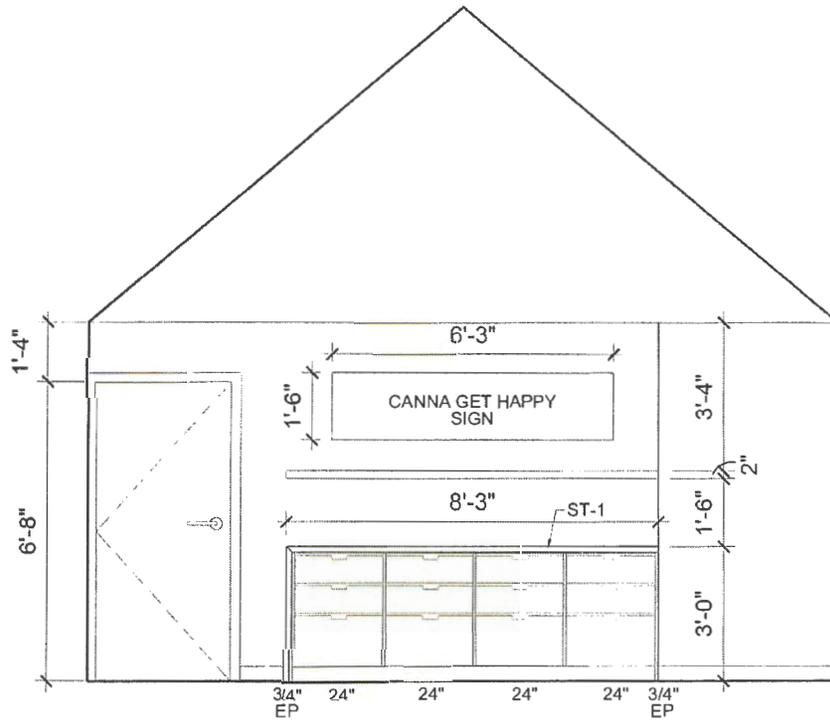


- CABINETS: DOOR / DRAWER STYLE: FLAT PANEL, 5/8" MAPLE PLYWOOD, PT. GRD. FINISH: BASE CABS COLOR TBD, HINGES: BLUM SOFT CLOSE CLIP ON, DRAWER GUIDE: BLUM SOFT CLOSE FULL EXTEN.
- OPEN SHELF BELOW REGISTERS
- GLASS DISPLAY AT CENTER CHECKOUT COUNTER
- PROVIDE BACK LIGHTING
- WOOD SOFFIT PLANK EDGE TO ALIGN WITH OF CHECKOUT COUNTER
- 2" x 12" WOOD PLANKS FOR SOFFIT APPEARANCE, WOOD TBD

- DOOR & DRAWER PULLS, TBD
- COUNTERTOPS TO HAVE SQUARE EDGE PROFILE WITH MIN. EASED EDGES, NO MORE THAN 1/32" BREAK. ALIGN COUNTER EDGE WITH CABINET DOOR / DRAWER FACE, TYP UNO. PROVIDE SUGGESTED JOINT LOCATIONS FOR APPROVAL PRIOR TO FABRICATION.
- COUNTERTOP EDGE TO ALIGN WITH SOFFIT
- PAINT STRIPES ALONG ENTIRE WALL, COLOR SELECTION TO BE VERIFIED WITH DESIGNER, RE: 7/A10

DATE: 12.29.19

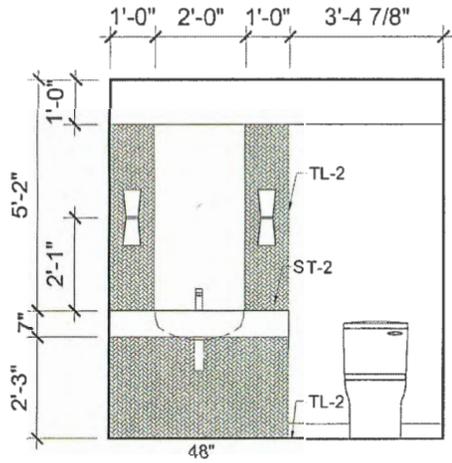
A10



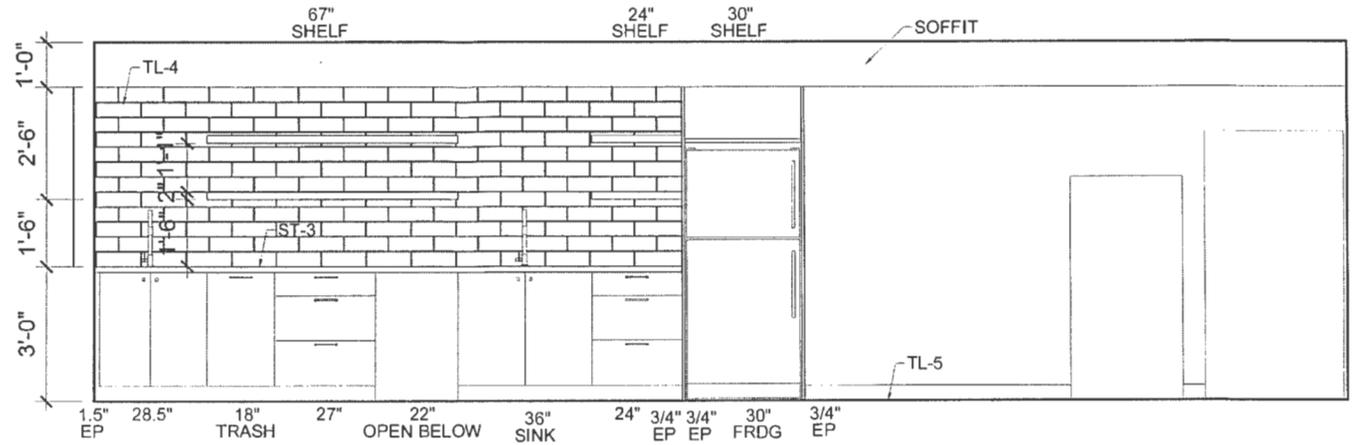
8 ELEVATION @ POINT OF SALE
SCALE 3/8" = 1'-0"

- CABINETS: DOOR / DRAWER STYLE: FLAT PANEL, 5/8" MAPLE PLYWOOD, OPEN SHELF DRAWERS, PT. GRD. FINISH: BASE CABS COLOR TBD, HINGES: BLUM SOFT CLOSE CLIP ON, DRAWER GUIDE: BLUM SOFT CLOSE FULL EXTEN.
- RECESS BELOW FOR SHELF LIGHT
- PROVIDE CONTINUOUS LINEAR LED STRIP LIGHTS AT FLOATING SHELF, RE: A4
- FLOATING SHELF TO BE 2" THICK. PAINT GRADE WOOD SHELF. COLOR TBD
- PROVIDE BACK LIGHTING
- DOOR & DRAWER PULLS, TBD
- PROVIDE LED BACK LIGHTING FOR CANNA GET HAPPY SIGN
- SIGN MATERIAL TBD
- COUNTERS TO HAVE SQUARE EDGE PROFILE WITH MIN. EASED EDGES, NO MORE THAN 1/32" BREAK. ALIGN COUNTER EDGE WITH CABINET DOOR / DRAWER FACE, TYP UNO. PROVIDE SUGGESTED JOINT LOCATIONS FOR APPROVAL PRIOR TO FABRICATION. WATERFALL EDGE AT END

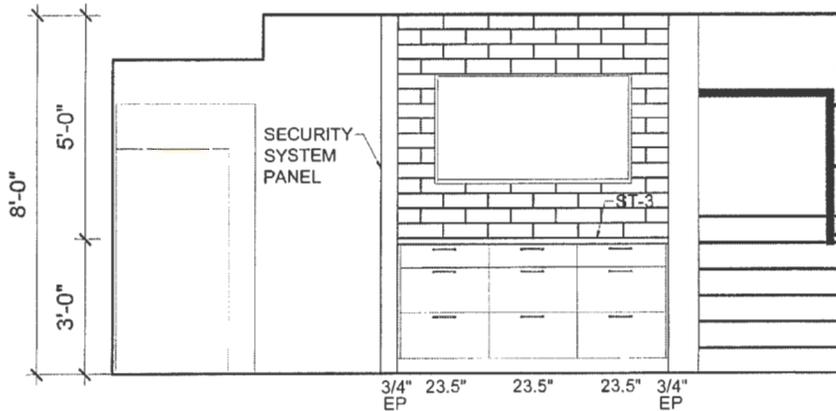
DATE: 12.29.19



9 ELEVATION @ BATH ROOM
SCALE: 3/8" = 1'-0"



10 ELEVATION @ BREAK ROOM
SCALE: 3/8" = 1'-0"



11 ELEVATION @ BREAK ROOM
SCALE: 3/8" = 1'-0"

- HEAT VENT TO BE SHEET ROCKED AND CREATE SOFFIT
- CABINETS: DOOR / DRAWER STYLE: FLAT PANEL, 5/8" MAPLE PLYWOOD, PT. GRD. FINISH: BASE CABS COLOR TBD, HINGES: BLUM SOFT CLOSE CLIP ON, DRAWER GUIDE: BLUM SOFT CLOSE FULL EXTEN.
- PROVIDE CONTINUOUS LINEAR LED STRIP LIGHTS FOR FLOATING SHELVES, RE: 10/A12
- FLOATING SHELF TO BE 2" THICK. PAINT GRADE WOOD SHELF. COLOR TBD
- DOOR & DRAWER PULLS, TBD
- COUNTERS TO HAVE SQUARE EDGE PROFILE WITH MIN. EASED EDGES, NO MORE THAN 1/32" BREAK. ALIGN COUNTER EDGE WITH CABINET DOOR / DRAWER FACE, TYP UNO. PROVIDE SUGGESTED JOINT LOCATIONS FOR APPROVAL PRIOR TO FABRICATION
- 22" OPEN SPACE IN LOWER CABINETS FOR LIFT STATION
- SECURITY TV TO BE MOUNTED ON WALL, HEIGHT TBD
- BATH ROOM COUNTERTOP TO HAVE MITERED EDGEWORK
- WALL SCONCES TO BE AT EACH SIDE OF MIRROR
- FULL HEIGHT MIRROR AND BACKSPASH TILE TO BE FLUSH
- FLOOR TO CEILING GLASS MOSAIC TILE BACKSPASH
- BATHROOM COUNTER TO COMPLY WITH COMMERCIAL CODE 4.19.2

DATE: 12.30.19

EXTERIOR ELEC. & POWER PLAN NOTES & KEY NOTES:

ALL EXTERIOR LIGHT FIXTURES SHALL BE RATED FOR SUCH AN INSTALLATION.

CLEAN AND EQUIP ALL LIGHT FIXTURES WITH NEW SPECIFIED LAMPS AT THE COMPLETION OF CONST.

TO CONFIRM ALL LIGHTS ARE COMPATIBLE WITH SECURITY CAMERA SYSTEM

COMPANY SIGN TO INCLUDE BACKLIGHTING OF LOGO AND FLOWER ELEMENTS AS DISCUSSED

SUPPLY POWER TO FUTURE LAMP POSTS AND LARGE SIGN BY ROAD

1 FISHEYE SECURITY CAMERA LOCATED ON ROOF

LIGHT FIXTURES (CONT.):

(TYPE H): HOME DEPOT: COMMERCIAL LIGHTING: HIGH-OUTPUT WALL PACK, PHOTOCELL, DUSK TO DAWN, 28-WATT, 120-277 VOLT, 3000 LUMENS, 7.8"D X 6.46"L X 6.46"W, ALUMINUM, BRONZE FINISH - TO FIND COMPATIBLE FIXTURE IN CHARCOAL

(TYPE I): HOME DEPOT: COMMERCIAL ELECTRIC, FLOOD LIGHT WITH WALL PACK MOUNT, PHOTOCELL, DUSK TO DAWN, 50-WATT, 120 VOLT LED LAMP, 5000 LUMENS, 9.57"D X 11.61"L X 11.61"W, ALUMINUM, BRONZE FINISH - TO FIND COMPATIBLE FIXTURE IN CHARCOAL

(TYPE J): BACK LIGHTING FOR COMPANY SIGN - TO CONFIRM PROPER LIGHTING SPECS WITH ELECTRICIAN

(TYPE K): RAMP POST LIGHTS - TBD

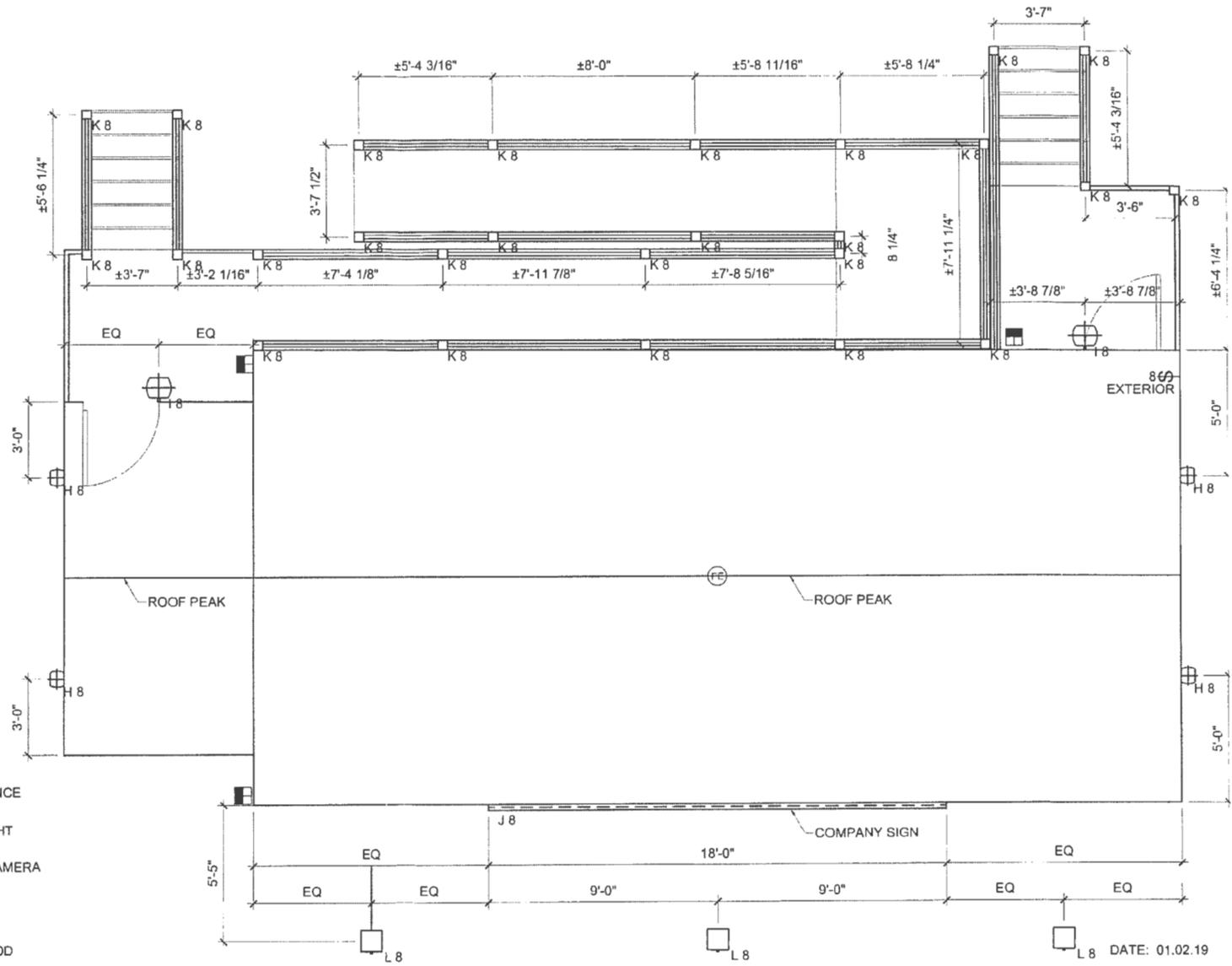
(TYPE L): HOME DEPOT: COMMERCIAL ELECTRIC, ARCHITECTURAL FLOOD LIGHT, DUSK TO DAWN, 50-WATT, 120-270 VOLT, LED LAMP, 5000 LUMENS, 10"D X 10"L X 10"W, ALUMINUM, BRONZE FINISH

LEGEND:

- (X) KEY NOTE
- (⊕) DUPLEX RECEPTACLE
- (⊕) FOURPLEX RECEPTACLE
- (L) LED BACKLIGHT
- +40" INDICATES MOUNTING HEIGHT

LEGEND (CONT.):

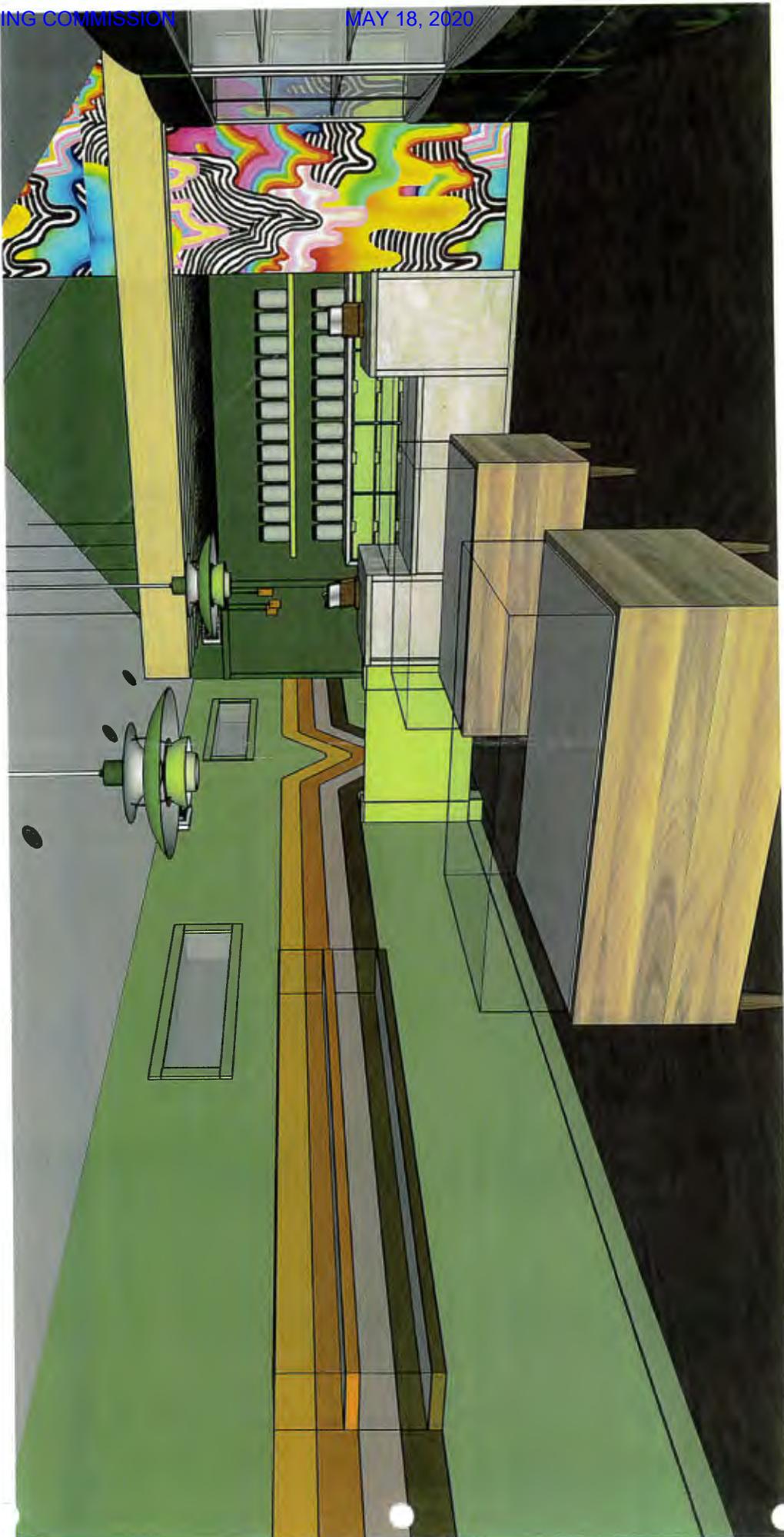
- (⊕) EXTERIOR WALL SCENCE
- (⊕) EXTERIOR FLOOD LIGHT
- (FE) FISHEYE SECURITY CAMERA
- (■) SECURITY CAMERA
- (□) RAMP POST LIGHT
- (□) ARCHITECTURAL FLOOD LIGHT

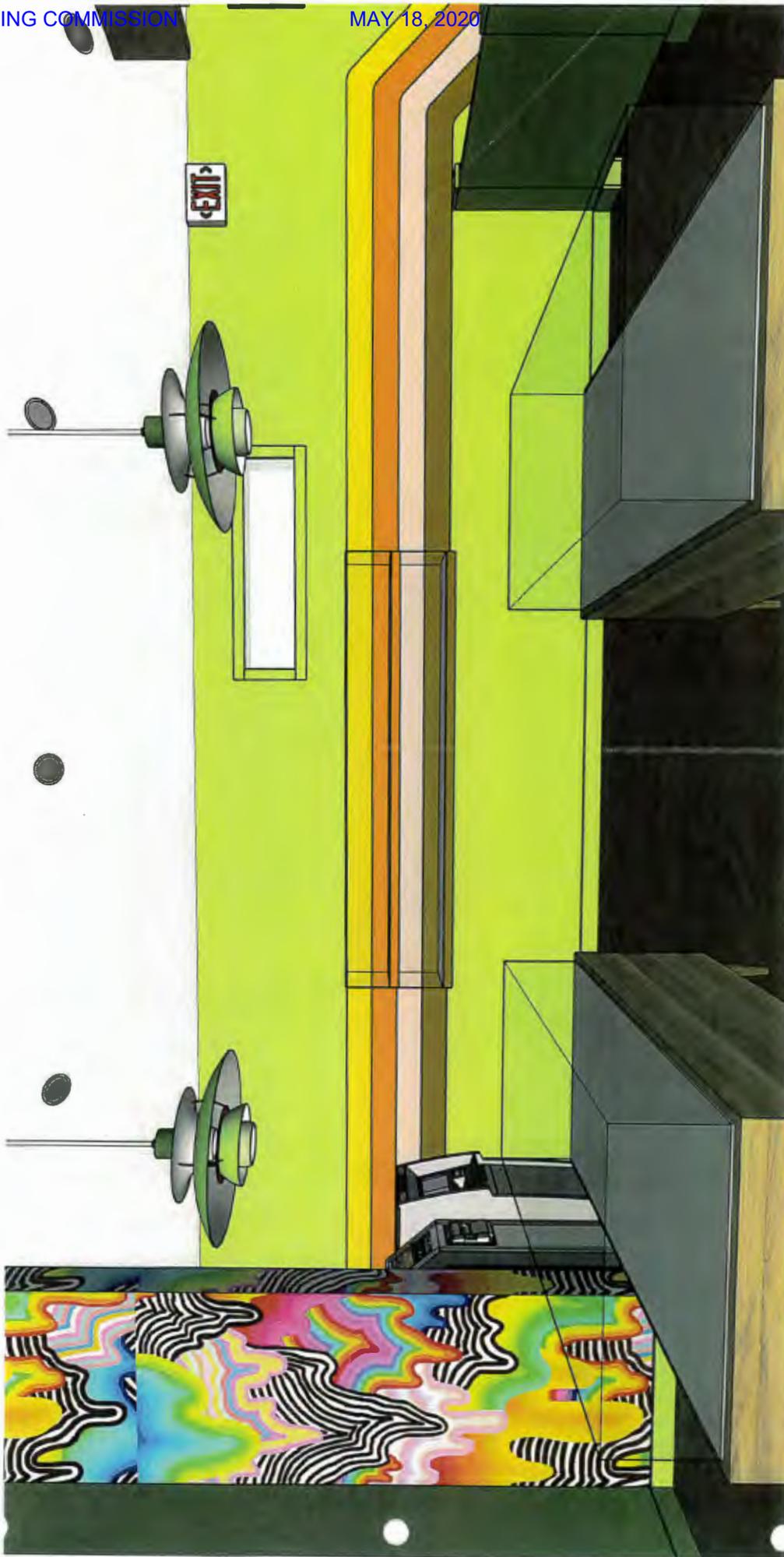


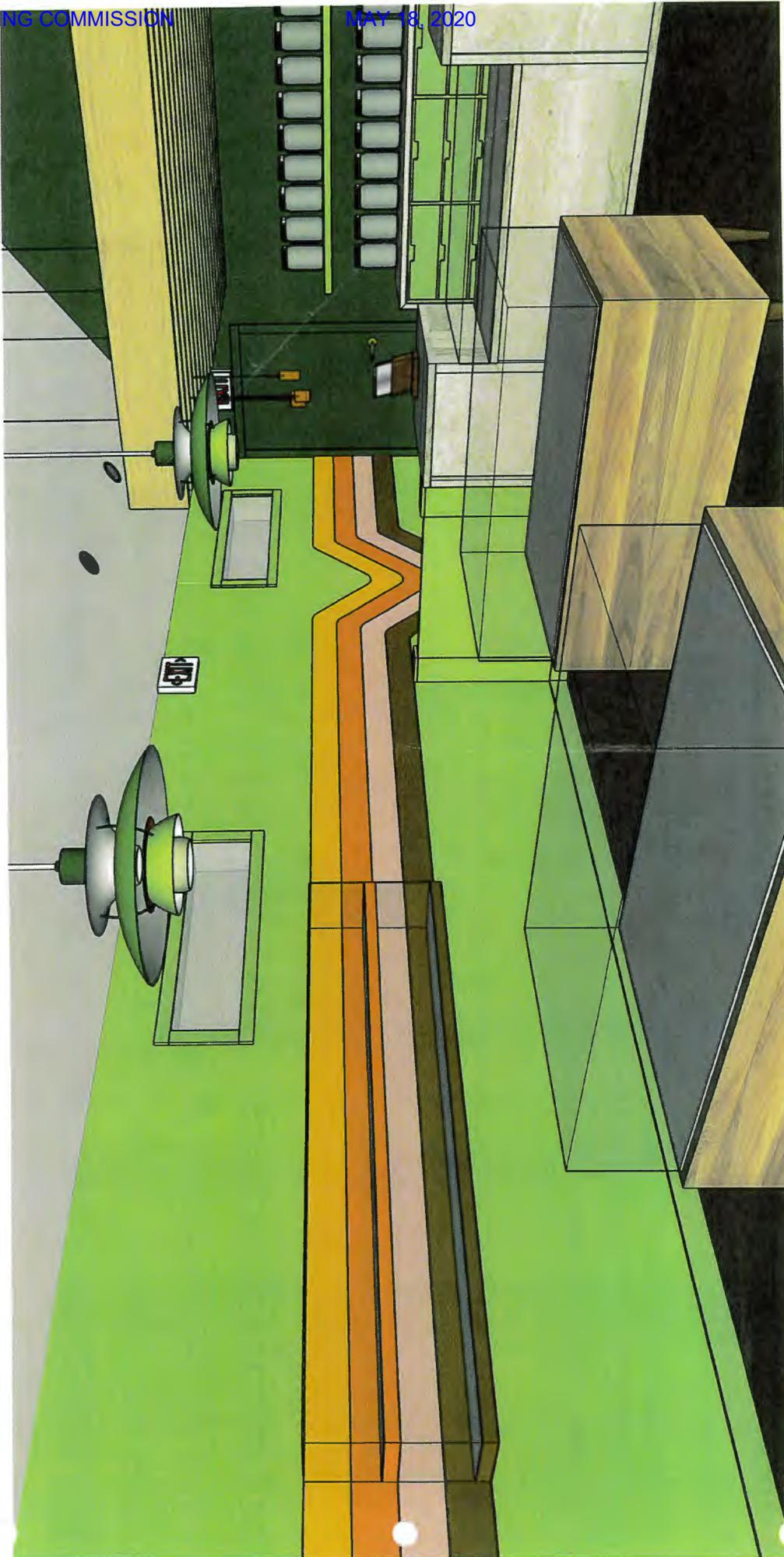
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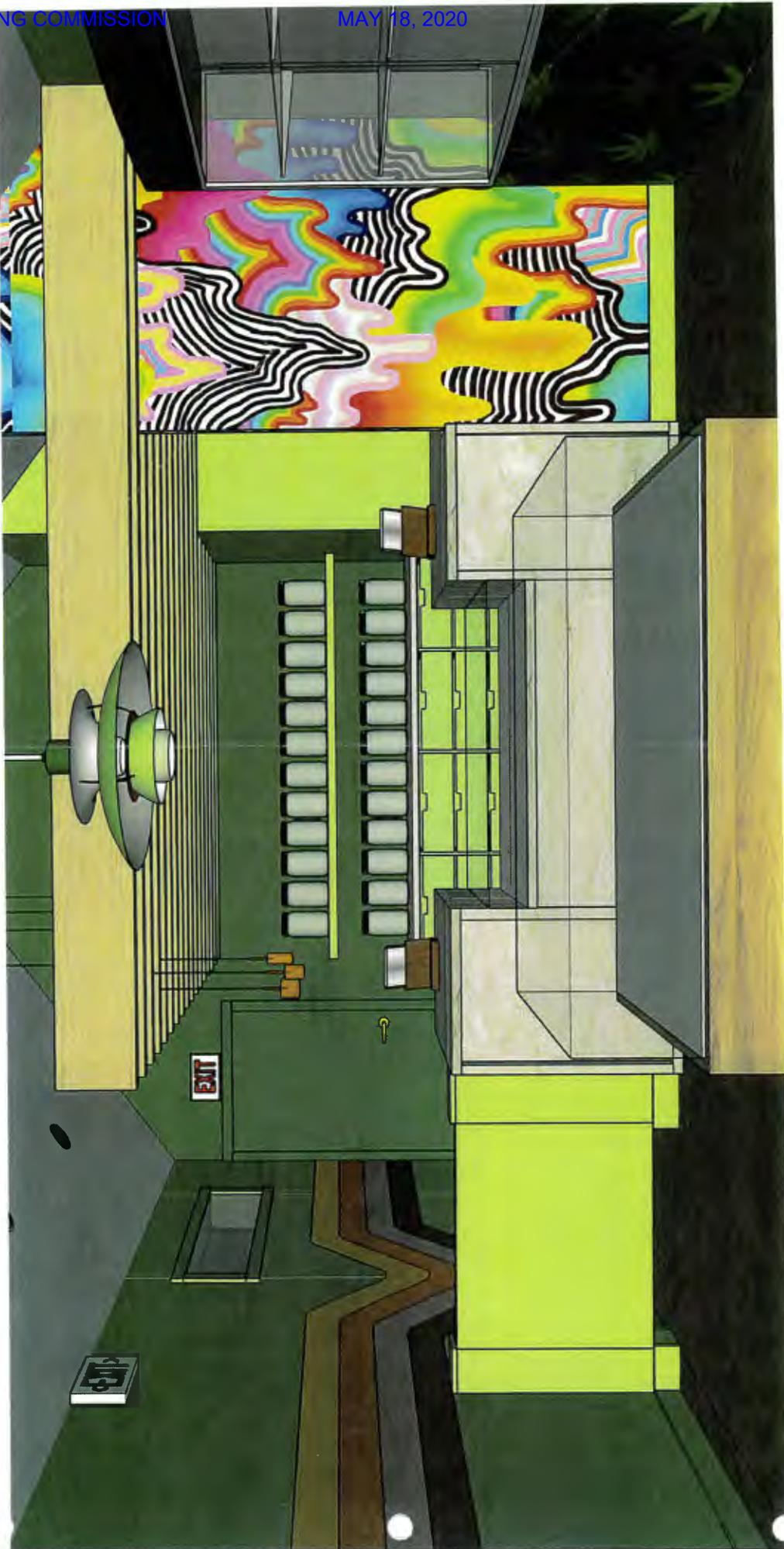
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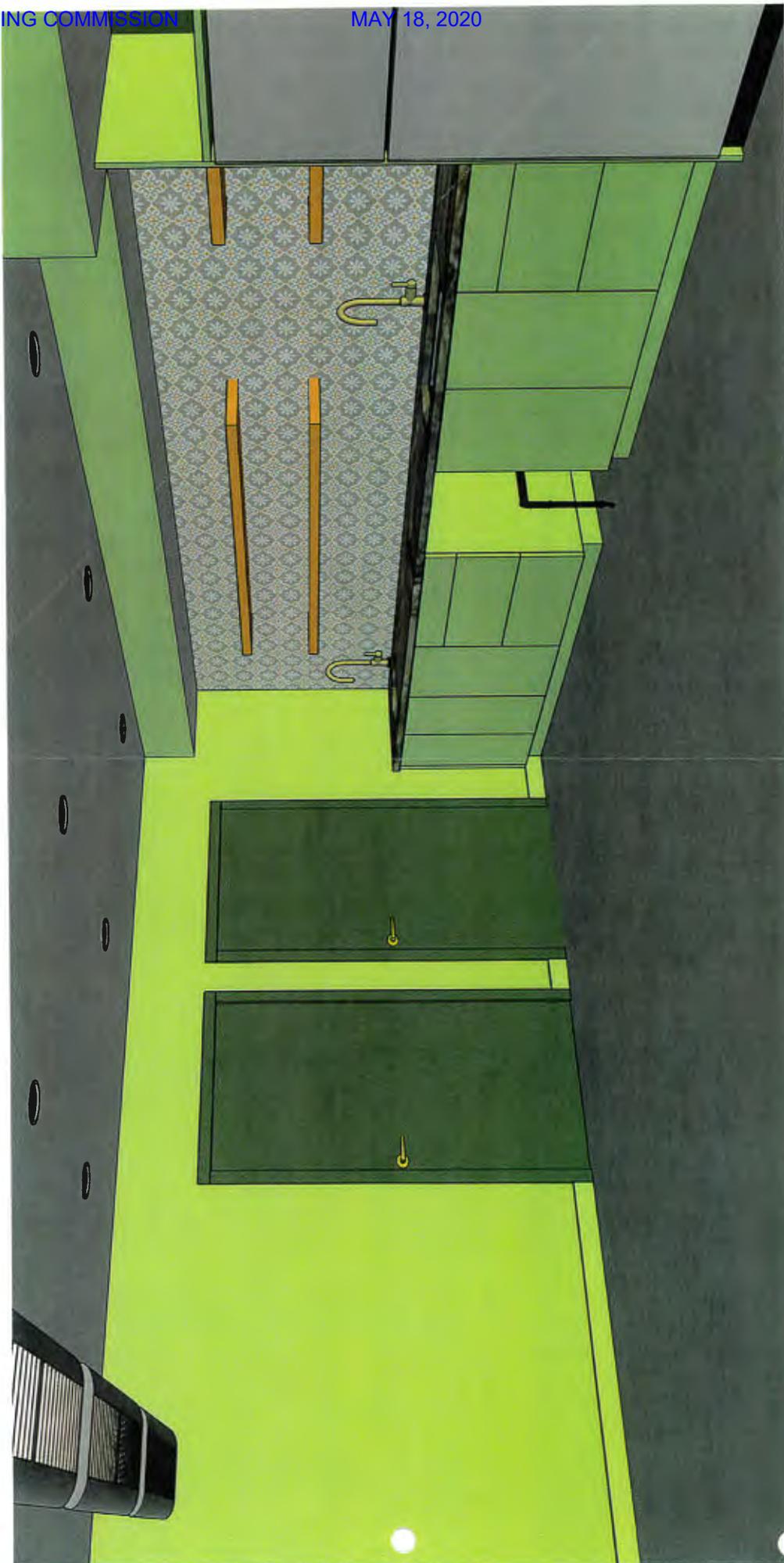


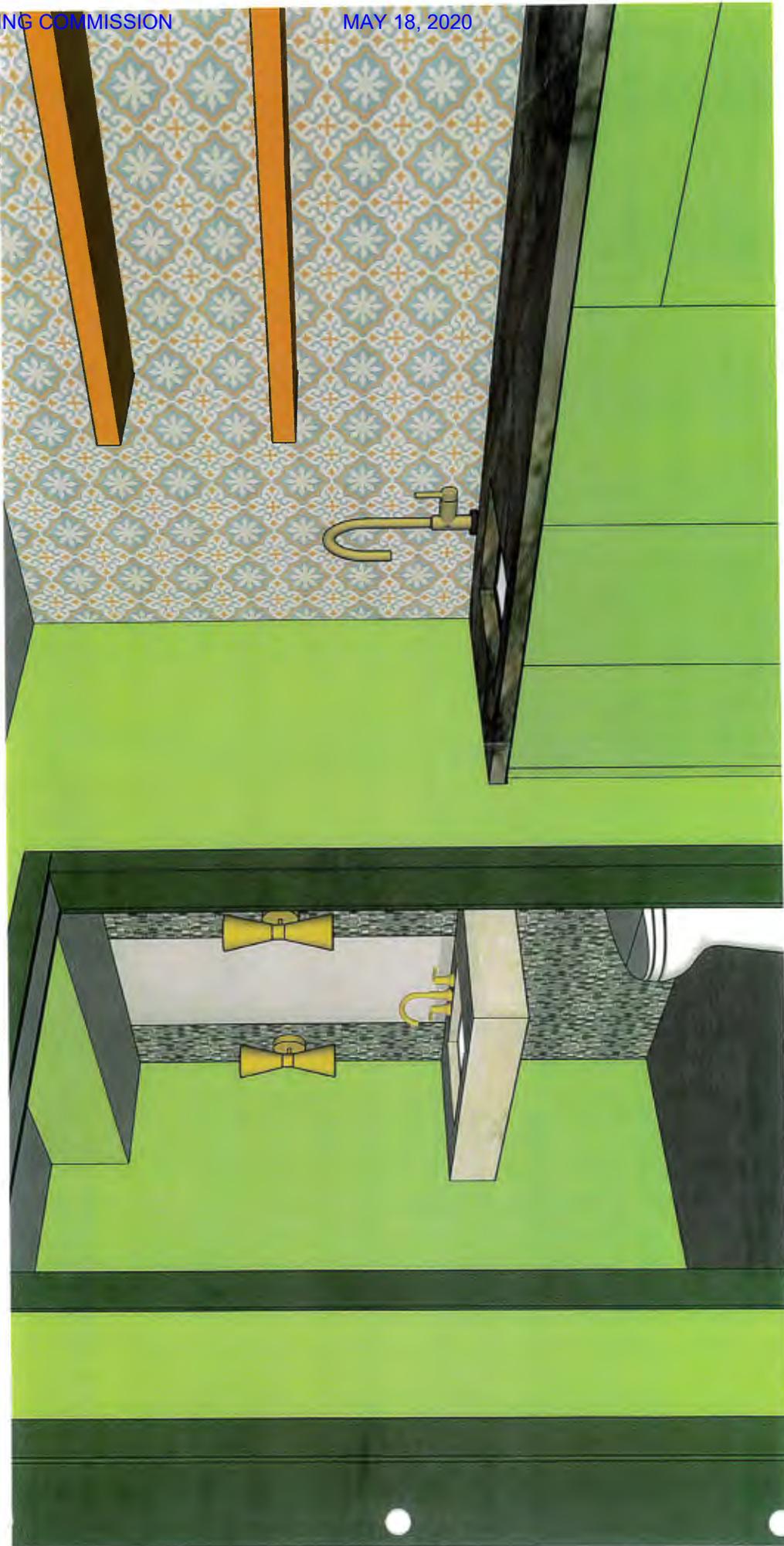


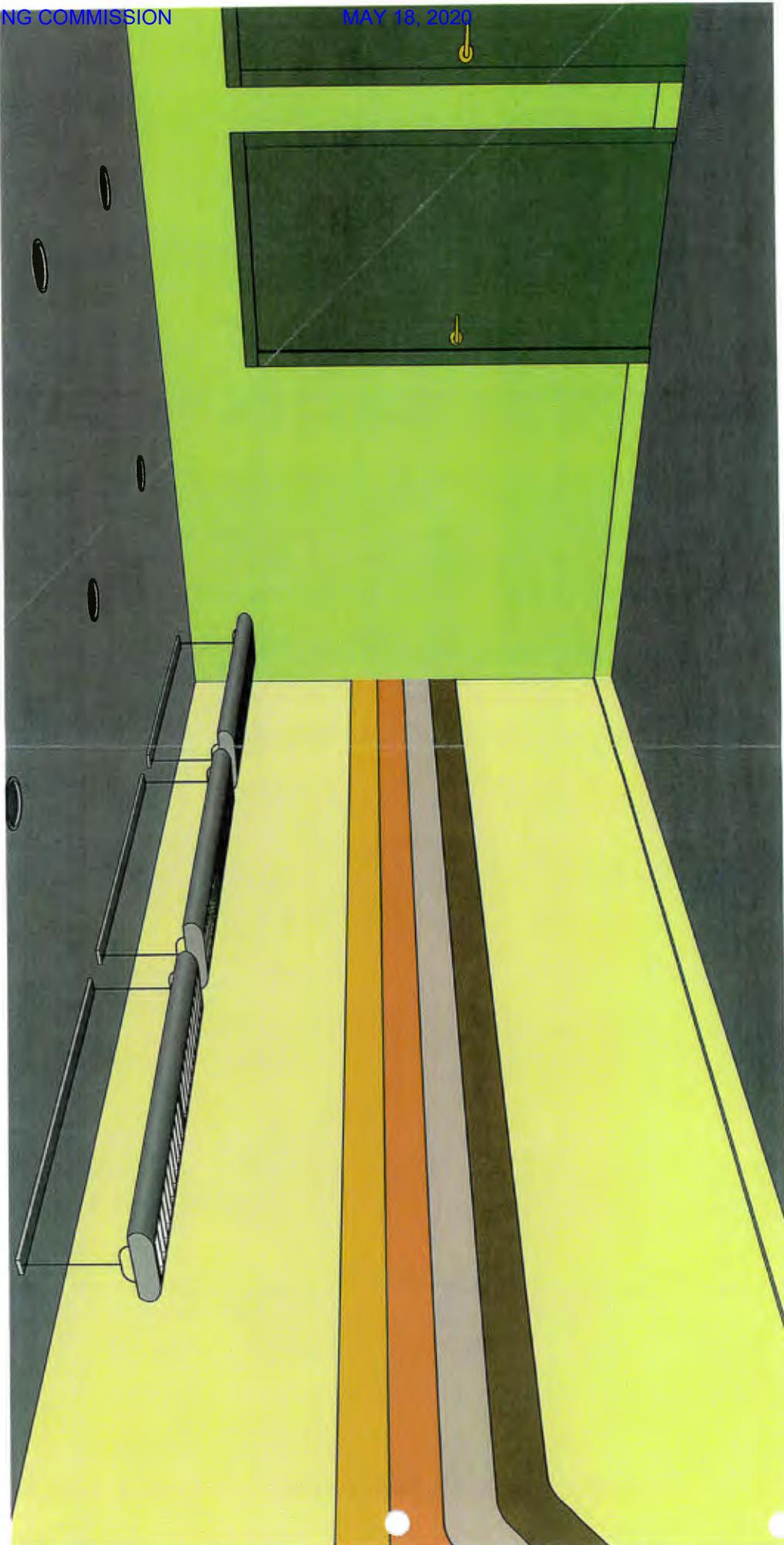


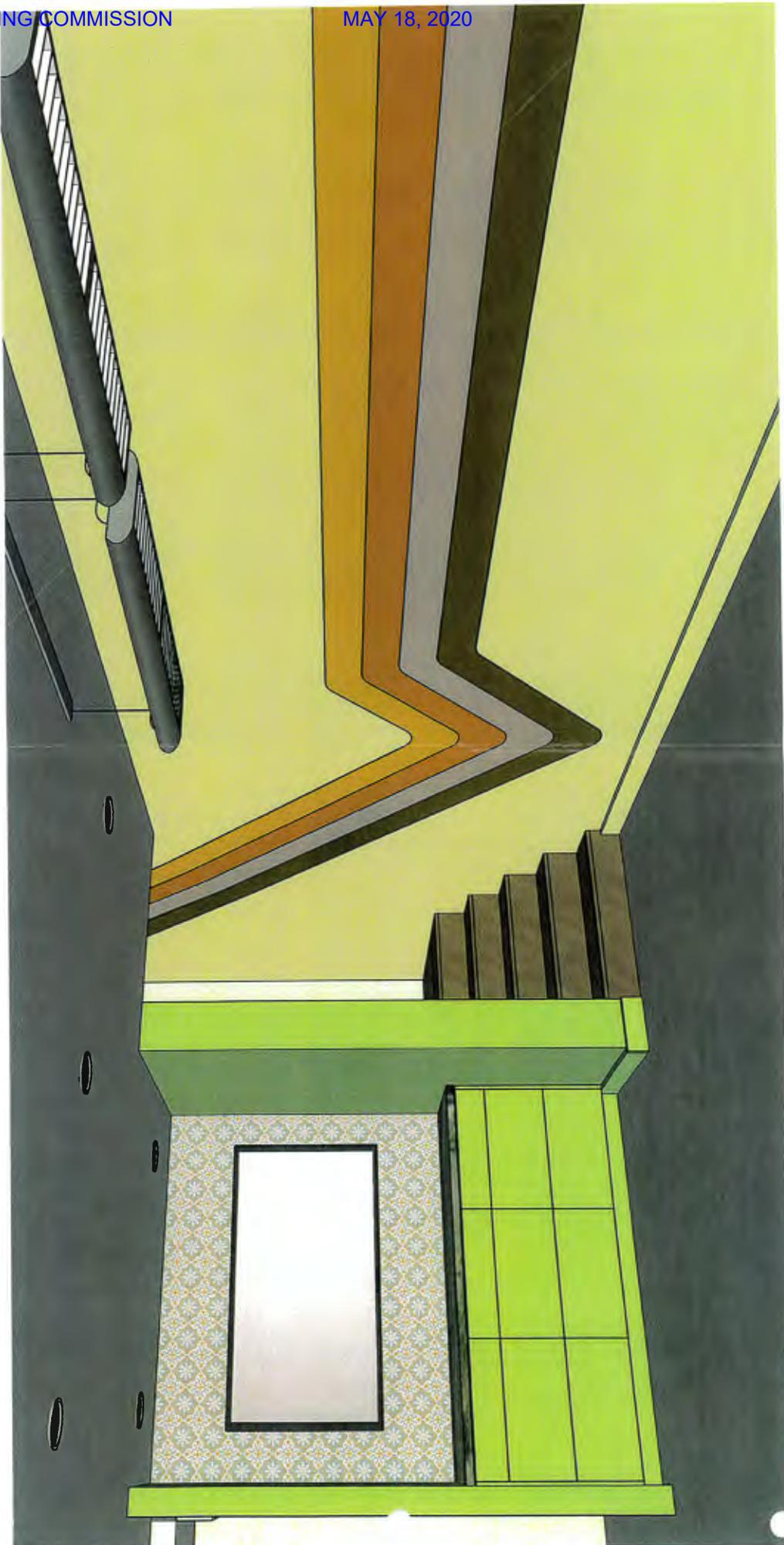


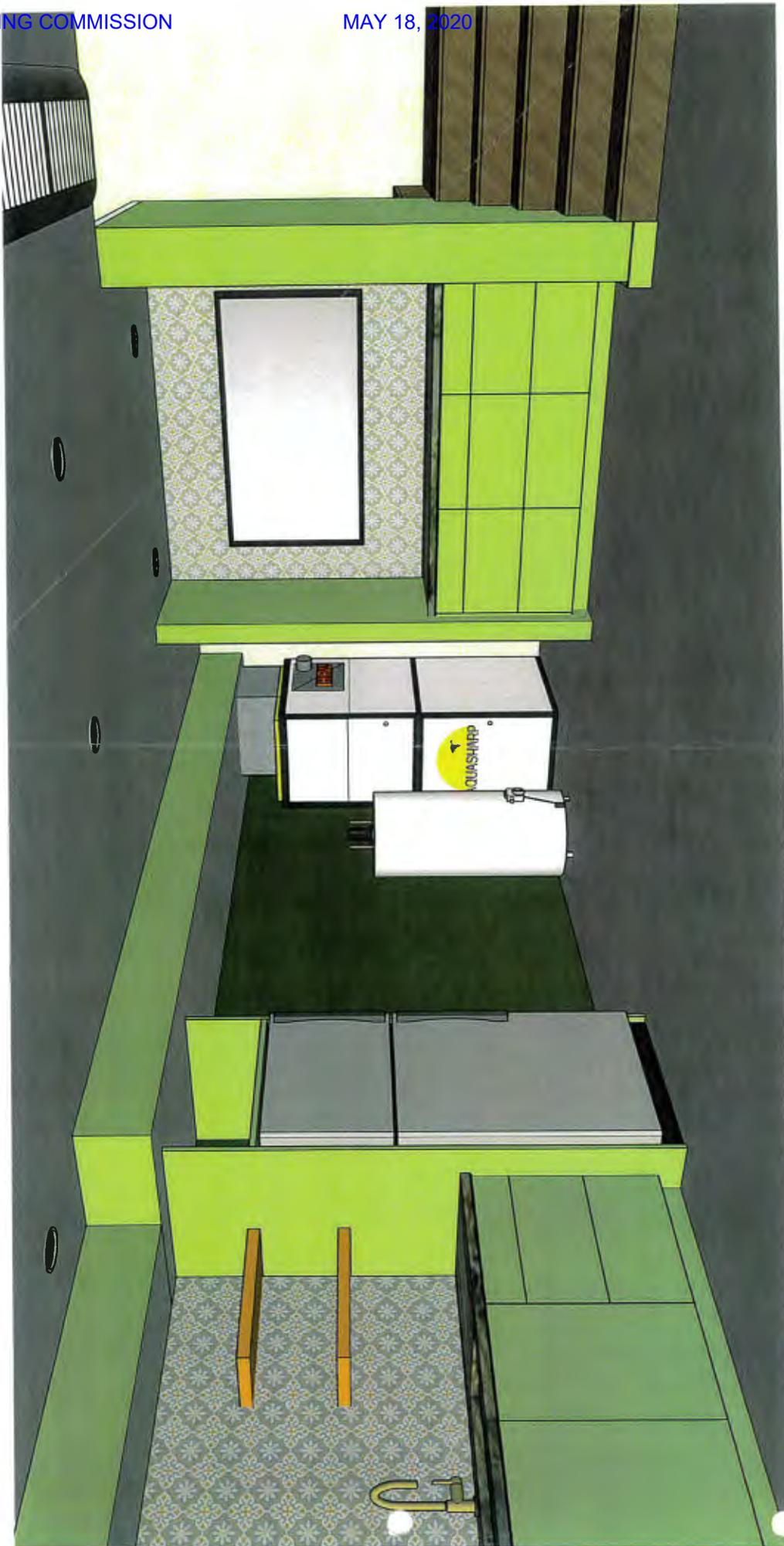












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**INTRODUCTION FOR PUBLIC HEARING
QUASI-JUDICIAL**

Resolution No. PC 20-17

**Country Cannabis, LLC
Marijuana Retail Facility CUP
2323 S. Trunk Road, Suite #3**

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INTRODUCTION FOR PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822 • Fax (907) 861-8158
Email: permitcenter@matsugov.us

CONDITIONAL USE PERMIT FOR
MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- x \$1,000 for Marijuana Retail Facility
\$1,000 for Marijuana Cultivation Facility

RECEIVED
By Mark Whisenhunt at 1:46 pm, May 06, 2020

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
Odor Mitigation and Ventilation Plan – 17.60.160 (B)
Hazardous Chemicals Information – 17.60.160 (C)
Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- x Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: _____, Range: _____, Section: _____, Meridian: _____
MSB Tax ID# 7432000L011A
SUBDIVISION: Meadow VLY ADD 1 RSB L/11 BLOCK(S): _____, LOT(S): 11, 12 & 13A
STREET ADDRESS: 2323 S Trunk Road, Palmer, Alaska 99645 Suite 3
FACILITY / BUSINESS NAME: Country Cannabis, LLC DBA Country Cannabis

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? [X] Yes [] No [] N/A

Name of Property Owner: Olson, Douglas L
Name of Agent / Contact for application: Jana Weltzin & Country Cannabis LLC
Mailing: 1150 N Golden Hills Dr, Palmer, Alaska 99645
Mailing: 901 Photo Ave., Anchorage, AK 99503
Phone: Hm _____ Fax _____
Phone: Hm _____ Fax _____
Wk _____ Cell _____
Wk 9072313750 Cell 6309131113
E-mail _____
E-mail jana@jdwounsel.com

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	Yes
Signage – Existing and Proposed.	Yes
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	Yes
Buffering – Fences, vegetation, topography, berms, and any landscaping	Yes
Drainage	Yes
Vehicular and pedestrian circulation patterns.	Yes
Exterior site lighting.	Yes
Location and dimensions of parking areas to be provided	Yes
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Yes

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	Yes
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Yes

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	Yes
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	No
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	Yes
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	Yes
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	Yes
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	Attached
Describe how this use is compatible with the character of the surrounding area.	Attached
Current status of State License application process – 17.60.150 (D) (1)	Completed -to be heard April MCB 2020

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	Attached
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	Attached

Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	Yes
Interior floor plans (specific location of the use or uses to be made of the development).	Yes
Net floor area square footage calculations.	Yes

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 74320004011A Parcel ID# 525725 and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

Accepted Olson Douglas L Olson 2-27-2020
 Signature: Property Owner Printed Name Date

Jana JANA WELTON 2/28/2020
 Signature: Agent Printed Name Date

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RETAIL MARIJUANA FACILITY
CONDITIONAL USE PERMIT
NARRATIVE

Country Cannabis, LLC., dba Country
Cannabis – a locally owned and
operated business

Submitted: March 2nd, 2020
Hearing Date: _____, 2020
Prepared by:



Jana D. Weltzin, Esq.
901 Photo Ave., Second Floor
Anchorage, AK 99503
jana@jdwcounsel.com
630-913-1113
907-231-3750

On behalf of:
Country Cannabis

Introducing the Country Cannabis, LLC team:

It is with great pleasure that we introduce Sarah Lorimer and Jennifer Johnston, both are local Borough residents and owners of Country Cannabis, LLC.

Jennifer and Sarah are sisters, making this a family owned venture. Jennifer was born in Washington State and then moved with her parents and elder sister at the age of 2 to Alaska. Jennifer spent her childhood in Anchorage, and her summers with her family exploring Alaska on her fathers fishing boat, hunting grouse in the Mat-Su Valley, playing baseball little league and enjoying day trips to Hatcher Pass with her mother. After 7th grade, Jennifer and her family moved to Wasilla. It was a little rough transitioning from a “City Girl” to a “Country Girl” but, it didn’t take long to feel that the “Valley” was her home. Jennifer graduated from Colony High School and worked along side her parents at their roofing business. Jennifer truly is grateful for her parents who taught her what it meant to truly work hard for what you want and to always chase your dreams. Jennifer went on to attend and graduate from Alaska Career College, receiving her massage license in 2010. While attending Alaska Career College, Jennifer participated in volunteer work doing chair massages at the Native hospital and race events. Once Jennifer received the news that her sister and current business partner Sarah Lorimer was diagnosed with Multiple Sclerosis, she became active in various fund raisers and events to raise money for the Alaska MS Center. The last MMA fight she completed in was dedicated to her sister and she used it as a platform to raise money for the Alaska MS Center to help others affected by the disease. Jennifer still actively participates in multiple community outreach programs such as; Sleep in Heavenly Peace, food drives, animal shelters etc. Family is Jennifer’s most important priority which is why she could think of no one better than her sister to go into business with. Jennifer and her sister have decided to open a retail marijuana store in the Matanuska-Susitna Valley and is extremely excited to have the opportunity to be involved with the community and to share her love of this beautiful state we call home.

Sarah shares the same beginnings with her sister as to how she arrived in Alaska however, Sarah was 9 years old while driving in her dad’s old 1968 GMC pickup while heading up the Alcan to live the American Dream. Sarah has fond memories of singing “North to Alaska” with her father for the entire 4-day drive. Sarah and her father spent a lot of time when she was a child watching the Ultimate Fighting Championship on television, her mother did not approve, but Sarah could not get enough. This is where Sarah’s story begins. Sarah’s father, while driving through Anchorage, spotted a billboard sign that said, “MMA Fights Tonight”, he quickly called Sarah and of course, she wanted to go. They went together that night and after a 5 second knock-out, Sarah knew she had to be a part of this. Sarah was a mortgage broker with no formal business training when the AFC fell into her lap, she was advertising at the fights and the owner at the time asked if she wanted to purchase the AFC. Sarah jumped on the opportunity and purchased the AFC with her father in 2007. After running the promotion together for a year Sarah decided it would be best to run it alone. She left her position as a very successful mortgage broker and decided to take on

the AFC fist first, so-to-speak. Sarah trailblazed the way as a woman who is passionate about fights and does what it takes to get those fighters to the next level. Sarah is a 37-year-old wife and mother, who had been the President/Promoter of the AFC for 13 years. At the pinnacle of her career, Sarah was diagnosed with Multiple Sclerosis. After much deliberating with her family, they felt it was in the best interest of her health to step down as the president and owner of the AFC. Sarah sold the AFC in May of 2019 and has since become an MS advocate and actively volunteers with the Alaska MS Center and the National MS Society. Sarah has raised over \$30,000.00 for support programs for MS Patients and their families. Sarah also serves on the board of Directors of Valley Quilters Guild as the Historian, has donated over 100 hours designing and setting up the website and social media to bring VQG up to date with technology. Valley Quilters Guild makes and donates over 300 quilts a year to local Mat-Su Valley charities such as; Red Cross for fire victims, local hospice centers and OCS for children in the system. Sarah also has a hobby farm with over 100 chickens, ducks, geese and pheasants, and sells her eggs at a local co-op in Palmer. Sarah has not sat idle since retiring in 2019, she and her sister Jennifer have decided to open a retail marijuana store that will reflect their love of the Mat-Su Valley and feature a representation of the rich history of the colonist and the agriculture of the area.

Required attachments for a marijuana retail facility conditional use permit narrative:

Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?

The proposed use is compatible with adjacent properties and fits succinctly into the areas commercial/industrial vibe, previously, the retail area was Coho Family Medicine. The entire retail licensed area, including the office space, will be 2000 sq. feet. The building sits on a large lot (0.88 of an acre), which aids to the buffering of impacts to neighboring uses. The proposed use fits into the harmony of the surrounding uses both in size and design. The facility is located on a parcel of land located off of the Parks Hwy on S. Trunk road. To the left of Country Cannabis is a vacant lot and to the right is a small drive-through coffee stand. Country Cannabis is tucked nicely behind a large industrial glass distributor. There are two existing businesses that share the property with Country Cannabis, Heritage Birth Center and Float Alaska, both businesses have welcomed Country Cannabis with open arms. Therefore, the proposed use will not detract from the character, value, integrity of the surrounding area. The facility will not produce any noise pollution and has an odor control method in place.

Steps have been taken to reduce the potential negative effects of the proposed use upon adjacent properties. The proposed use will meet all compatible uses allowed on adjacent properties and will improve the overall neighborhood as the premises will not emit odor, will not produce excess dust, will have limited noise as compared to adjacent properties, and will have off-street parking and loading in order to cut down on traffic generation in front of the premises and on the street thus fitting in with adjacent property uses. As detailed in the attached site plan, there will off-street parking, that is at least 20 feet in length, ten feet in width and will have appropriate accessibility

spaces under the Americans with Disabilities Act. The back-property line has dense vegetation buffers, including mature trees and brush. The store will not allow any marijuana product to be visible from inside the store to the public, all windows will be either covered or clouded out so that persons from the public do not view marijuana from outside the facility.

While odor control is important, it is not expected that the retail facility will generate smell, but regardless the retail will have odor controls. This retail facility will not detract from the value, character and integrity of the surrounding area.

The facility will be equipped with a 24-hour monitoring alarm system, exterior motion detecting lighting and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with the exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. Customers must have their identification checked when entering the marijuana store. All customers will be observed for signs of impairment to ensure that Country Cannabis does not sell marijuana and marijuana products to a person that is already intoxicated.

In the event a non-employee/agent of the company needs to go in a restricted access area, the company visitor policy will be adhered to. A visitor will need to show their valid photo identification, and obtain a visitor badge, to be worn and clearly displayed at all times while visiting the restricted access areas. All visitors must be pre-approved by either the Licensees or management (with the exception of AMCO agents, and law enforcement) - there should be no un-scheduled and un-expected visitors. To maintain the security of the facility and all marijuana products, access to the facility will be monitored and restricted at all times. Access will only be granted to employees and licensees, AMCO agents, law enforcement and the limited exception of scheduled pre-approved visitors. Additionally, Country Cannabis' exterior signage will indicate that any members of the public are not allowed unescorted access and will be clearly displayed on the door. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt access.

Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?

No – Country Cannabis' retail establishment has a security system and plan, diversion control policies, loitering check plan for the retail facility.

The facility is a commercial retail facility and will only allow access to those who are at least 21 years of age or older. No persons will be allowed access to any marijuana or marijuana products at any time.

- ✓ All marijuana and marijuana products will be displayed in locked display cabinets for customers to view. The area behind the cabinets will be a restricted access area and signage will be displayed accordingly. Employees will open the cabinet from within the restricted access area and place product into exit packaging at the cash register before handing it to

the customer. Once a customer's transaction is complete, they will be instructed by an employee to exit the store as shown in the premises diagram.

- ✓ In order to ensure Country Cannabis will only allow access to persons over the age of 21, the retail establishment will check the ID of every person who enters the retail store. Anyone under the age of 21 or who does not produce a valid form of photo ID issued by a federal or state agency authorized to issue ID cards will be asked to leave the premises. Any employee checking ID's will have a valid marijuana handler permit and be trained to recognize altered/forged photo ID's.

Additional protections to ensure the prevention of any negative impact on the public health, safety, convenience, and welfare:

✓ The facility will be equipped with a 24-hour monitoring alarm system, exterior motion detecting lighting and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with the exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. All visitors must be preapproved by either one of the Licensees or management (with the exception of AMCO agents, and law enforcement). To maintain the security of the facility and all marijuana products, access to the facility will be monitored and restricted at all times. Access will only be granted to employees and licensees, AMCO agents, law enforcement and the limited exception of scheduled pre-approved visitors and those customers over the age of 21. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt unauthorized access.

✓ On-site video surveillance will continuously monitor all areas of the premises where marijuana is present, including areas where marijuana packaged, sold, and stored. Employees will perform mandatory inventory counts each week, check counts against METRC records, and document the reports as official business records. Country Cannabis will not tolerate any theft and diversion, and all employees will complete mandatory training in recognizing such activity. Country Cannabis' management team understands that diversion can happen in two ways - inversion and diversion - and is equally profitable diverting product out of the legal system as it is diverting product from the illegal system into the legal market. In the event that an employee is caught stealing marijuana, OR infusing the facility with non-regulated black-market product, Country Cannabis will notify local law enforcement immediately, comply with all directives, and provide all necessary information and records for the investigation. Ownership will take the necessary steps to ensure that illegal conduct by an employee does not compromise the facility's license and legitimate business operations. Once a theft is reported, ownership will update the product records in the tracking system, as needed, to maintain an accurate and comprehensive accounting for all marijuana products and inventory. Ownership will comply with all inquiries and investigations lodged by AMCO as a result. Documentation related to marijuana theft will be maintained as a

business record for five (5) years and made available to AMCO upon request. Video recordings will be stored for forty (40) days. Cameras will provide a full view of the grow areas, entryway, safes, money counting areas, and product packaging areas. Security monitors and video recording equipment will be located onsite.

✓ Qualified candidates will be hired on a probationary period during which time they will receive training and evaluation specific to their position. Training will include marijuana industry topics; customer care, food handling, safety precautions and procedures; legal issues; and state, local, and federal regulations. Training will take place throughout the year, as well as when topics arise that need further explanation. Sarah and Jennifer will personally present training and education to employees. Within the probationary period, all new employees will be required to meet with Sarah or Jennifer to learn the company's business approach and to adopt the standard of service. Educational packets will be provided to each retail employee to be read and review. The educational packets will discuss relevant cannabinoids in the marijuana plant, strain ratios, marijuana benefits and risks, and general Alaska marijuana law. Packets will also include safety procedures that specifically address the facility's security measures and controls for the prevention of diversion, theft, and loss of marijuana such as emergency response procedures and state and federal statutes regarding confidentiality. As proper safety and security procedures are of the utmost importance to Sarah and Jennifer, the most up-to-date reading materials will be available to employees at all times. Management will conduct quarterly staff meetings with the purpose of updating all employees on new state and local regulations, assuring that each employee is performing within company procedure, assessing any procedural changes that are needed, and addressing any comments or concerns from the staff. Prior to beginning work, employees will be expected to understand: (1) Alaska laws, regulations, and codes governing the marijuana industry and marijuana establishments; (2) all of the permitting requirements to act as a marijuana handler (including obtaining a Marijuana Handler card from a state approved course provider prior to commencing employment) and to work in a marijuana establishment; (3) Country Cannabis standards, operational protocol, and best practices with regard to retail and sale of marijuana; (4) general safety procedures and security protocol; (5) how to think defensively if threatening situations occur, and how to recognize the signs of impairment, drug abuse, and instability; (6) in-depth information about our particular strains and marijuana related products; (7) in-depth information on the requirements of each room, task, and system; (8) the general federal, state, and local employment regulations by which Country Cannabis, is governed; and (9) retail-specific education. To ensure full coverage for each position, all employees will be cross-trained on the requirements of each job

✓ Country Cannabis will have a "No Loitering" sign clearly posted on the exterior of their facility. If an employee suspects that a person is loitering outside the licensed premises, they will be given a verbal warning that law enforcement will be notified and asked to leave the premises. Trained employees will maintain regular periodic checks around the property to deter any unauthorized entrance or loitering around the facility. Motion detectors will be rigged to the exterior lighting system, in addition to the stationary lights, to allow for additional security measures during closed

hours and provide extra lighting for all surveillance recordings. Both stationary and motion sensitive exterior lighting will be shielded and downward directional to mitigate any unwanted light pollution to neighboring properties. The facility's architectural design incorporates downward lighting into the canopies that will project light on to the building and downward. There will also be light poles to illuminate the parking area, again the light poles lighting units will be shielded and directed in a downward fashion. This is all congruous with the highway commercial corridor. The alarm system will monitor for intrusions with motion detectors on all access points to the licensed facility, office, and secured storage structure during closed hours. Live security footage will also be accessible to Sarah and Jennifer or the manager via their cellular phones, so they may keep an eye on the facility even when they are away. Any unauthorized or attempted intrusion will prompt an automatic, electronic alert to the security company who will then contact local law enforcement and ownership. All alarm systems and devices will be tested every six (6) months.

Are there sufficient setbacks, lot area, buffers and other safeguards being provided?

As described above, Country Cannabis is located within a 0.88-acre parcel. This application and the layout of Country Cannabis meets the required setbacks, buffers, and lot area. The entire retail operation is enclosed in a commercial grade building.

There will be plenty of onsite parking developed on the site for this use.

The facility has incorporated all measures to reduce the negative effects of the surrounding properties including but not limited to natural landscaping screening, large setbacks, and a timeless architectural design to continue an appearance similar to the surrounding businesses off the Parks Highway.

The facility will not produce any noise pollution and has an odor control method in place. A robust security plan and no loitering policy will be implemented and thoroughly communicated to all employees. Additional safeguards include the following:

✓ The lighting fixtures will be positioned at an inaccessible height with sturdy housings to deter vandalism and common obstructions. The bulbs will be extremely bright to maximize visibility and deter crime. The exterior lighting will be checked daily by the licensees or manager on duty to ensure that each light in the system is operational, and that each mount is positioned for optimum recording clarity and to deter unauthorized presence on the premises. The buildings architectural design incorporates downward lighting into the canopies that will project light on to the building and downward direction to prevent light from encroaching to neighboring property. There will also be light poles to illuminate the parking area.

✓ A third-party security company will install the alarm system and to monitor the electronic notifications in the event the alarm is triggered 24/7. The installation company will periodically come and check and maintain the equipment.

Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use of this section?

Yes.

Describe measures being taken to prevent potential negative effect upon other properties in the area due to such factors as noise and odor.

The proposed use will have limited noise compared to adjacent properties. Country Cannabis does not anticipate any noise to come from the retail facility, and if any noise is to be produced it will be comparable to surrounding land uses. The roads that serve the facility and surrounding uses do not appear to be used currently to their maximum capacity, therefore, any increase in traffic flow on the roads serving the area will be sufficient to serve the area with this new proposed retail use.

Sarah and Jennifer will abide by a strict no odor policy per MSB 17.60.150(A)(1) that will ensure no odor is detectible by the public from outside the facilities as required by 3 AAC 306.420(a)(2)(F) and 3 AAC 306.430(c)(2). This use is a retail establishment and should not have any issues with odor seeping out from the retail to the outside air. However, in abundance of caution, odor control methods will be utilized and will consist of a number of methods meant to eliminate odors by utilizing methods including sealed containers and air sanitizers throughout the building and when transporting marijuana to/from the premises. All marijuana at the retail facility will be either pre-packaged in smell proof packaging for sale, deli style enclosed jars that are only opened to take product out for sale to a customer and is repackaged prior to exiting the facility, or in enclosed jars in small amounts for customers to smell. Country Cannabis does not anticipate any odor from its retail facility.

Describe how use is compatible with the character of the surrounding area.

The facility is compatible with the character of the surrounding area as it borders on a largely commercial corridor, with other existing businesses, and not much residential nearby. There are also some vacant land parcels nearby that have yet to be developed. The business/industry character of the surrounding parcels and uses are a good fit for the retail store.

Current status of State License Application Process.

The Application has been deemed complete by the alcohol and marijuana control office and is scheduled for the April 2020 Marijuana Control Board quarterly meeting.

Misc. Items and Information.

Please see attached parking layout diagram, which complies with MSB 17.60.170(B) and (C).

Proposed hours of operation for the retail store shall be 8am to 12 am Monday-Sunday.

Drainage – it is our understanding that when the Borough took over this portion of Trunk road (approx. 2016), the Borough installed the landscaping and the two-foot apron (entrance from the highway to the driveway). We believe drainage is sufficient, we have no reason to believe otherwise, but the Borough has indicated it will inspect the drainage at the driveway to during break-up this spring to see if any additional drainage improvements are needed. The property is up on elevated land, reducing the need for additional drainage. Currently, the water runs into the ditch that was built by the Borough. *Attached* is the driveway permit filed by the applicants, and the review of which resulted in the applicants being informed of the information contained in this paragraph.

Employees - Number of employees on site for the retail will be between 3-5, depending on the customer flow and shifts.

Thank you for your consideration of this conditional land use application.

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MATANUSKA-SUSITNA BOROUGH

**Planning and Land Use Department
Development Services Division**

350 East Dahlia Avenue, Palmer, Alaska 99645
(907) 861-7822 Fax (907) 861-8158
E-mail: PermitCenter@matsugov.us

Matanuska-Susitna Borough
Permit Center

FEB 27 2020

Received

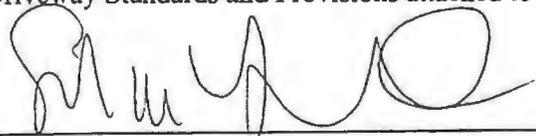
Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: 24385

Property Owner (Name):			Applicant/Agent (Name):		
Doug Olson			Sarah Lorimer		
Mailing Address:			Mailing Address:		
PO Box 876232			same		
City:	State:	Zip:	City:	State:	Zip:
Wasilla	AK	99687			
Phone:		Fax (optional):	Phone:		Fax (optional):
907-947-8181					
Email (optional):			E-mail (optional):		
sarah@countrycannabisak.com					
Site Address:			Driveway Location Will Be Marked With:		
2323 S Trunk Rd			Existing		
Property Tax ID #:			Expected Completion Date:		
7432000L011A					
Applying for Access Onto:		IF ACCESS IS ONTO A PAVED ROAD, APRON LENGTH TO			
S Trunk Rd		BE 2' MINIMUM			

The Permittee certifies that he/she is the owner, lessee, or authorized agent of the property, that the conditions, restrictions and regulations of the borough will be complied with and that he/she will maintain the driveway in accordance with the provisions and standards attached to this permit, and any applicable code. I hereby certify that the information submitted on this application is complete and accurate to the best of my knowledge and that I am the applicant or agent of the same as stated in the attached documentation. By signing this permit I acknowledge and agree to accept the Driveway Standards and Provisions attached to this permit.

PERMITTEE: 
Signature of Permittee

DATE: 2/27/20

PERMIT GRANTED BY: _____
Borough Representative

DATE: _____

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Owner Permission Letter for Use and Occupancy of Premises

Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue
Palmer, Alaska 99645

Re: Country Cannabis, LLC. DBA: Country Cannabis. – 2323 S. Trunk Road., Palmer, AK
99645

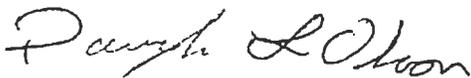
Dear Planning Office,

I, Douglas L. Olson, hereby grant permission for Country Cannabis, LLC., dba Country Cannabis to lease and use my property located at 2323 S. Trunk Road., Palmer, AK 99645 as a marijuana retail establishment. I am aware that Country Cannabis will be commercially selling marijuana on this property once a license is granted by the Alcohol & Marijuana Control Board.

I authorize Jana Weltzin and her firm of JDW, LLC, and Sarah Lorimer and Jennifer Johnston to take all necessary actions to apply for and obtain one (1) conditional use permits for the operation of a marijuana retail store of the property owned by Douglas L Olson located at Meadow VLY ADD 1 RSB L/11 LOT(S): 11, 12 & 13A, commonly known as 2323 S Trunk Road, Palmer, Alaska 99645.

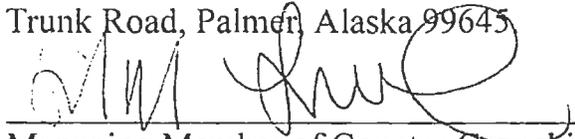
If you have any questions regarding this correspondence, please feel free to contact me.

Sincerely,

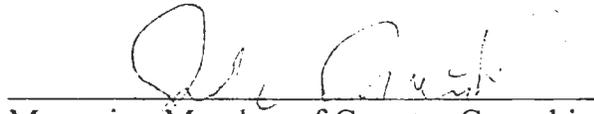


Douglas L. Olson

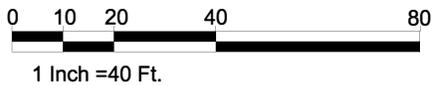
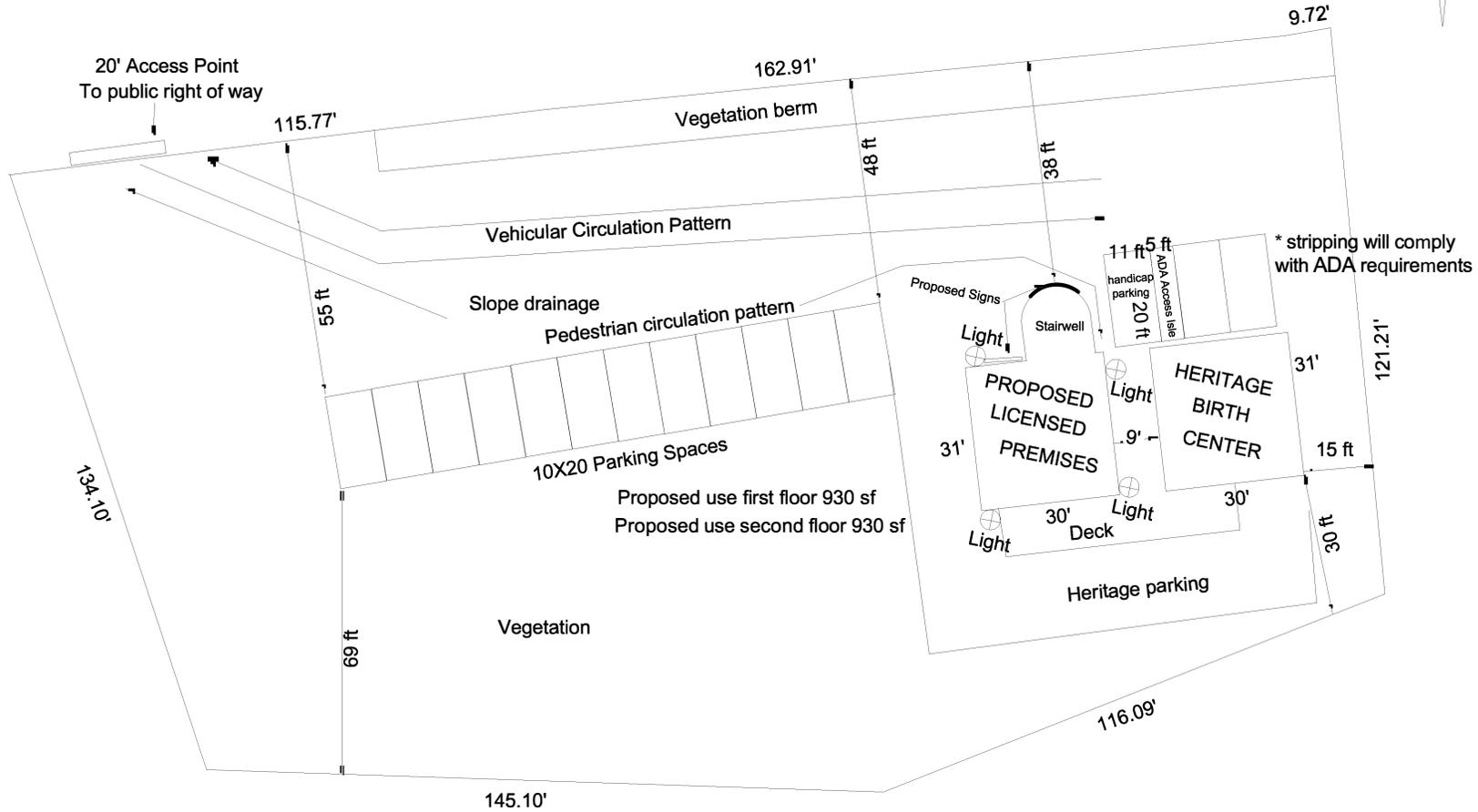
As managing member of Country Cannabis, LLC, I authorize Jana Weltzin and her firm of JDW, LLC to take all necessary actions to apply for and obtain one (1) conditional use permits for the operation of a marijuana retail store of the property owned by Douglas L Olson located at Meadow VLY ADD 1 RSB L/11 LOT(S): 11, 12 & 13A, commonly known as 2323 S Trunk Road, Palmer, Alaska 99645



Managing Member of Country Cannabis, LLC
Sarah Lorimer



Managing Member of Country Cannabis, LLC
Jennifer Johnston



Received by
 Mark Whisenhunt
 On April 2, 2020

COUNTRY CANNABIS	
2323 S. TRUNK RD. PALMER ALASKA LICENSE # 24049	
DWG TITLE:	SITE PLAN
SHEET	OF

Country Cannabis' store location is directly above Float Alaska. The entry of this business is located in a separate building with the only access being through an underground tunnel. There is no access to Float Alaska from Country Cannabis' retail store. See Image Below:



image-2.PNG

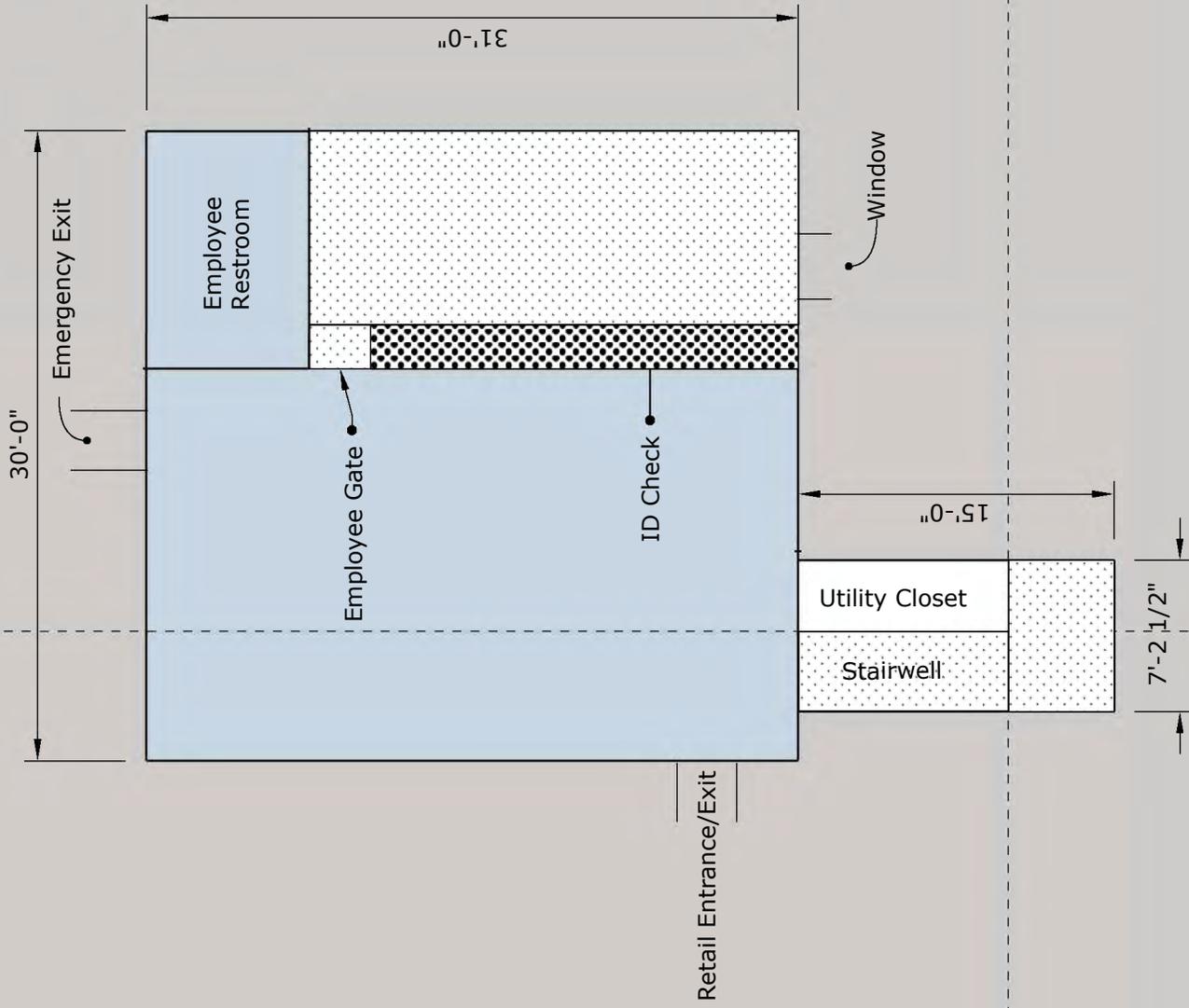


Proposed Signage Sign #1



Proposed Signage # 2

Diagram #1 First Floor



First Floor
Scale: 1/8" = 1'

Received By
Mark Whisenhunt
On March 27, 2020

Diagram #1 Second Floor
30'-0"



Legend



Restricted Access

31'-0"

Surveillance Storage

Employee Restroom

Window

Window

Window

Stairwell

Record Storage

MJ Storage

Second Floor

Scale: 1/8" = 1'

Received By
Mark Whisenhunt
On March 27, 2020

Legend

- Roads
- 1,000' Buffer
- Country Cannabis
- Parcels



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susena Borough GIS Division at 907-861-7801

Date: 3/2/2020

1 inch = 350 feet

0 350 700



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**INTRODUCTION FOR PUBLIC HEARING
LEGISLATIVE**

Resolution No. PC 20-15

Amending the Definition of Encroachment in
MSB 11.10.010(A)(1)
And
MSB 17.23.150 Port Development Permit Required

Page 203 - 228

INTRODUCTION FOR PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Community Development Department

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7869 • Fax (907) 861-8635

E-mail: lmb@matsugov.us

MEMORANDUM

DATE: April 22, 2020
TO: Matanuska-Susitna Borough Planning Commission
THRU: Eric Phillips, Community Development Manager
FROM: Emerson Krueger, Land Management Specialist
FOR: Legislation amending the definition of Encroachment and amending when a Port Development Permit is Required, Agenda of May 18, 2020

REQUEST:

The Community Development Department seeks review and support from the MSB Planning Commission on the proposed amendment to the definition of “Encroachment” in MSB 11.10.010(A)(1) and the amendment of when a Port Development Permit is required under MSB 17.23.150.

SUMMARY:

The intent of this legislation is to streamline borough permitting requirements for development on borough-owned land.

The amendments were developed in coordination with the Community Development Department, the Planning and Land Use Department and the Port Manager.

DISCUSSION:

The Land and Resource Management Division adjudicates permits under MSB 23 for the use and development of borough-owned land.

Two instances of MSB organizational overlap have been evaluated by staff to determine how to streamline the permitting process for:

1. MSB 11.10, Encroachment Permits, includes a permit requirement for any encroachments built on Borough-owned land. This is in addition to the permit requirement under MSB 23.05. Staff determined that encroachments on Borough-owned land can be adequately addressed in the permitting process required under MSB 23.05.
2. MSB 17.23.150, Port Development Permit, includes a requirement for a port development permit for any use or development of land within the Port District. This is a duplicative

permit requirement when development in the Port District also requires a permit under MSB 23.05.

Exempting development and use of land in the Port District already permitted under MSB 23.05 will streamline the port development permitting process. This exemption will not apply to use or development on leaseholds, right-of-way, or land owned by another owner. The permit exemption will only apply to use or development of Borough-owned land permitted under MSB 23.05.

The Land and Resources Management Division Policy and Procedure Manual, Part 50: Permits, will be updated to include an application review requirement for a permit issued under MSB 23.05 within the Port District, to follow the same review process as a Port Development Permit issued under MSB 17.23.150.

Approval of the proposed amendments and update will better serve the public through streamlining the permitting requirements for use and development on Borough-owned land.

RECOMMENDATION:

Staff respectfully recommends the Planning Commission adopt a resolution of support recommending Assembly adoption of the legislation to amend Titles 11 and 17, and the Land and Resources Management Policy and Procedures Manual, Part 50: Permits.

Attachments:

Land and Resources Management Policy and Procedures Manual, Part 50: Permits (12 pp)

Draft Assembly Resolution Serial No. 20-034 (2 pp)

Draft Assembly Ordinance Serial No. 20-035 (4 pp)

Planning Commission Resolution Serial No. 20-15 (2 pp)

**TITLE 23
LAND AND RESOURCE MANAGEMENT DIVISION
POLICY AND PROCEDURE MANUAL**

PERMITS
PART 50

1.1 Authority: 23.05.030
23.10.100

2.1 A permit is an authorization for the temporary use of borough land, assets or the taking, of a specified borough-owned resource. It conveys no right in the land and is essentially a guarantee that so long as the activity is conducted under the terms of the permit the holder of the permit is immune from prosecution for trespass. It does not constitute waiver of any federal, state, or borough laws or regulations. A permit is, by its terms, revocable at will by the borough.

2.2 Permits will not be required to cross borough lands by use of historic or dedicated trail systems, public access or use easements and rights of way for non-commercial purposes. Any commercial use or associated use requires a permit through Land & Resource Management.

A. A historic trail system means trails listed in Alaska Statute 19.30.400(d), the R.S. 2477 trails recognized by the State of Alaska. A dedicated trail system means a system of trails on borough-owned lands within recorded easements, or developed and maintained trails within a dedicated park such as Talkeetna Lakes Park, Settlers Bay Park, etc.

B. Permits are not required for activities covered under Part 31, Generally Allowed Uses, on land where such uses are allowed.

2.3 Commercial use of trails requires a permit and fee as established by the MSB adopted fee schedule.

2.4 Where the activity is a duration of five (5) years or less, a permit is the appropriate document.

2.5 A permit conveys no interest in the land. It is the borough’s policy that a permit may not exceed five years in length. The permit will not be renewed, but it may be reissued upon application by the permit holder. All permits are revocable immediately with cause. Permits are revocable without cause

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upon a thirty-day notice unless otherwise provided in this policy. Permits are not transferable. A written permit is issued on a borough permit form and covers activities and time requested by the applicant.

- 2.6 “Cause” as stated in paragraph 2.4 means any violation of applicable borough code, statutes, regulations or permit stipulations, or a situation in which a continuance of the activity poses a threat to public health, safety, or welfare.

- 2.7 “Special use” is a designation indicating that certain land and asset uses are prohibited or limited. For instance, even though snow machining can be a generally allowed use, it may be necessary to restrict the activity in certain areas. This can be done by designating the conditions of a use area. Other actions may serve to restrict permits. For instance, a commercial salvage timber sale would serve to close the area to generally permitted activities for the duration of the sale. A classification action could prohibit a number of otherwise permitted activities and generally allowed uses.

- 2.8 All applicants for permits must meet the qualified applicant requirements of MSB 23.10.090.

- 2.9 Personal intermittent use permits may be issued to a parent or legal guardian, for the benefit of a minor child, provided the individual assumes all risks and responsibilities for the activities of the minor, accompanies the minor during activities on borough lands, pays the scheduled fee, and if applicable, also holds an individual permit.

- 3.1 Permits may be issued for use of borough real property for a period not to exceed five (5) years under the following categories and the accordance with adopted procedures for each.
 - A. **PERSONAL INTERMITTENT USE**, which is defined as uses of a non-commercial, non-exclusive nature of short duration, is authorized on unimproved borough lands lying outside of special use or management areas not needing permits, or within special use or management areas in accordance with adopted procedures for that specific area.
 - 1. The conduct of any such personal intermittent use activity brings with it several responsibilities on the person under-

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taking the activity including assumption of all liability for their actions and acquisition of all other permits or authorizations required by law or regulation.

2. The use must be of an occasional, infrequent, or intermittent nature, and at no time exceeding 14 consecutive days or 30 days in a 12 month period. The borough reserves the right to limit duration of use.
- B. PUBLIC USE CABIN PERMITS may be issued for the use of designated cabins located on borough owned land.
1. The permits may be issued only to a person 18 years of age or older for a specific period of time.
 2. The permittee shall disclose the total number of persons in the group using the cabin. Cabins may be restricted to a maximum number of occupants.
 3. An individual will be permitted to use a particular cabin no more than 7 consecutive days or 21 total days in a 12 month period.
 4. Permits will authorize use from 12 noon of the check-in date to 12 noon of the check-out date.
 5. The permittee may exchange the date of use to another available date if done so at least 5 days in advance.
 6. Reservations for cabin use will not be made without the completed cabin use permit application being submitted to, and accepted by, Land and Resource Management.
 7. The permittee shall be required to sign and agree to the regulations, terms, and conditions included in the cabin use permit application.
- C. DESIGNATED SPECIAL USE AND MANAGEMENT AREA PERMITS may be issued for the use of borough land within a special use or management area in accordance with adopted procedures

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and best management practices for the specific area.

1. Special use/management areas include:
 - a. borough park system lands
 - b. fish and game sanctuaries
 - c. refuges
 - d. critical habitat areas
 - e. Deshka River area
 - f. Palmer Hay Flats area
 - g. Natural Resource Management Units
 - h. Hatcher Pass
 - i. Port MacKenzie Port District
 - j. Port terminal building
 - k. Wetland mitigation bank lands
 - l. any other lands designated by federal, state, or borough as special use/management areas

- D. LAND USE PERMITS may be issued for either commercial or non-commercial purposes when it is found to be in the best interest of the borough to do so. In general, an application for a land use permit may be submitted when the use or activity cannot be authorized under another category of permit provided for in this section or MSB 11.10 (encroachment permits, including construction).
 1. All land use permits are subject to the following provisions unless inapplicable by the type of use or activity or by additional restrictions required in the permit issued:
 - a. Permitted activities employing wheeled or tracked vehicles shall be conducted in such a manner as to minimize surface damage.
 - b. Existing roads and trails shall be used wherever possible. Existing trail widths shall be kept to the minimum necessary. Trail surface may be cleared of down and dead timber, stumps, and snags. Due care shall be used to avoid excessive scarring or removal of ground vegetation cover.

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- c. All activities shall be conducted in a manner that will minimize disturbance of drainage systems, changing the character, polluting, or silting of streams, lakes, ponds, waterholes, seeps, and marshes, or disturbance of fish or wildlife resources. Cuts, fills, and other activities causing any of the above disturbances, if not restored immediately, are subject to any corrective action as may be required by the borough manager.
- d. The manager may prohibit the disturbance of vegetation within 300 feet of any waters located in specially designated areas except at designated stream crossings.
- e. All activities shall be undertaken in a manner which causes the least possible interference with any other authorized and generally permitted use of borough land.
- f. Trails and campsites shall be kept clean. All garbage and foreign debris shall be eliminated by removal and complete burning unless otherwise authorized.
- g. All survey monuments, witness corners, reference monuments, mining claim posts, and bearing trees shall be protected against being severed, removed, damaged, or destroyed. Any severed, removed, damaged or destroyed markers shall be re-established in accordance with accepted survey practices of the division at the expense of the party causing the severing, removal, damage or displacement, if known.
- h. Every reasonable effort shall be made to prevent, control, or suppress any fire in the permitted area. Uncontrolled fires shall be immediately reported to appropriate fire officials and the land and resource management division.
- i. Holes, pits, and excavations shall be filled, plugged, or

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repaired. Holes, pits, and excavations necessary to verify geo-technical data or discovery on prospecting sites, mining claims, and mining leasehold locations may be left open, but shall be maintained in such a manner as to minimize erosion and siltation, and shall be consistent with public safety and welfare.

- j. No person may engage in mineral exploration activity on land open to such use, the surface of which has been granted or leased to third parties by the borough, or on land in which the borough has received the reserved interest of the state of Alaska, until good faith attempts have been made to agree with the surface owner or surface lessee on a settlement for damages which may be caused by such activity. If agreement cannot be reached or the surface lessee or surface owner cannot be located within a reasonable time, operations may be commenced on the land only after specific approval by the manager, and after making adequate provisions for full payment of any damages which the surface owner or lessee may suffer.
2. A permit may authorize exclusive use. An exclusive use permit may be revoked at any time by the borough as it deems necessary.
3. Permanent structures are prohibited by a permit. Thus, any structure placed by a permittee must be readily removable. The permittee must be aware that no right nor title to the land is gained by placing an improvement on the land. A permit holder usually will be required to remove any improvements and restore the area upon termination of the permit.
4. Review by non-borough agencies of permit applications is not required except for areas under jurisdiction shared with other agencies. If the activity requested is of a nature as to have substantial impact on the resources of the area or presents a possibility of interference with another agency's responsibilities, then the issuing office is responsible for contacting that agency for its comments prior to issuance of

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the permit.

5. It is the policy of the borough to periodically field inspect permits, especially prior to term expiration; however, such inspections are limited depending on the necessity, permit location and availability of personnel and fiscal resources to adequately perform the inspection. Inspection priority will be given to those permits with the greatest potential for creating management problems or where misuse of the permit may result in the greatest environmental damage. For these, regular inspections shall be scheduled. The expertise of other agencies will be requested in all field inspections, when necessary.
6. In cases where the activity may alter the land surface, such as the removal of trees or other materials for a campsite, the borough may require a bond or damage deposit prior to issuance of the permit in an amount which will ensure proper restoration after use of the land is no longer needed. The bond amounts will vary depending on the type of activity. The permittee's liability will be released and the permit processed for closure only after the land has been restored to the borough's satisfaction.
7. It is the policy of the borough that the permittee agrees to indemnify, hold harmless and defend the borough, its assembly members, officers, agents and employees from all liability, including costs and expenses, for all actions or claims resulting from injuries or damages or economic loss sustained by any person or property arising directly or indirectly as a result of any error, omission, or anyone directly or indirectly employed by them, arising from the permittee's use, occupancy or performance under or in association with the permit.
 - a. Without limiting the permittee's indemnification, the permittee shall purchase at its own expense and maintain in force at all times during the term of the permit, the insurance limits required by the Borough.

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8. Applications for a land use permit within the Port District will be routed for review similar to an application for a Port Development Permit issued under MSB 17.23.150.

E. Roving Vendor Permits may be issued annually to a person who commercially offers food, goods or services to the public, with or without the use of a motor vehicle, from one or more locations on public property or from no fixed location at all.

1. It is unlawful for any person to engage in the business of a roving vendor in a manner that is inconsistent with the terms of a permit issued pursuant to this chapter.
2. Roving Vendor Permits are non-transferrable.
3. The permittee shall specify on the application the name of the vending business, the name of the owner and operators, home and business address and telephone numbers of the owner.
4. The permittee shall provide a complete description of the equipment to be used for display, storage or other purposes related to the business to be conducted pursuant to the desired license, to include a description of every vehicle or trailer to be used, and all distinctive markings and signs;
 - a. Proof that the applicant has obtained a state and a borough business license in the applicant's name and the name of the business to be conducted pursuant to the desired license;
 - b. A complete description of the types of goods and services that shall be offered under the desired license and an application fee;
 - c. Proof of state vehicle registration and of insurance as required by state law to include insurance coverage of each vehicle to be used in the vending business.
5. Notwithstanding the provisions of this chapter, the director of the Community Development Department shall regulate all activities by vendors on those borough lands and facilities managed by the parks and recreation division.

- 4.1 Permits, authorized under paragraph 2.4, may be issued for public utility facilities across borough real property for a period not to exceed five (5) years when it is in the best interest of the borough to do so.

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The applicant must demonstrate that it is in the best interest of the borough to issue a permit instead of an easement.

5.1 Personal use permits may be issued for a period not to exceed one year in designated areas based on the established fee schedule.

- A. The permits are non-assignable.
- B. Cordwood is limited to ten cords per household per calendar year.
- C. Gravel and other earth material is limited to one hundred cubic yards per household per calendar year.

6.1 Following is the procedure for issuance of permits:

- A. The application on a form issued by the borough and required application fee (if any) is submitted to the borough and reviewed for accuracy and completeness.
- B. If the application is for a personal intermittent use or public use cabin permit, a determination will be made if the applicant meets qualified applicant status, the lands available for personal intermittent use or public use cabin will be identified to the applicant, the fee will be accepted and the permit issued.
- C. All other permits will be processed as follows:
 - 1. Land status is checked for borough ownership and for any reservations or prohibited uses and to determine if the area is subject to coastal zone regulations. The application will be rejected if the existing classification is inconsistent with the proposed use. The land need not be classified, if it is unclassified at the time of application.
 - 2. If the application is for use of lands under the jurisdiction of another agency (i.e. parks, sanctuaries, or ILMA's) it is forwarded to the appropriate agency for action and the applicant is notified.
 - 3. The application if proper is accepted by the manager and is then given a MSB case number. It is then filed in a permit file which is kept by township, range, and section with a

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cross index to the name of the applicant.

A request for interdepartmental review of the application will be prepared and routed for the purpose of identifying problems or conflicting plans which other borough departments may have with the proposed permit or area of use. If the property is located within a community council area, a request for review similar to the interdepartmental review package will be prepared and provided to the council.

4. Any proposed use which may be potentially damaging to the environment or hazardous to the health, safety or welfare of the public must be carefully reviewed. Discretion should be used when coordinating with other agencies which, by law or other authority, share jurisdiction over the use. Examples of these types of activities include storage of flammable or explosive materials, activities in zones of suspected geological hazards, use of a material site for target practice, and activities which may significantly affect anadromous fish habitat.

Review and approval by the appropriate agency is mandatory when the activity applied for is within a game refuge, critical habitat area, coastal management zone, or other area designated "special use."

In cases where the application is sent to other agencies, the applicant is notified that additional review time will be required. The applications forwarded to the appropriate agency for review with a request for response within 15 working days. If agency review is mandatory, no permit will be issued without concurrence and failure of the agency to respond must be deemed non-concurrence. Where a review is elective, the notice will give the agency 15 calendar days to respond, and a non-response will be deemed a non-objection. Comments are reviewed and appropriate special conditions added to the permit.

5. The permit is either issued, denied or the review period extended within a 30 day period. The permit or

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application denial is signed by the manager or his designee with any necessary stipulations or conditions.

6. If the application is denied, the applicant must be informed of the reason for denial. The applicant then has the right to reconsideration of such denial according to MSB 23.05.090.
7. The user fee is collected. It is not effective until signed by the applicant and returned to the office issuing the permit, with the user fee and bond or other security if required, and signed by the authorized officer. The applicant's failure to sign and return the permit within 30 days of receipt constitutes their rejection of the conditions of the permit.
8. A copy of the issued and signed permit will be filed in the TRS file.
9. A permit may be revoked or altered by serving notice directly upon the permittee. If the revocation is pursuant to a special use designation per paragraph 2.6 above, the revocation is not effective until 30 days after notice of the designation has been published.
10. A notice revoking a permit under paragraph 2.5 of this section shall be signed by the manager. The notice shall be sent by certified mail, return receipt, and shall be considered delivered when postmarked or when receipted by permittee if delivered by hand.
11. Normally, a field inspection must be conducted as a condition of releasing a bond or security deposit. If the inspection indicates that the activity violated the stipulations of the permit, the permittee shall be given an appropriate length of time to take corrective action. If subsequent inspections indicate that the permittee remains in violation, the bond shall be revoked and the monies used to minimize adverse effects.
12. A permittee may be given up to 30 days to remove any improvements and do site restoration work. At his

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discretion, the manager may extend this time period due to adverse weather conditions or any extenuating circumstances. Failure to remove any improvements or to restore the site may result in filing a civil or criminal complaint or both by the borough attorney.

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Land & Resource Management Policy & Procedures (PPM)
The code authority cited is specific to this policy and procedure.
Other provisions of code may also apply.

Effective:
Reso:

Action:

**MATANUSKA-SUSITNA BOROUGH
RESOLUTION SERIAL NO. 20-034**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY AMENDING PART 50, PERMITTING, OF THE LAND AND RESOURCE MANAGEMENT DIVISION POLICY AND PROCEDURES MANUAL.

WHEREAS, staff have identified overlap in the permitting requirements for use and development of Borough-owned land in MSB Titles 11, 17, and 23; and

WHEREAS, this current resolution shall supersede all prior Matanuska-Susitna Borough legislation with regard to the adopted Land and Resource Management Division Policy and Procedures Manual, be it by ordinance, resolution, or otherwise, until superseded by a future Assembly Resolution; and

WHEREAS, the updated Policy and Procedures Manual includes a new review requirement for an application for a land use permit, within the Port District, to follow the same review process as an application for a Port Development Permit; and

WHEREAS, this change, along with the associated amendments in the accompanying ordinance, will eliminate the duplicative permit requirement on Borough-owned land within the Port District when both a Port Development Permit and a Borough Land Use Permit are required.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Assembly hereby amends and adopts the Land and Resource

Management Division Policy and Procedures Manual, Part 50, as written.

ADOPTED by the Matanuska-Susitna Borough Assembly this - day of -, 2020.

VERN HALTER, Borough Mayor

ATTEST:

LONNIE R. McKECHNIE, CMC, Borough Clerk

(SEAL)

CODE ORDINANCE

Sponsored By:
Introduced:
Public Hearing:
Adopted:

**MATANUSKA-SUSITNA BOROUGH
ORDINANCE SERIAL NO. 20-035**

AN ORDINANCE OF THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY AMENDING THE DEFINITION OF ENCROACHMENT IN MSB 11.10.010(A) (1) AND AMENDING 17.23.150 PORT DEVELOPMENT PERMIT REQUIRED.

WHEREAS, the Community Development Land and Resource Management Division was created to manage the use and development of Borough-owned land; and

WHEREAS, the Planning and Land Use Development Services Division has been issuing encroachment permits for development on Borough-owned land in accordance with the definition of "encroachment" in MSB 11.10.010(A); and

WHEREAS, through amendment of MSB 11.10.010 (A), limiting the number of departments responsible for permitting development and use of Borough land will simplify the permitting process, streamline government, and improve oversight; and

WHEREAS, there is a duplication of permit requirements within the special use port district wherein both a Port Development Permit and a Temporary Land Use Permit are required under MSB 17.23.150(A) and MSB 23.10.100 respectively; and

WHEREAS, exempting the use and development of Borough-owned land from the Port Development Permit requirement will simplify

the permitting process, streamline government, and reduce the cost of development in the Port District; and

WHEREAS, the application process for a Temporary Land Use Permit for Borough-owned land will be updated to include the Port Development Permit review requirements when an application is submitted for use or development of Borough- owned land within the Port District.

BE IT ENACTED:

Section 1. Classification. Sections 2 and 3 of this ordinance are of a general and permanent nature and shall become part of the Borough Code.

Section 2. Amendment of subsection. MSB 11.10.010(A) is hereby amended as follows:

(A) "Encroachment" means

(1) any structure, object, material or physical disturbance of materials, including but not limited to, driveways, culverts, road repairs, wells, septic systems, drainage, and all types of structural improvements within, extending over or under:

(a) the borough's public right-of-way;

(b) a public easement;

(c) property dedicated to a public use

which is operated or maintained by the borough; or

[(d) LAND OWNED BY THE BOROUGH.]

Section 3. Amendment of subsection. MSB 17.23.150(A) is hereby amended to read as follows:

(A) All development and use of land authorized within the special use district shall require prior authorization by issuance of a port district use permit from the borough manager or designee. Other permits or authorization may be required for specific uses or development.

(1) Maintenance activities are exempt from the requirement to obtain a port development permit.

(2) Use and development of Borough-owned land authorized under a Temporary Land Use Permit regulated under MSB 23 is exempt from the requirement to obtain a Port District use permit.

Section 4. Effective Date. This ordinance shall take effect upon adoption.

ADOPTED by the Matanuska-Susitna Borough Assembly this ___ day of _____, 2020.

VERN HALTER, Borough Mayor

ATTEST:

LONNIE R. McKECHNIE, CMC, Borough Clerk

(SEAL)

By: Emerson Krueger
Introduced: May 18, 2020
Public Hearing: June 1, 2020
Action:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 20-15**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION RECOMMENDING ASSEMBLY ADOPTION OF AN ORDINANCE AMENDING THE DEFINITION OF ENCROACHMENT IN MSB 11.10.010(A)(1) AND AMENDING 17.23.150 PORT DEVELOPMENT PERMIT REQUIRED AND A RESOLUTION AMENDING PART 50, PERMITTING, OF THE LAND AND RESOURCE MANAGEMENT DIVISION POLICY AND PROCEDURES MANUAL.

WHEREAS, the Community Development Land and Resource Management Division was created to manage the use and development of Borough-owned land; and

WHEREAS, the Planning and Land Use Development Services Division has been issuing encroachment permits for development on Borough-owned land in accordance with the definition of "encroachment" in MSB 11.10.010(A); and

WHEREAS, through amendment of MSB 11.10.010 (A), limiting the number of departments responsible for permitting development and use of Borough land will simplify the permitting process, streamline government, and improve oversight; and

WHEREAS, there is a duplication of permit requirements within the special use Port district wherein both a Port Development Permit and a Temporary Land Use Permit are required under MSB 17.23.150(A) and MSB 23.10.100 respectively; and

WHEREAS, exempting the use and development of Borough-owned land from the Port Development Permit requirement will simplify the permitting process, streamline government, and reduce the cost of development in the Port District; and

WHEREAS, the application process for a Temporary Land Use Permit for Borough-owned land will be updated to include the Port Development Permit review requirements when an application is submitted for use or development of Borough- owned land within the Port District.

NOW, THEREFORE BE IT RESOLVED, that the Matanuska-Susitna Planning Commission hereby recommend Assembly adoption of the ordinance amending MSB 11 and 17 to remove the duplicative permitting requirements.

BE IT FURTHER RESOLVED, that the Planning Commission does hereby recommend Assembly adoption of the resolution amending the Land and Resources Management Policy and Procedures Manual, Part 50: Permits as presented.

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ADOPTED by the Matanuska-Susitna Borough Planning Commission
this ___ day of ___, 2020.

COLLEEN VAGUE, Chair

ATTEST

MARY BRODIGAN, Planning Clerk

(SEAL)

YES:

NO:

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LAND USE CLASSIFICATION

Resolution PC 20-11

Classifying Borough Lands For Competitive Land Bid (MSB007466)

Page 229 - 272

LAND USE CLASSIFICATIONS



MATANUSKA-SUSITNA BOROUGH

Community Development Department

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7869 • Fax (907) 861-8635
E-mail: lmb@matsugov.us

MEMORANDUM

DATE: March 23, 2020

TO: Matanuska-Susitna Borough Planning Commission

THRU: Eric Phillips, Community Development Director *EP*

FROM: Nancy Cameron, Land Management Agent *NSC*

FOR: Planning Commission Agenda of April 6, 2020
PC Resolution 20-11
Land Classification and Public Hearing (MSB007557)

Land & Resource Management respectfully requests Planning Commission review and recommendation to approve the land classifications of ten Borough-owned parcels for purpose of future public facility retention, and for transfer to the City of Wasilla, and for inclusion in the Spring Competitive Sealed Bid land sale.

To assist the Planning Commissioners in their review of the classifications, a Preliminary Best Interest Finding is attached to include property detail and site factors, review procedures, and proposed classifications. A parcel map overview and individual parcel maps are also included for reference.

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By: Nancy Cameron
Action:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. PC 20-11**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION RECOMMENDING TO THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY APPROVAL OF LAND CLASSIFICATION OF TWO PARCELS AS RESERVED USE FOR FUTURE FIRE STATION AND SCHOOL FACILITIES, AND EIGHT PARCELS FOR CONVEYANCE THROUGH BOROUGH LAND SALES OR OTHER ALLOWED METHODS OF DISPOSAL IN ACCORDANCE WITH TITLE 23 AND ADOPTED LAND & RESOURCE MANAGEMENT POLICY AND PROCEDURES (MSB007557).

WHEREAS, land classification is done in accordance with Title 23 and adopted Land & Resource Management Policy and Procedures to reserve certain parcels for future public facilities or for conveyance through borough land sales or other allowed methods of disposal; and

WHEREAS, the parcels herein were selected through public nomination, 1995 tax foreclosed property with extinguished repurchase rights of the former record owner, and parcels vetted through an internal land disposal plan developed in 2014 using information from the Natural Resource Management Units (NRMU) Plan and the 2012 fifty-year Buildout Analysis; and

WHEREAS, the Land & Resource Division utilizes public land sales as a revenue source to sustain current and future department and area-wide funding requirements for community organization projects, Borough road projects, trail surveys, and acquisitions; and

WHEREAS, the proposed land classifications reflect future potential development of the parcels; and

WHEREAS, conveying public lands into private hands increases the tax rolls and vacant land when developed gains economic value by virtue of the development - whether for recreation cabin, single-family residence or commercial use;

WHEREAS, retention of public lands for future public need is good policy and practice so that the Borough does not have to acquire land for public facilities; and

WHEREAS, the Best Interest Finding attached hereto provides a summary of the parcels to include historical data, topography, access, adopted plans, land value, desirability of location, surrounding land use and recommended land classification; and

WHEREAS, the parcels have undergone extensive departmental review and public notice was conducted in accordance with Title 23 procedures; and

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby recommends approval by the Matanuska-Susitna Borough Assembly of land classification of Borough-owned lands as follows:

Parcel 1: Tax #3321B01L001, Reserved Use

Parcel 2: Tax #18N01E34D015, Reserved Use

Parcel 3: Tax #19N05E05A005, General Purpose

Parcel 4: Tax #17N01W13D007, General Purpose

- Parcel 5: Tax #6573B06L015, General Purpose
- Parcel 6: Tax #15N03W10C001, Private Recreation
- Parcel 7: Tax #6532000L004, General Purpose
- Parcel 8: Tax #20N05024D012, Private Recreation
- Parcel 9: Tax #24N05W15C001, Private Recreation
- Parcel 10: Tax #24N05W15D003, Private Recreation

ADOPTED by the Matanuska-Susitna Borough Planning Commission
this ___ day of ___, 2020.

COLLEEN VAGUE, Chair

ATTEST

MARY BRODIGAN, Planning Clerk

(SEAL)

YES:

NO:

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BEST INTEREST FINDING
For the
Classification of Borough-Owned Land

I. Summary of Proposed Land Classification

Land classification of two parcels as Reserved Use for future fire station and future school facilities, and eight parcels for conveyance through borough land sales or other allowed methods of disposal in accordance with Title 23 and adopted Land & Resource Management Policy and Procedures.

The parcels selected include public nominations, a 1995 tax foreclosed property with extinguished repurchase rights, and from an internal land disposal plan developed in 2014 using information from the Natural Resource Management Units (NRMU) plan and the 2012 fifty-year buildout analysis. These parcels are to be classified prior to disposal in accordance with MSB 23.05.030 and the Land and Resource Management Division Policy and Procedure Manual (Reso 16-068, adopted 9/20/16). The parcels range in size from 1-80 acres with a combined total of 325.63+/- acres.

II. Property Site Factors

A. Location / Access / *Proposed Classification*

The subject parcels are located throughout the Borough to include areas near Chickaloon, Fairview Loop, Trunk Road, KGB, Pt. McKenzie, Big Lake, Burma Road, Willow and Susitna River at MP 104 Parks Highway.

Lands are classified in accordance with MSB 23.05.100. The selected sale parcels fall under Reserved Use lands which are those lands which have been designated for future public use, or for use by a government or quasi-government agency, or for future expansion of existing public uses; Private Recreation lands are those lands that because of location, physical features, or adjacent development, are presently or potentially valuable as outdoor recreational areas and may be best utilized by private development; and General Purpose lands are those lands that because of location, physical features, or adjacent development, location, or size of area may be suitable for a variety of uses.

Parcel 1: Big Lake Parcel (3321B01L001)

Intersection of Purinton Parkway and Susitna Parkway, near Never Never Lake and Big Lake. Access via W. Susitna Parkway.

Reserved Use: This parcel to be retained for future fire station.

Parcel 2: Trunk Road Parcel (18N01E34D015)

Stringfield Road (Old Trunk Road) and Palmer-Wasilla Highway, Pioneer Peak School site. Access via Stringfield Road from Bogard East Extension or PW Highway.

Reserved Use: This parcel to be retained for future school facilities.

Parcel 3: Chickaloon Parcel (19N05E05A004)

North of Thirty Mile Lake (aka Ida Lake) at approximate MP 73 Glenn Highway. Access via Fish Lake Road through Ida Lake Subdivision.

General Purpose

Parcel 4: Fairview Loop Parcel (17N01W13D007)

MP 2 E. Fairview Loop, Wasilla.

Access via unconstructed public use easements from E. Fairview Loop just south of railroad tracks.

General Purpose. This parcel potentially for conveyance to the City of Wasilla as part of a negotiated easement required by the City for expansion of their water treatment facility.

Parcel 5: KGB Parcel (6573B06L015)

MP 4.5 KGB - Fairview Loop, Riverdell Estates Subdivision.

Access via Fairview Loop to Marble Way to Riverdell Estates intersection Katmai and English Bay Drive.

General Purpose

Parcel 6: Pt. McKenzie Parcel (15N03W10C001)

South of Port McKenzie and northeast of Goose Bay State Game Refuge.

Access via south terminus Knik-Goosebay Road, then primitive trail along bluff through state property.

Private Recreation

Parcel 7: Burma Road Parcel (6532000L004)

Carpenter Lake, Carpenter Lake Subdivision.

Access via Burma Road to W. Carpenter Lake Road.

General Purpose

Parcel 8: Willow Creek Parcel (20N05W24D012)

Willow Creek at MP 74.5 Parks Highway

Access via Willow Creek waterbody and section line easement.

Private Recreation

Parcels 9 & 10: Susitna River Parcels (24N05W15C001 and 24N05W15D003)

MP 104 Parks Highway just east of Susitna River Bridge.

Access via Susitna River Road from Parks Highway.

Private Recreation

B. Legal DescriptionsParcel 1:

Lot 1, Block 1, Purinton Parkway Subdivision, Plat No. 87-3, Palmer Recording District

Parcel 2:

Parcel #1, MSB Waiver Resolution No. 84-12 PWm, Palmer Recording District

Parcel 3:

W1/2 NE1/4, T19N R5E, Sec. 5, SM, AK. Palmer Recording District

Parcel 4:

W1/2 NW1/4 NE1/4 SE1/4, T17N, R1W, Sec. 13, S.M., AK. Palmer Recording District

Parcel 5:

Block 6, Lot 15, Riverdell Estates, Plat No. 75-23, Refiled as Plat No. 75-54, Palmer Recording District

Parcel 6:

US Gov't Lot 3, T15N R3 W Sec. 10, SM, AK, Palmer Recording District

Parcel 7:

Lot 4, ASLS 74-12, recorded as Plat No. 74-49, Palmer Recording District

Parcel 8:

SE1/4 NE1/4, NE1/4 SE1/4, T20N R5W Sec. 24, SM, AK, Palmer Recording District

Parcels 9 & 10:

US Gov't Lot 4 and the NW1/4 SE1/4 (aliquot part), T24N R5W Sec. 15, SM, AK, Talkeetna Recording District

C. Land Status / Current & Surrounding Land Use / Land Value & Acreage*
(*based on 2020 certified tax roll assessments)

Parcel 1:

Conveyed to MSB by State of Alaska Patent No. 5825, recorded at Bk 243 Pg 993, Palmer Recording District.

Vacant land with surrounding residential/recreational use.

\$31,200 / 7.80 acres

Parcel 2:

Conveyed to MSB by Warranty Deed, recorded at Bk 346 Pg 778, Palmer Recording District.

Pioneer Peak Elementary School is located within the south half of the parcel. Parent parcel currently undergoing subdivision to create a new, separate lot within north half for future school facilities. Both lots will be considered as reserved for school use. Surrounding use is residential, commercial, and light industrial.

\$558,500 (land only) / 65.69 acres

Parcel 3:

Conveyed to MSB by State of Alaska Patent No. 19476, recorded at Serial No. 2004-027031-0, Palmer Recording District.

Vacant land with surrounding residential/recreational use.

\$80,000 / 80.00 acres

Parcel 4:

Conveyed to MSB by Quitclaim Deed, recorded at Bk 356 Pg 664, Palmer Recording District. Fairview Territorial School building is located on the property and in serious dis-repair. Borough Assembly Ordinance 17-078 authorized the City of Wasilla to receive the building and relocate onto city property for refurbishment and public display. MSB proposes to convey the 5-acre parcel to the city, including building.

Vacant land with surrounding residential/commercial/light industrial/agricultural use.

\$45,000 (land only- building is not valued) / 5.00 acres

Parcel 5:

Received by Clerk's Deed in 1995, recorded at Bk 829 Pg 175, Palmer Recording District.

This is a "10-year Plus" property meaning the borough has retained it for over ten years and all rights of re-purchase by previous owners, heirs and/or assigns has been extinguished forever.

Vacant land in residential subdivision.

\$38,000 / 1.08 acres

Parcel 6:

Conveyed to MSB by State of Alaska Patent No. 5538, recorded at Bk 249 Pg 138, Palmer Recording District.

Vacant with surrounding recreational use.

\$81,800 / 19.31 acres

Parcel 7:

Conveyed to MSB by State of Alaska Patent No. 1949, recorded at Bk 85 Pg 638, Palmer Recording District.

Leasehold interest terminated 2/3/14, recorded at Serial No. 2014-001767-0, Palmer Recording District. Several cabins in various states of construction are on property and may or may not be viable for occupancy. Surrounding residential/recreational use.

\$50,900 (land) / 1.98 acres

\$12,800 (buildings)

Parcel 8:

Conveyed to MSB by State of Alaska Patent No. 1255, recorded at Bk 92D Pg 149, Palmer Recording District.

Vacant land with surrounding recreational use.

\$96,000 / 80.00 acres

Parcels 9 & 10:

Conveyed to MSB by State of Alaska Patent No. 1388, recorded at Bk 172 Pg 524, Talkeetna Recording District and Patent No. 17278, recorded at Bk 172 Pg 527, Talkeetna Recording District.

Vacant land with surrounding residential/recreational use.

\$40,900 / 24.77 acres (24N05W15C001)

\$54,000 / 40.00 acres (24N05W15D003)

D. Land Use Plans

Adopted Land Use Plans include Big Lake, Pt McKenzie and Willow Comprehensive Plans, Susitna Area Plan, Willow Sub-Basin Plan, Core Area Plan, and Natural Resource Management Units Plan (NRMU)

E. Restrictions

There are no title restrictions or zoning restrictions on any of the parcels.

Specific easements and notes of record include:

Parcel 1:

50' wide section line easement within north boundary.

Parcel 4:

50' wide public use easement within the north boundary.

Parcel 5:

Covenants recorded Bk 99 Pg 9, Palmer Recording District, plat notes/easements of record.

Parcel 6:

50' perpetual public easement along mean high water line of Knik Arm.

Parcel 7:

Plat notes/easements of record.

Parcel 9 (24N05W15C001):

Public access easement 50' upland of ordinary high water mark of the Susitna River.

F. TerrainParcel 1:

Hilly with several nice plateaus, heavily wooded.

Parcel 2:

Heavily treed. Wetlands in northern portion especially west of Stringfield Road. Large hill with possible gravel resource north of Pioneer Peak Elementary School for onsite development.

Parcel 3:

Heavily treed. Areas within the south portion are hilly but not to the extreme; whereas, there is a 200 foot elevation rise within the northern half of the parcel which is typical for this area.

Parcel 4:

Heavily treed, flat.

Parcel 5:

Heavily treed, flat.

Parcel 6:

Heavily treed, 66' bluff to Knik Arm, upland is flat.

Parcel 7:

Heavily treed, hilly.

Parcel 8:

Willow Creek bisects parcel and majority lies within flood hazard area. Mostly wet and flat. Good for winter use.

Parcels 9 & 10:

Heavily treed, flat.

The parcels have undergone extensive departmental review to include historical data, topography, access, adopted plans, land value, desirability of location, and surrounding land use. Public notice was conducted in accordance with Title 23 procedures which included advertisement on the borough's web site, in the Frontiersman newspaper, mailings to private property owners obtained from the Borough property database, community councils, Chambers of Commerce, RSA/FSA Boards, appropriate cities and agencies, and Borough Assembly members.

Two comments have been received from adjacent property owners to Parcel 7 (6532000L004, Carpenter Lake) to include: disagreement with the Borough assessed value of the structures, concerns with stability of structures on the property, and disclosure of information to potential buyer(s). Borough staff conducted an onsite visit in 2017, boarded up the cabins, and posted no-trespassing signage. Since 2018, Borough appraisers have reduced the structure values by more than 37% from \$34,200 to \$12,800, while maintaining the land value at \$50,900. In order to make an informed decision, Buyers are strongly encouraged to inspect property they are interested in purchasing. The Borough cites any known conditions and makes accessible to the public any and all information the Borough has as a matter of public record. The Property Detail Sheet and several photos are included herein to provide assessed value over past three years and show photos taken of structural condition during 2017 site visit.

One other comment was received speaking to reservation of easements within Parcel 3 (19N05E05A004) located in the Chickaloon area, citing benefit of connectivity to existing trails and evacuation routes. Staff is reviewing potential easement locations within the parcel which could be reserved in the deed if property were sold.

All information the Borough has is made available for review as a matter of public record.

IV. Analysis & Discussion

The Land & Resource Division utilizes public land sales as a revenue source to sustain current and future department and area-wide borough needs. Revenue received from land sales is used for road projects, community organization projects, and trail surveys and acquisitions. Interest in acquiring public land has risen sharply in recent years partly due to more reasonable terms to purchase vacant land via private lending institutes and through borough financing which offers affordable down payments and reasonable monthly terms for up to 15 years, dependent on the price and amount to be financed. The borough charges an interest rate of prime plus an additional 4-5 points, not to exceed a total of 10% in accordance with state statute. To encourage cash sales vs borough financing, the interest rate charged by the borough is slightly higher than traditional lending institutes.

The parcels herein and their proposed land classifications reflect future and immediate needs, and potential development of the parcels. Conveying public lands into private hands increases the tax rolls. Vacant land when developed gains economic value by virtue of the development – whether for recreation cabin, single-family residence or commercial use. And retention of public lands for future public need is good policy and practice.

V. Authority

MSB 23.05.030, Ownership and Methods of Disposal, the borough may manage, control, use and dispose of property in accordance with this title; and

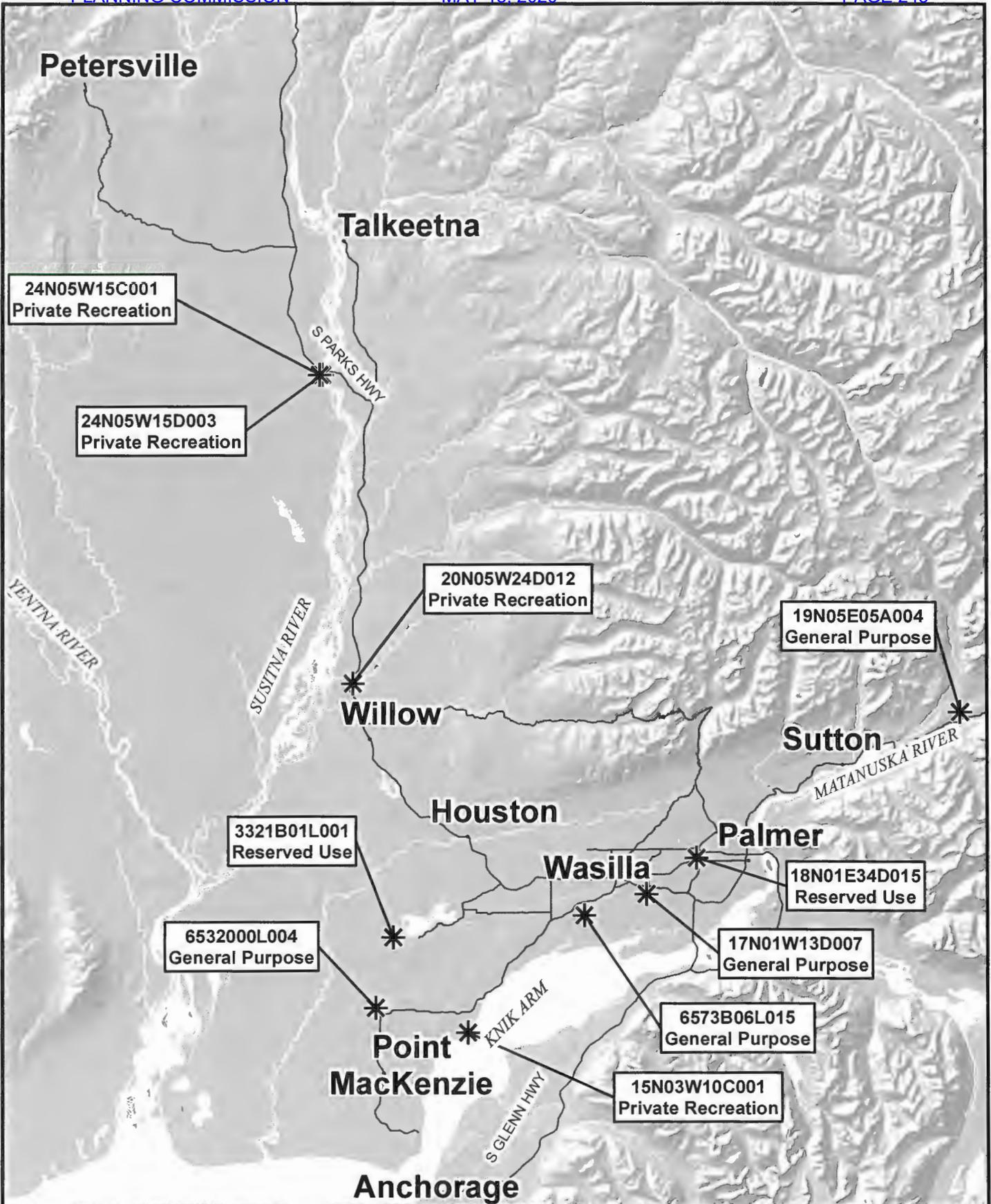
MSB 23.05.100, Land Classifications, Borough land shall be classified in accordance with this title as a tool to identify types of land use for lands included in land sales or retained for public facilities; and

MSB 23.10.020, Assembly Approval of Disposal, Assembly approval is needed to dispose of borough land valued over \$25,000.

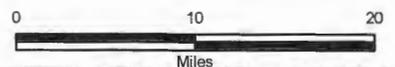
VI. Recommendation

The Community Development Department, Land & Resource Management Division respectfully recommends Planning Commission support and recommendation to the Assembly for approval of the land classifications as stated herein.

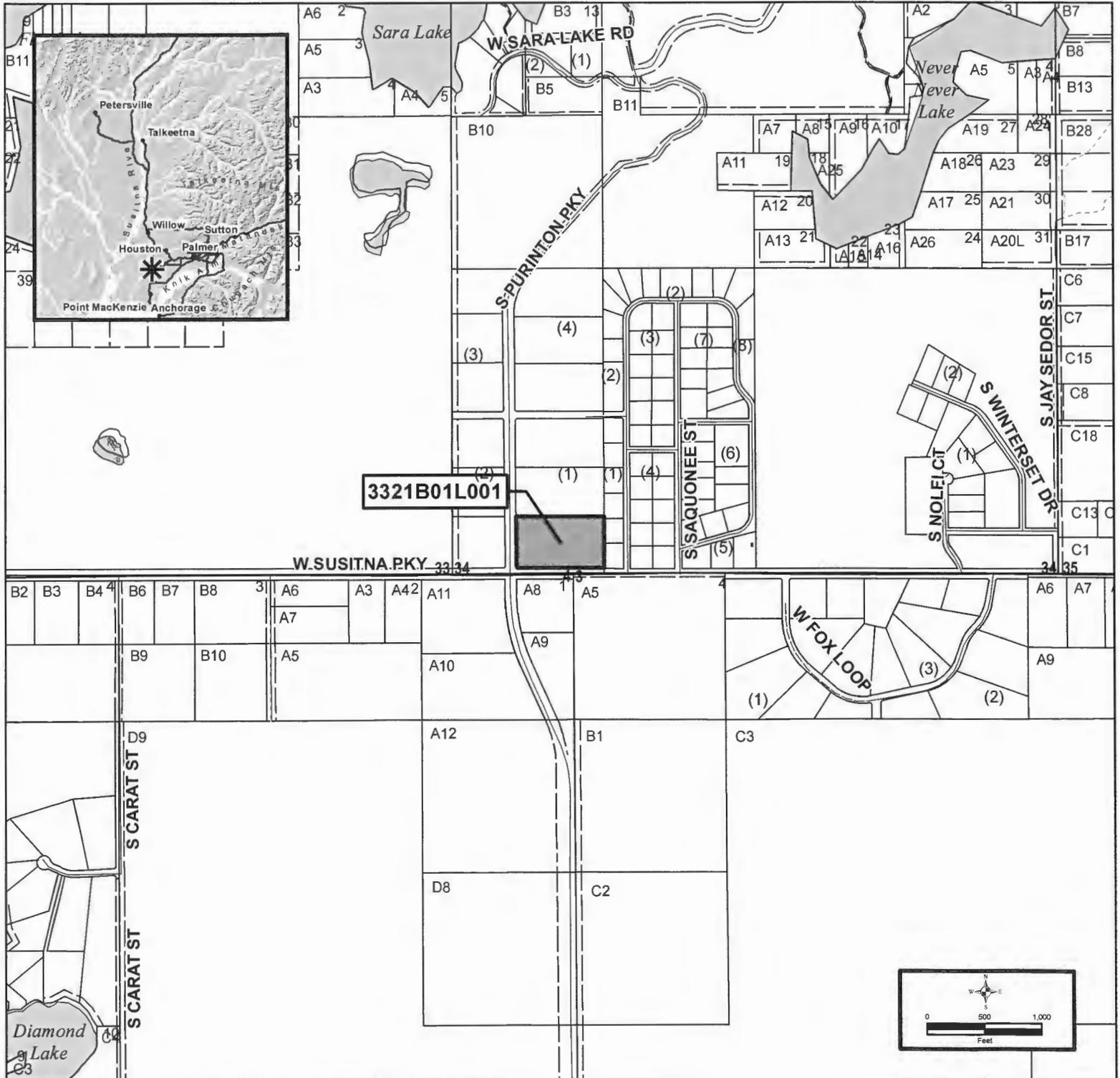
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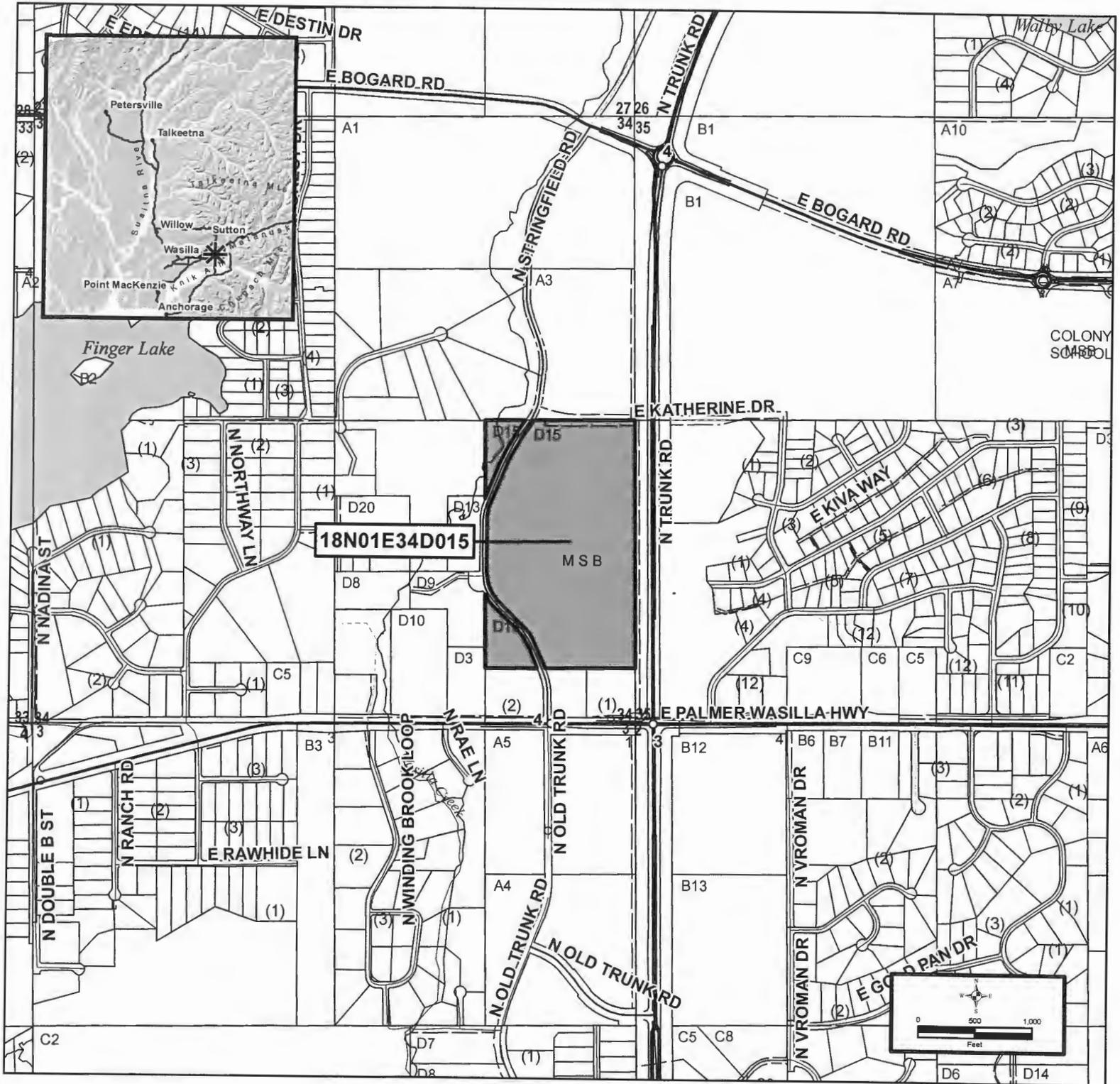
Overview Location Map
2020 Land Classifications
 Matanuska - Susitna Borough
 Land and Resource Management Division



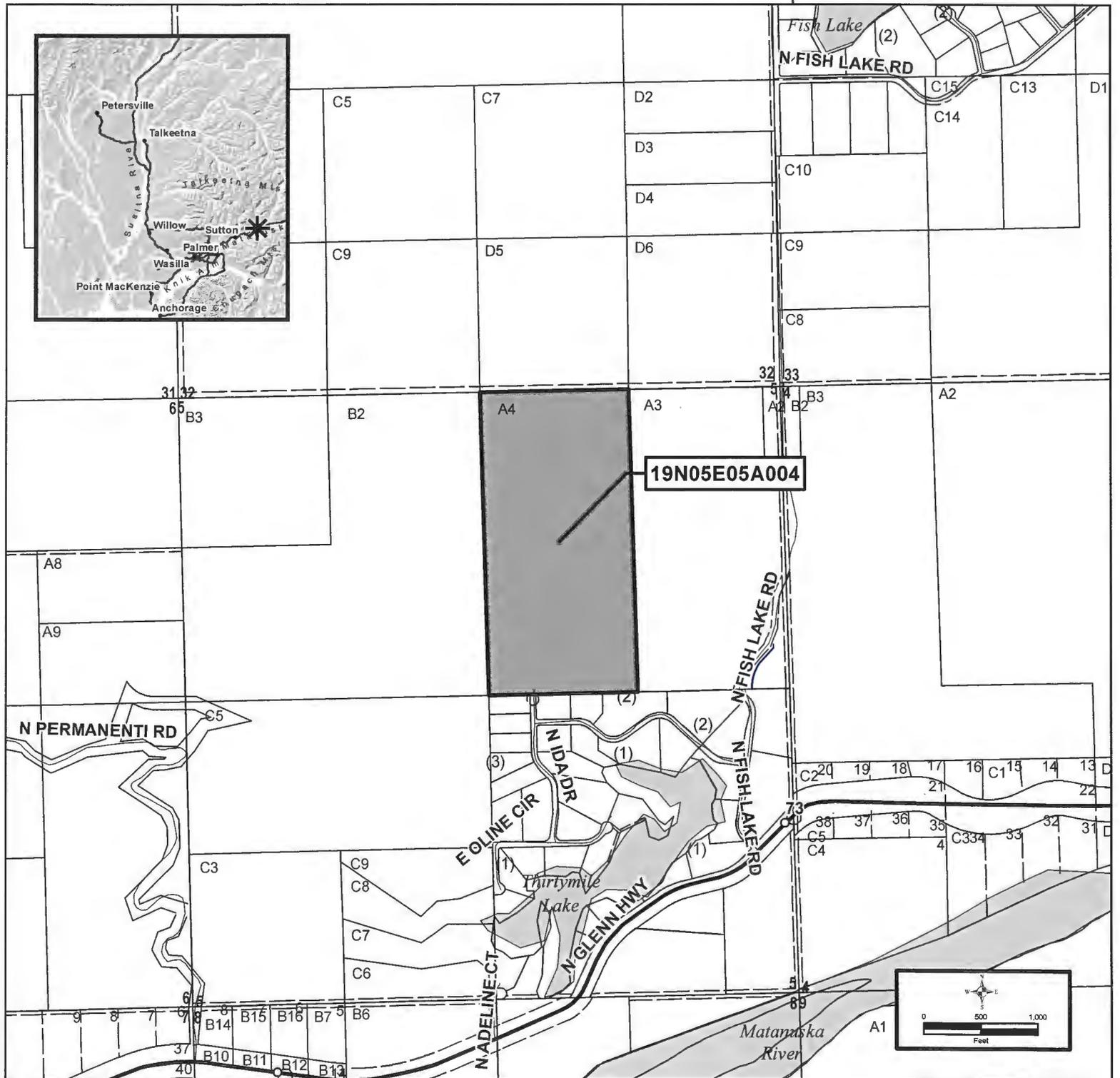
Parcel 1



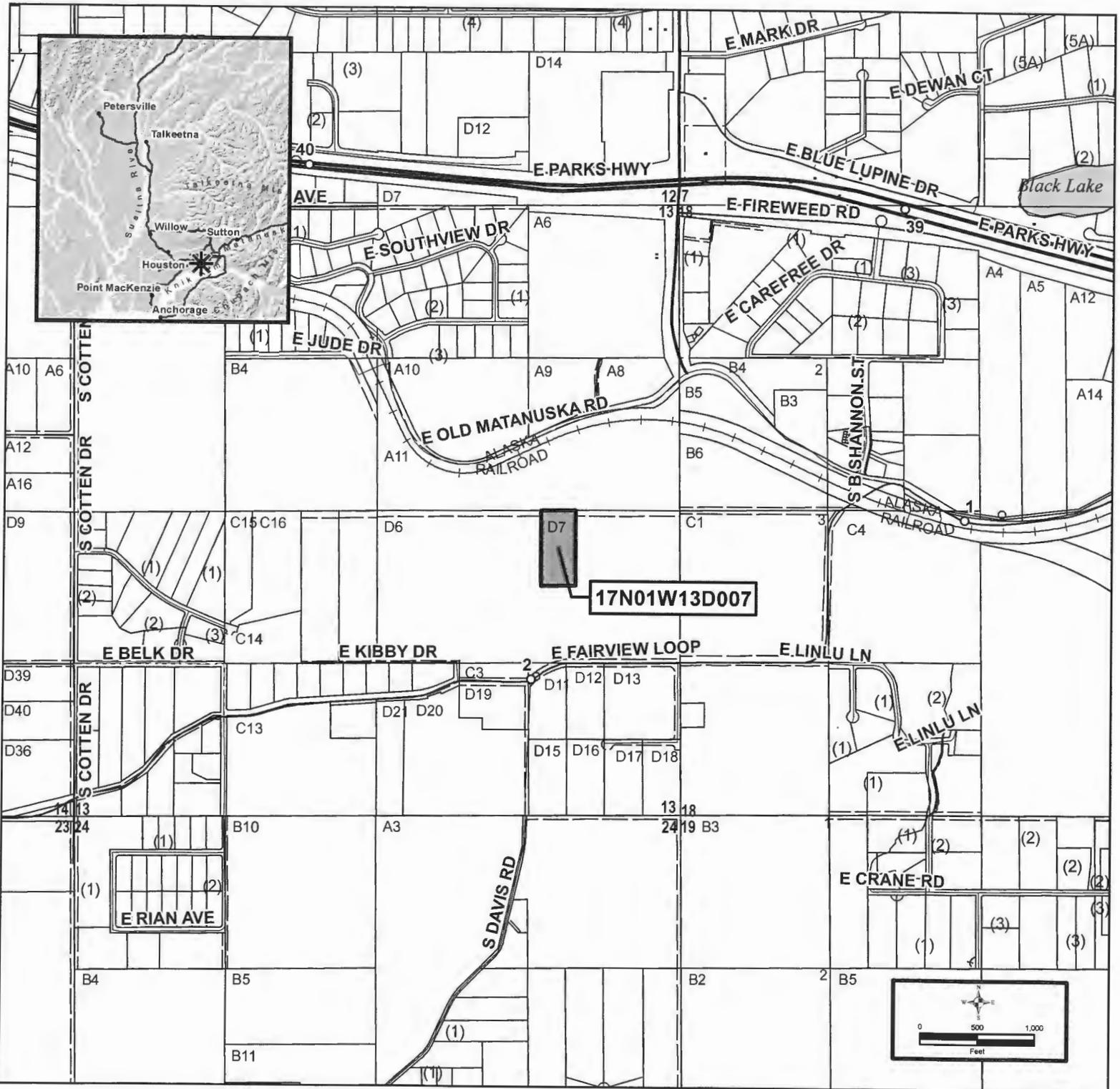
Parcel 2



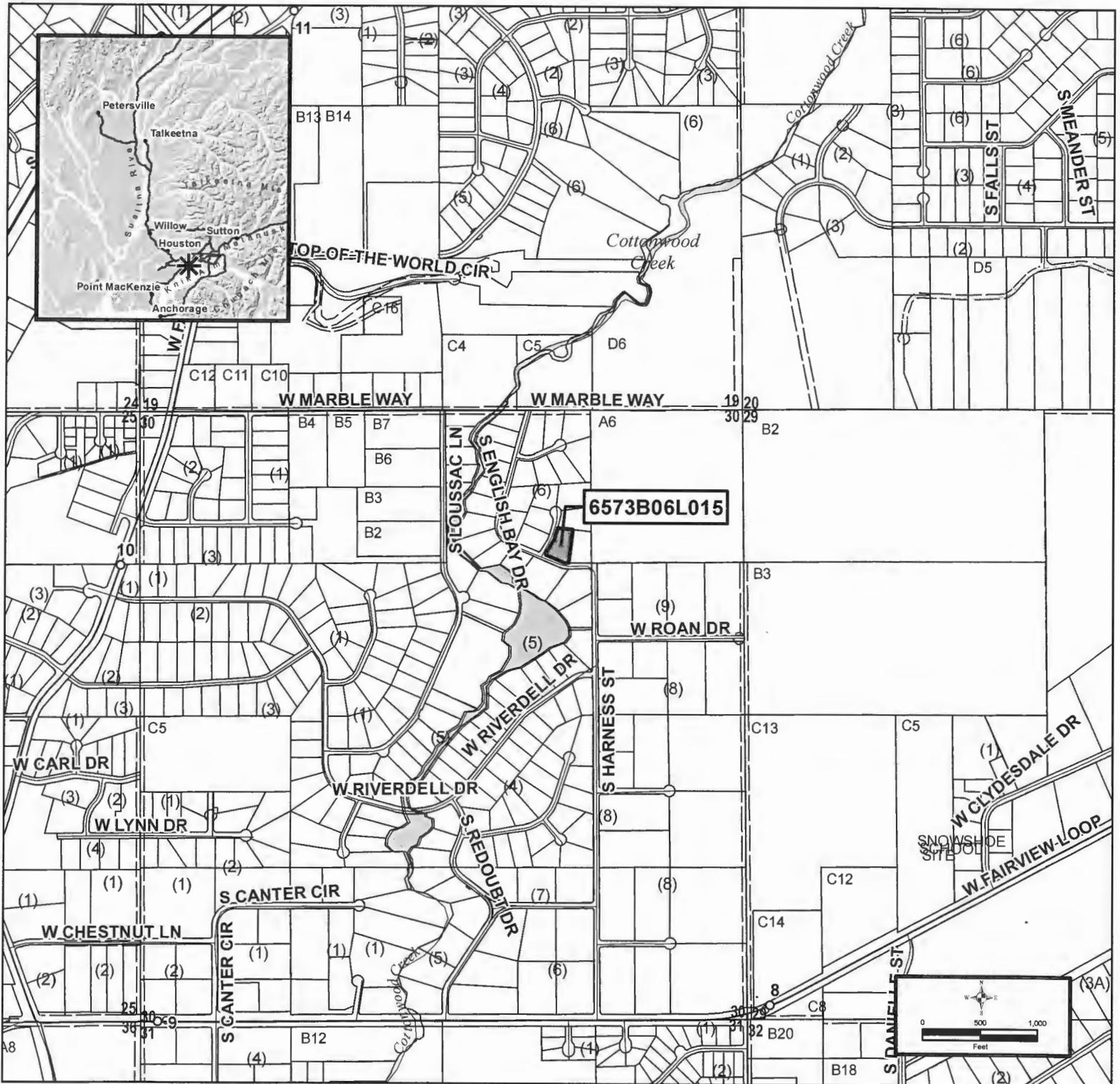
Parcel 3



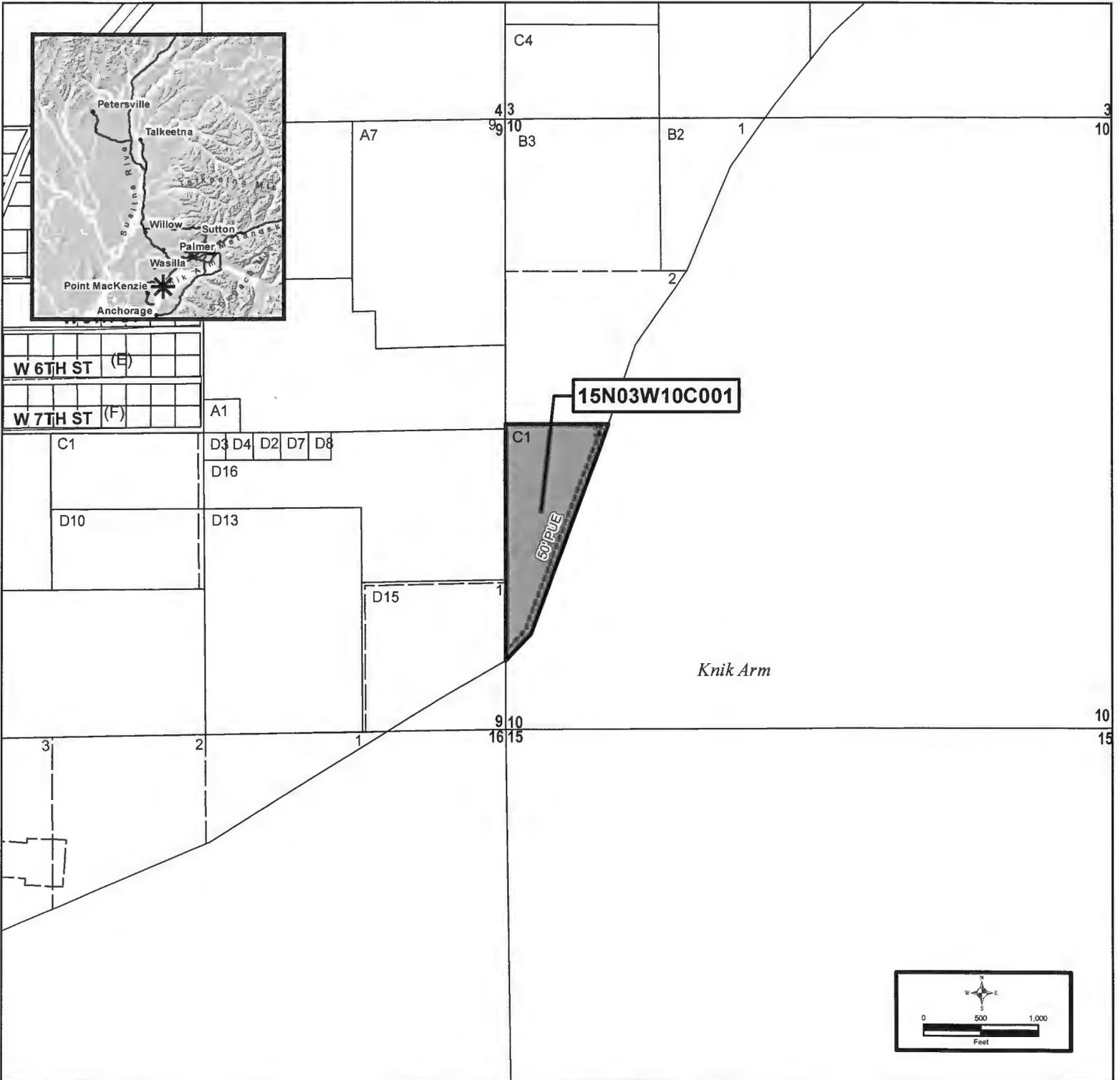
Parcel 4



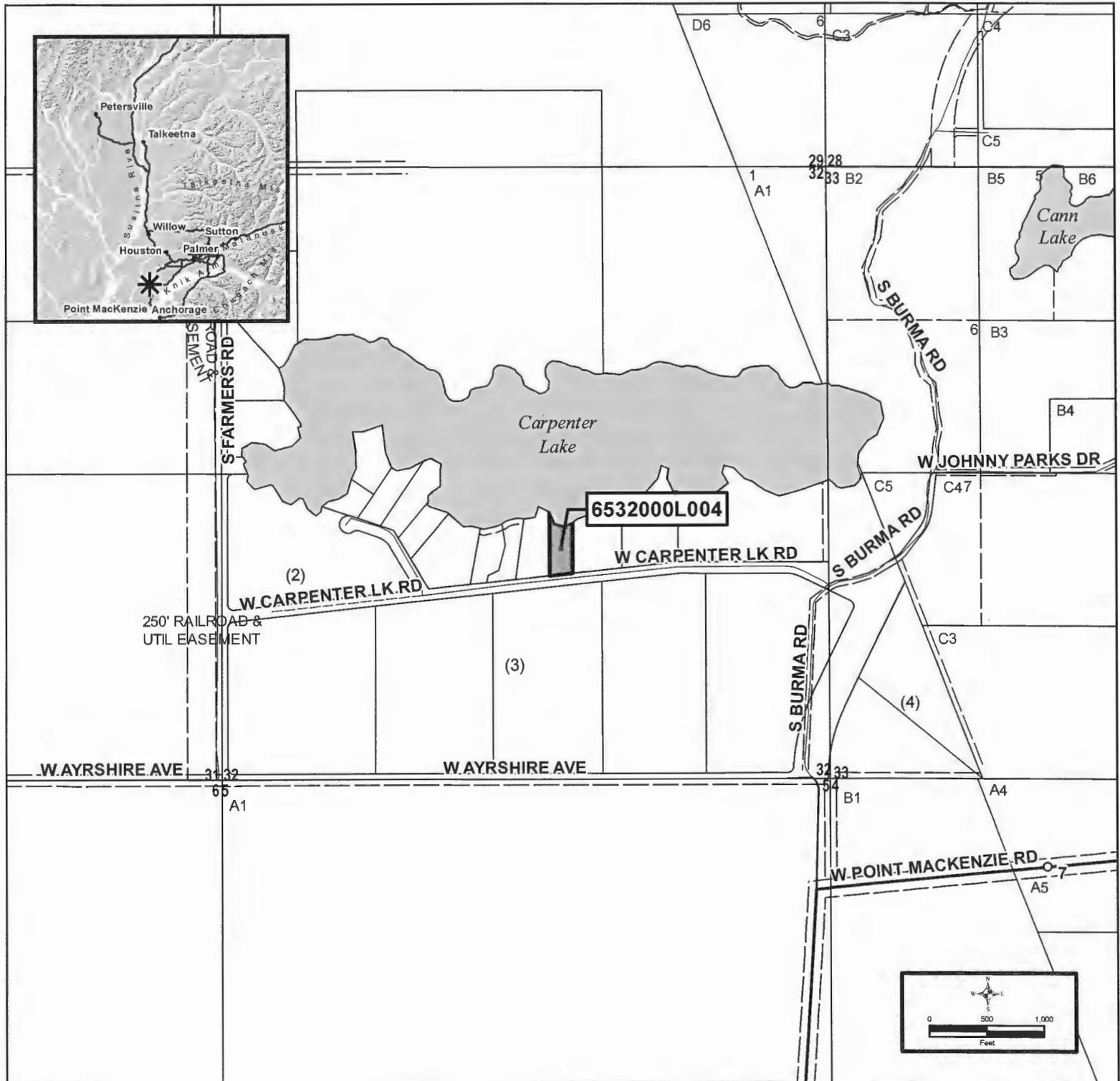
Parcel 5



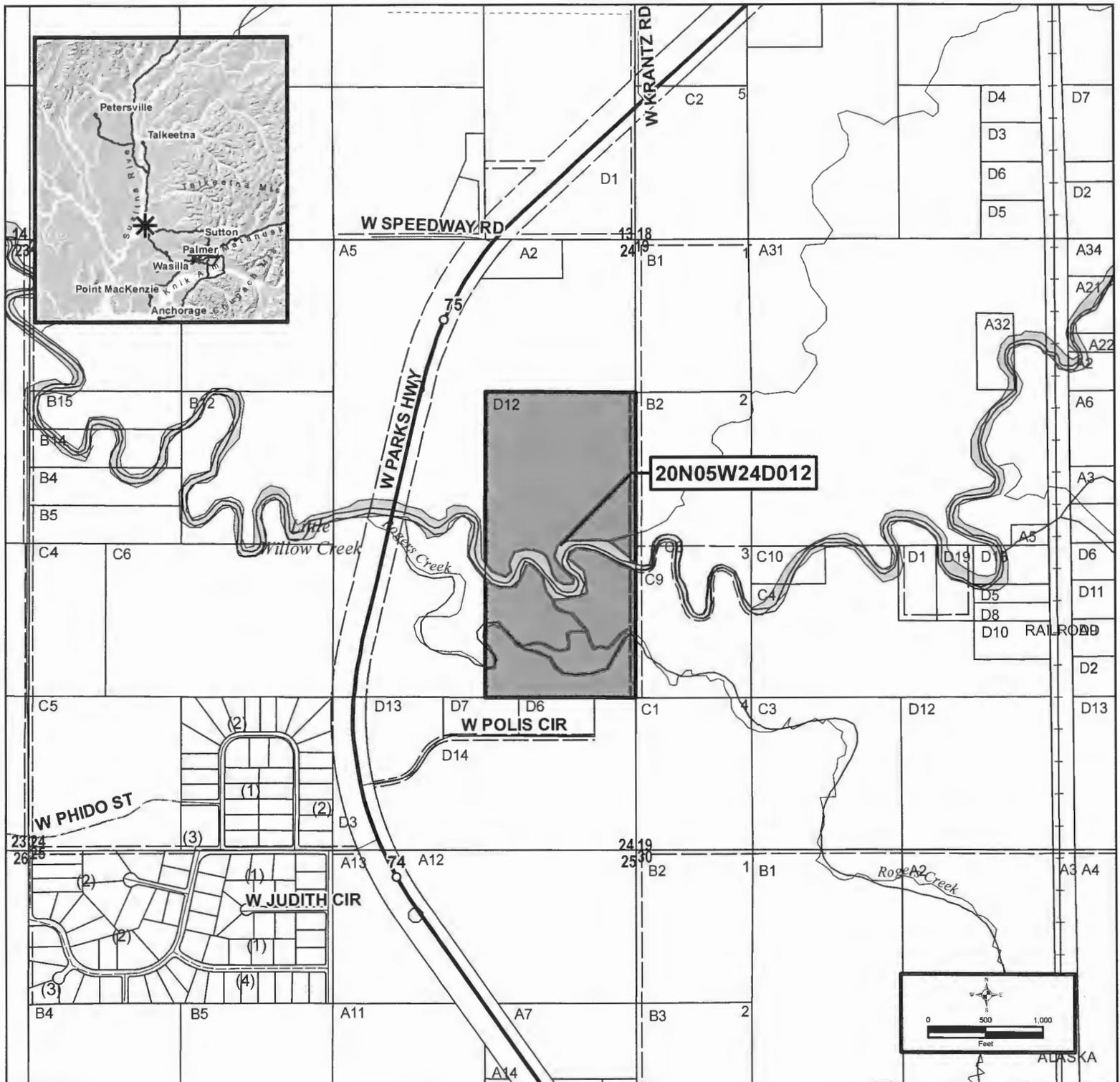
Parcel 6



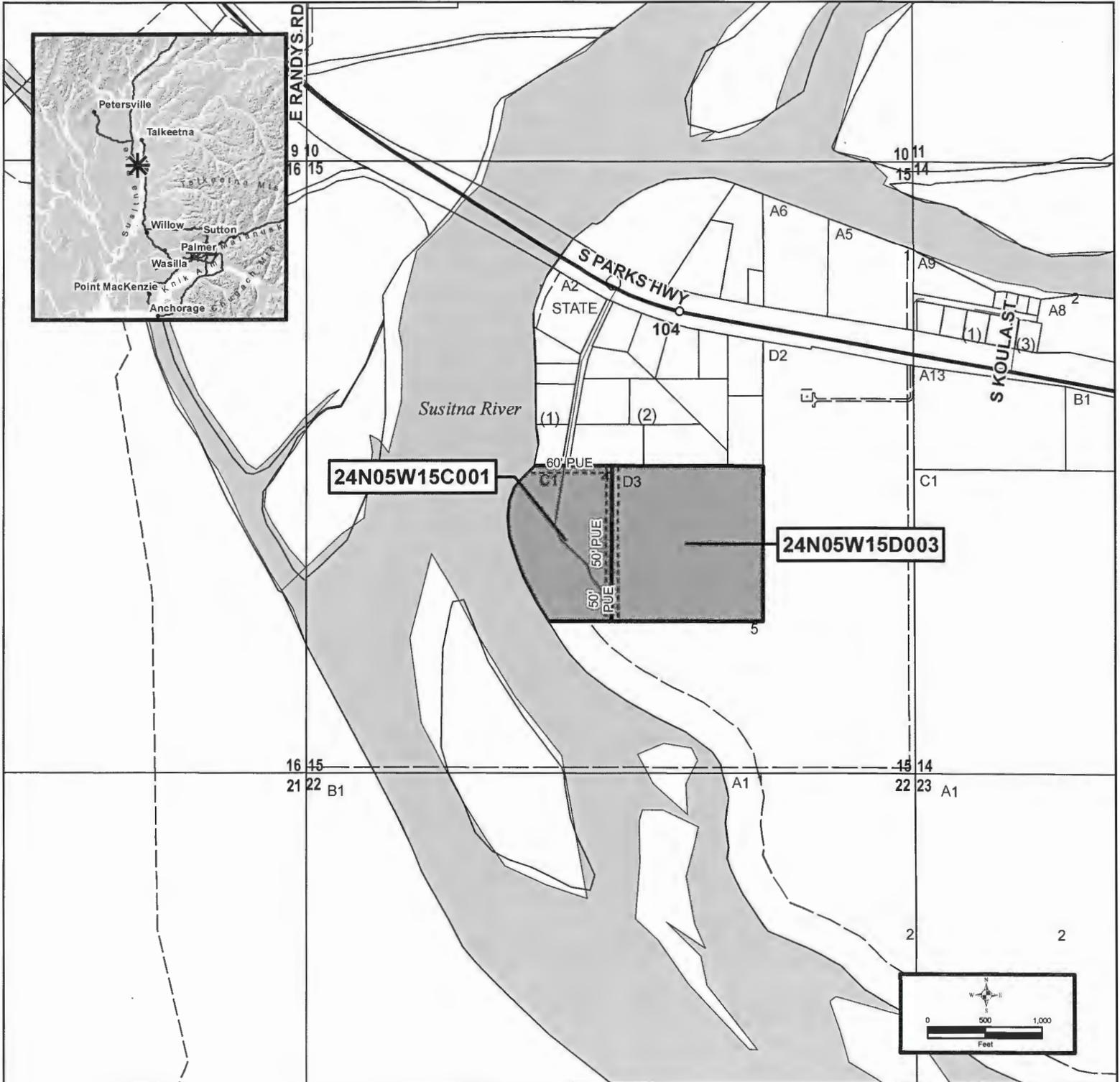
Parcel 7



Parcel 8



Parcels 9 & 10



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Public Notice Land Classification (MSB007557) Tax ID 6532000L004

Comments:

To be honest, from a safety and liability standpoint the existing structures on L004 are a fire and structural safety hazard. The reality of it is, that due to fire and structural safety reasons the existing 3 structures on L004 should be demolished and removed from the sight. I looked at purchasing the property in 2010 and based on my assessment of the structure at that time , I found it not cost effective to try and complete any of the existing structures. The building assessment should be a negative number. It will cost more than building assessed of \$12800 to demolish and remove the structures.

The land value of lot L004 has increased about 27% since 2011. This 27% increase appears out of line with lots in proximity. As an example, lots L002, L003 L005 and L007 increased approximately 3% to 7%.

I think in all fairness for safety concerns and overall assessment reasons the property should be removed from Public Bid until a time when the property can be priced realistically.

Best Regards

Michael Selhay

12830 Cumberland Circle

Anchorage Alaska 99516

907 331-7061

Owner L005 Carpenter Lake.

RECEIVED

FEB 28 2020

Community Development

Nancy Cameron

From: Nancy Cameron
Sent: Monday, March 9, 2020 8:16 AM
To: 'Jim Mills'
Subject: RE: MSB007557 Comments

This is to acknowledge your comments have been received which will be included in the legislation going forward. As to your concerns of disclosure, the Borough does make it a practice to let potential buyers know and understand the state of the property they are looking at, and all available information the Borough has is provided to any member of the public as it is of public record. We strongly encourage the public to review any and all information available, and include such information in our sale brochures.

Thank you for taking the time to provide public comment and observances.

Nancy Cameron
Land Management Agent
Mat-Su Borough
907.861.7848
nancy.cameron@matsugov.us

From: Jim Mills <ak.jamills@gmail.com>
Sent: Friday, March 6, 2020 5:45 PM
To: Nancy Cameron <Nancy.Cameron@matsugov.us>
Cc: Dan Mayfield <Dan.Mayfield@matsugov.us>; Vern Halter <Vern.Halter@matsugov.us>; Nicholas Spiropoulos <Nicholas.Spiropoulos@matsugov.us>
Subject: MSB007557 Comments

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Ms Cameron,

Enclosed are the comments I submitted last time the MSB wanted to include this lot in a sale. The only thing that has changed is three more years of weathering and, of course, an earthquake that did who knows what further damage to the structure.

Best Regards,

Jim

--

Jim Mills
Ph: 907 519 4036

RECEIVED
MAR 09 2020
Community Development

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March 6, 2017

Via email – glenda.smith@matsugov.us

James A Mills
23245 Carpenter Lake Rd.
Big Lake, AK

Mail:
James A Mills
3705 Arctic Blvd., PMB 1399
Anchorage, AK 99503

Dear Ms. Smith:

In response to your request for comments on MSB007250, I am pleased to be given the opportunity to provide the following regarding the MSB's intentions to sell the property with improvements in a competitive bid sale.

I have owned the parcel adjacent to the subject property for over twenty years – prior to any improvements being made to the property. In the past, you and I had many conversations regarding the largest structure on the property and the fact that it was incomplete, open to the elements and potentially a danger to the public should anyone trespass on the property. I appreciated the fact that you visited the property, agreed and had the structure boarded up to eliminate the possibility of anyone putting themselves in danger by entering it. Since that was done, there have been no more trespassers and no litter to clean up.

I am familiar with the construction of each of the structures on the property including the largest. I knew the individual who built it and knew how it was being done. The large structure has been in the same unfinished state for at least 15 years during which time it has been open to the elements.

Constructing a one-room single story cabin out of logs without plans or any sort of structural analysis is often done but the same shouldn't be done with a structure as large as the unfinished building on the property. I know for a fact that there was no structural analysis performed on the two-story building that is about 2/3rds open area with a ridge beam that is 30' – 40' above ground level and has a hand dug cellar towards the front. The "foundation" of the structure is comprised of untreated spruce poles that are buried in the ground – no steel pilings or cement filled sonotubes.

When I first built the deck on our cabin I used spruce logs as supports. They lasted about 10 years before rotting and causing the deck to collapse. Fortunately, no one was hurt but it would be hard to believe that would be the case if that house collapsed due to lack of a permanent foundation.

I understand that the Borough would intend to sell the property with improvements on an as-is basis but I do not think the Borough would want to assume the liability of selling that property to an uninformed

The other factor that needs to be disclosed by the Borough based on any sale of the property is the liability a buyer would assume for the assessment by ENSTAR when the LID was formed to bring natural gas to the area. The LID assessment is not applicable to the Borough but would be to a buyer. This could add multiple thousands of dollars to the total cost of ownership and should not be taken lightly. It would have the potential to turn a dream land purchase into a nightmare if a new owner could not assume the costs.

In summary, I do not believe that it would be in the Borough's best interest to list this property in a land sale without having the unfinished structure removed by a competent contractor.

Sincerely,

James A Mills

Cc:

Jim Sykes – jimsykesdistrict1@gmail.com
Matthew Deck – matthew.beck@matsugov.us
George McKee – George.mckee@matsugov.us
Steve Colligan – stevecolligan@mtaonline.net
Dan Mayfield – dan.mayfield@matsugov.us
Barbara Doty – Barbara.doty@matsugov.us
Randall Kowalke – randallk_2@msn.com
Vern Halter – vern.halter@matsugov.us

Nancy Cameron

From: Nancy Cameron
Sent: Monday, March 16, 2020 10:49 AM
To: 'pato@mtaonline.net'
Subject: RE: MSB007557

Pat,
Thank you for the comments which will be taken into consideration.

Nancy Cameron
Land Management Agent
Mat-Su Borough
907.861.7848
nancy.cameron@matsugov.us

From: Patricia Owens <pato@mtaonline.net>
Sent: Tuesday, March 10, 2020 5:03 PM
To: Land Management <Land.Management@matsugov.us>
Subject: MSB007557

March 10, 2020

Nancy Cameron
MSB Land Management Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

Re: Public Notice for Land Classification MSB 007557

Subject Property:19N05E05A004

Nancy,

I am writing you regarding the proposed 'General Purpose' land classification and subsequent sale of the subject property in Chickaloon.

There is potential for this property to provide access to adjoining landlocked properties and a road or trail connection to Permanente Road/Trail. A transportation connection to the Permanente area would of course require cooperation from other landowners, but non the less it is a possibility for future development. Access through this property would really help with improving the connectivity of our community with an additional benefit of providing evacuation routes due to natural disasters. This past summer is a perfect example, when a wildfire started near the Glenn Highway and Fish Lake Road intersection. Luckily it was put out before it blocked the escape route to the highway.

Please consider reserving a public easement for a road, trail, open space and public utilities on the west side of the property and along the southwest property boundary from N. Ida Drive to the west side. It would be ideal if

the easement could follow the contours of the land - because building a road along a straight line in this area will be difficult - but I know that would require special surveys and additional costs. My recommendation would be reserving a very wide easement (100-150') to allow for some flexibility for future road and trail alignment, unless of course there is a way to reserve an easement based on the terrain.

Thank you for your consideration.

Respectfully,

A handwritten signature in black ink, appearing to read 'PA', followed by a horizontal line extending to the right.

Patricia Owens
P.O. Box 1212
Chickaloon, Alaska 99674



MATANUSKA-SUSITNA BOROUGH

Real Property Detail for Account: 6532000L004

Site Information

Account Number 6532000L004 Subdivision CARPENTER LKASLS 74-12
 Parcel ID 33079 City None
 TRS S16N04W32 Map GB05 Tax Map
 Abbreviated Description (Not for Conveyance) CARPENTER LKASLS 74-12 LOT 4

Site Address 23317 W CARPENTER LK RD
 Ownership
 Owners MATANUSKA-SUSITNA BOROUGH Buyers
 Primary Owner's Address 350 E DAHLIA AVE PALMER AK 99645-6488 Primary Buyer's Address

Appraisal Information

Year	Land Appraised	Bldg. Appraised	Total Appraised	Assessment Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2020	\$50,900.00	\$12,800.00	\$63,700.00	2020	\$0.00	\$0.00	\$0.00
2019	\$50,900.00	\$33,500.00	\$84,400.00	2019	\$0.00	\$0.00	\$0.00
2018	\$50,900.00	\$34,200.00	\$85,100.00	2018	\$0.00	\$0.00	\$0.00

Building Information

Structure	Business Use	Design	Construction Type	Grade	Building Appraisal	Septic	Residential Units	Condition	Basement	Year Built	Foundation	Well
Structure 1 of 3	None	Residential Building	Cabin	Log	1220 - Cabin	\$7500	1	Standard	Partial	1998	All Weather Wood	
Structure 3 of 3	None	Residential Building	Cabin	Log	1220 - Cabin	\$1900	1	Standard	None	2000	Sonotubes	
Structure 2 of 3	None	Residential Building	Cabin	Log	1220 - Cabin	\$3400	1	Standard	None	1996	Wood Posts	

Building Item Details

Building Number	Description	Area	Percent Complete
1	First Story	624 Sq. Ft.	53 %
1	Second Story	384 Sq. Ft.	53 %
1	Unfinished Basement - 2A	312 Sq. Ft.	100%
2	Wood Stove w/Fin-8Z	1 Sq. Ft.	100%
2	Loft (Cabin) - 6W	72 Sq. Ft.	100%
2	First Story	216 Sq. Ft.	100%
3	First Story	192 Sq. Ft.	50 %
3	Loft (Cabin) - 6W	96 Sq. Ft.	48 %

Tax/Billing Information

Year	Certified	Zone	Mill	Tax Billed
2020	No	0030	::	::
2019	Yes	0030	16.029	\$0.00
2018	Yes	0030	15.949	\$0.00

Recorded Documents

Date	Type
2/3/2014	AFFIDAVIT OF TERMINATION
9/20/2000	QUITCLAIM DEED (ALL TYPE)
10/25/1999	QUITCLAIM DEED (ALL TYPE)

Recording Info (offsite link to DNR)

[Palmer 2014-001767-0](#)
[Palmer Bk: 1090 Pg: 814](#)
[Palmer Bk: 1041 Pg: 187](#)

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total	LID Exists
Current	\$6,963.58		\$0.00	\$0.00	\$0.00	\$0.00 Yes

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
1.98	1.98	Assembly District 005	08-150	130 Central Mat-Su	017 Knik RSA

¹ Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

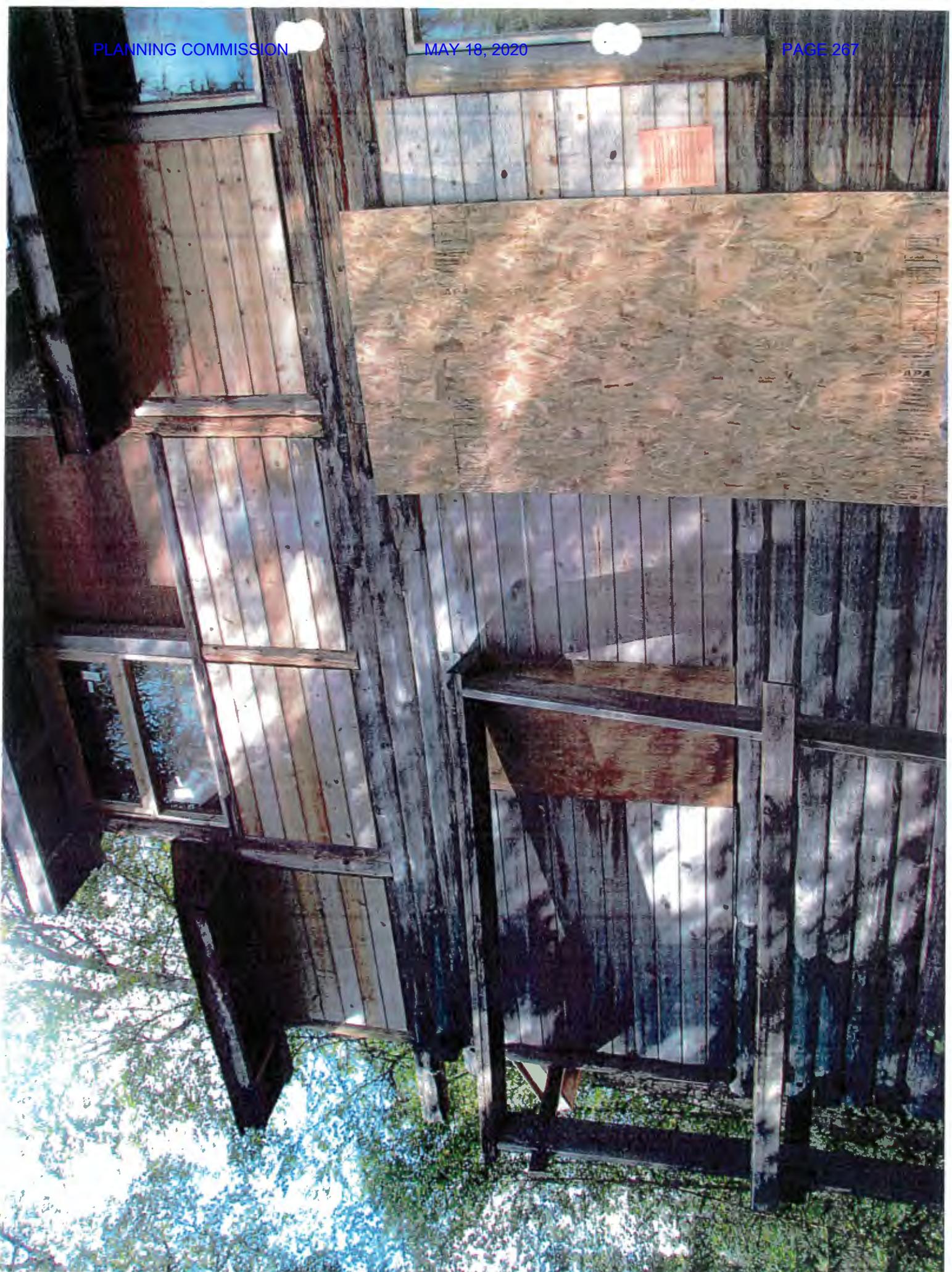
² If account is in foreclosure, payment must be in certified funds.

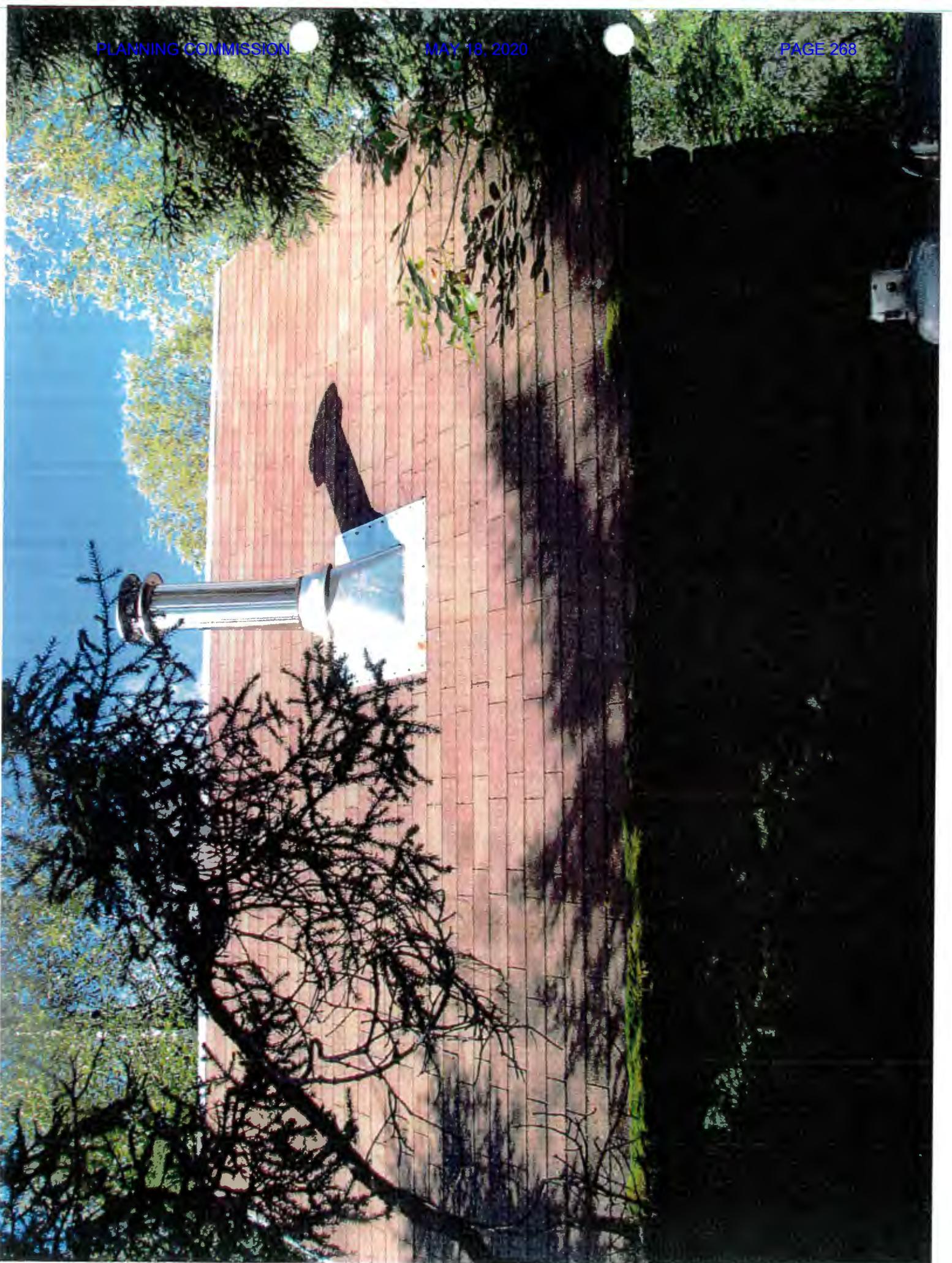
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DRIVEWAY
2017







Cabin #2
Structure
looks sound
No Skingdoos
2017







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CORRESPONDENCE & INFORMATION

Superior Court for the State of Alaska
Decision on Appeal
Appellant – Dewayne Creech

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CORRESPONDENCE & INFORMATION

IN THE SUPERIOR COURT FOR THE STATE OF ALASKA
THIRD JUDICIAL DISTRICT AT PALMER

DEWAYNE CREECH,

Appellant,

v.

MATANUSKA-SUSITNA BOROUGH,

Appellee.

Case No. 3PA-19-1472 CI

DECISION ON APPEAL

I. PROCEDURAL HISTORY AND FACTS

On April 10, 2019, Mr. Creech filed a *Notice of Appeal* relating to a decision by the Matanuska-Susitna Borough Board of Adjustment and Appeals, which affirmed the denial of a conditional use permit by the Borough's Planning Commission. The Matanuska-Susitna Borough filed its *Brief of Appellee* on August 31, 2019.

Mr. Creech owns approximately 9.5 acres of land in an unincorporated area of the Matanuska-Susitna Borough on which he both resides and has operated a vehicle repair and storage yard since 2004. In 2016 a complaint was filed against Mr. Creech, which initiated an investigation and a series of site visits by planning commission staff. As a result of these interactions with the Borough, Mr. Creech filed an application for a conditional use permit in September of 2017, and was then governed by MSB 17.60.110. As Mr. Creech was working on completing his application and submitting evidence in support of it, the Borough adopted Matanuska-Susitna Borough Assembly Ordinance Serial Number 18-030, which made changes to MSB 17.60.110 and affected the standards under which applications for a CUP were to be assessed. On December 17, 2018, the Matanuska-Susitna Planning Commission held a public hearing on Mr. Creech's application, during which the newly enacted version of the Borough ordinance

was referenced repeatedly. At the end of the hearing, the commissioners voted to deny Mr. Creech's application. Mr. Creech timely appealed the decision, and the Matanuska-Susitna Board of Appeals and Adjustments denied the appeal after a hearing in March 2019.

II. ISSUES ON APPEAL

- (1) Whether the Borough violated Mr. Creech's due process rights by changing the legal standard under which his application for a conditional use permit was being evaluated after the review process had already begun.
- (2) Whether the Borough erred in evaluating Mr. Creech's "suitability" for the conditional use permit by considering evidence that was more than five years old.

III. STANDARD OF REVIEW

There are four standards of review that govern the review of administrative decisions by the courts. The "substantial evidence" test is applied to questions of fact; the "reasonable basis" test is applied to questions of law involving agency expertise; the "substitution of judgement" is applied to questions of law that require no agency expertise; and the "reasonable and not arbitrary" test is applied to review of agency regulations.¹ The constitutional arguments raised are evaluated *de novo*.²

¹ *Handley v. State Dep't. of Revenue*, 838 P2d 1231,1233 (Alaska 1992).

² *State Dep't. Nat. Resources v. Greenpeace Inc.*, 96 P3d 1056, 1061 (Alaska 2004).

IV. DISCUSSION

A. While It Was Incorrect To Apply The Newly Adopted Borough Ordinance To Mr. Creech's Application, The Error Was Harmless.

Appellant argues that the change in regulation governing the evaluation of his permit application was a violation of his due process rights. He argues that the language of AS 08.60.070, the state law the Borough cited as being incorporated into municipal regulation, covers only a "certificate of location" and a "certificate of approval for the location" and specifically applies to the Borough Assembly and not the Planning Commission or the Board of Adjustment and Appeals.³ According to the Appellant, this resulted in Mr. Creech not having proper notice that the statute's requirements also covered his application.⁴

Appellee argues that consideration of suitability was already part of both the Matanuska-Susitna Borough regulations applying to a permit review, codified in MSB 17.60.100 (A)&(B), and applicable state law in AS 08.60.070 at the time the Borough's Planning Commission reviewed Mr. Creech's permit application.

The court finds Appellee's argument persuasive. While it was incorrect to apply the newly adopted Borough ordinance to Mr. Creech's application, the error was harmless as the standards were already applicable to him through binding state law, in place at the time of his application. Appellant has provided no compelling reason that the statute should not apply to Mr. Creech's business. MSB Code 17.60.010 (A) defines "junkyard" as "a location which is commercially used for the purpose of the outdoor storage, handling, dismantling, wrecking, keeping or sale of used, discarded, wrecked or abandoned airplanes, appliances, vehicles, boats, building and building materials, machinery, equipment, or parts thereof, including but not limited to, scrap metals, wood, lumber, plastic, fiber, or other tangible materials." From the briefings and record, the

³ Appellant's Brief at 9.

⁴ *Id.* at 10.

description of Mr. Creech's business includes the outside storage of automobiles which are no longer functional or in drivable condition on the property at issue in this case. Mr. Creech then disassembles them for parts, which he uses to repair other vehicles. While there is an added service provided by his operation in the form of refurbishing and selling some of the vehicles, this appears insufficient to negate the applicability of a "junkyard" regulation on its face. The Appellant therefore had proper notice of the applicability of the Code to his operation.

Any error committed by the Borough in applying the newly adopted ordinance is harmless.

B. The Planning Commission's decision was significantly colored by Mr. Creech's activity well beyond the five year lookback period.

The Appellant argues that in the course of its suitability evaluation, the Borough impermissibly considered evidence of Mr. Creech's conduct that is more than five years in the past. He cites MSB 17.60.110 (C) (2) stating "[r]eview for suitability shall be limited to no more than five years preceding the application." He provides quotes from record of the Planning Commission meeting, which show that the commissioners did in fact make statements about Mr. Creech's actions in the past and complaints filed against him dating from over five years ago.

The Appellee cites *Fields v. Kodiak City Council*⁵ to support its argument that the resolution adopted by the Planning Commission, adopted in its Findings of Fact and Conclusions of Law, is the relevant factor for this determination, rather than statements by commissioners during the public hearing. Appellant goes on to note the dates in the Planning Commission's findings, highlighting the fact that all of them are within the five year range.

In *Fields*, the Supreme Court addresses the sufficiency of the record in that case. It makes no mention, as Appellee argues, of the review being limited to those observations

⁵ *Fields v. Kodiak City Council*, 628 P.2d 927 (Alaska 2001).

of fact which were reduced to writing. The court therefore declines to follow the Appellee's argument that any oral statements by commissioners at the hearing are irrelevant, as long as the written decision only includes dates within the permitted time range. It appears clear from the record that the commissioners considered Mr. Creech's past history of non-compliance and what appears to be a certain level of frustration in the community about it. Some of their statements reflect an evaluation of Mr. Creech's suitability that goes back for more than a decade, and is short of any positive memories. The court finds it impossible to separate these statements and their extensive temporal lookbacks from the written findings, which properly adhere to the statutorily required timeframe.

The transcript from the December 17, 2018, public hearing before the Matanuska-Susitna Borough Planning Commission reflects that the Appellant has correctly identified instances in which the commissioners debated evidence from over five years ago.⁶ The court further notes that in the course of the commissioner's deliberation, they raised and discussed issues not related to suitability at all, namely the costs and effect of leniency and a collaborative approach to help Mr. Creech get into compliance with a certain timeframe. The commissioners express concerns about how this would affect resources and staffing,⁷ and how a favorable decision in this case would affect future decision on conditional use permit applications.⁸

The record also reflects that Mr. Creech was contacted by Borough staff several times within the relevant five year range and notified of non-compliance in written notices and citations.⁹ In his statements before the Planning Commission, Mr. Creech stated that he had not been aware of the importance of compliance,¹⁰ saying "I had no idea that the – it was that critical of an aspect, you know, that might risk me getting a

⁶ Appellant's Brief at 15-16.

⁷ MSB Planning Commission Public Hearing Transcript, p. 61 [*hereinafter* MSB Hearing Transcript].

⁸ *Id.* at 68 ("I also have great heartburn over do we modify our CUP program and policies and procedures and rules to accommodate one person, and what can of worms does that open going down the road.")

⁹ MSB Hearing Transcript at 144; Appellee's Brief at 21-23 (citing the Planning Commission's Findings of Fact).

¹⁰ MSB Hearing Transcript at 21, 22, 27.

permit.”¹¹ The court notes that Mr. Creech also stated that he had hired a survey company in order to produce the proper documentation in support of his application,¹² had hired “a couple of contractors to come in and help me clean the place up,”¹³ and that he had built “an additional stall” in order to clear the open spaces on the property faster.¹⁴ Further, Mr. Creech states, “I wish you had a picture in front of you. It’s just that photographs weren’t taken after that. It was just done last summer.”¹⁵ He also described a new road that has been added to the property, which is not shown on pictures or the survey, and provides an access to the back of the property in order to be able to move older inventory out and add space to move the vehicles off the public right-of-way.¹⁶

These statements contrast descriptions by Borough staff noting that the situation at the property was still far from compliance in 2018, when visit were conducted in February, June and September.¹⁷ The record also shows Mr. Creech receiving citations, and vehicles being impounded as late as October 2018.¹⁸ According to Borough staff, photos were taken showing “that there was still an issue out there,” and proving that there were still vehicles in the right-of-way.¹⁹ In addition, the record shows several more instances within the five year review period which found Mr. Creech to be out of compliance, to which he failed to respond satisfactorily.

The court is now tasked with judging the suitability of Mr. Creech to run his business based on this inconsistent evidence. While it appears that Mr. Creech took serious steps such as hiring contractors and building an additional driveway to eliminate overflow from his property into the public right-of-way, he was still considered in violation of the requirements in November of 2018,²⁰ the month before the hearing. The

¹¹ *Id.* at 31-32.

¹² *Id.* at 34.

¹³ *Id.* at 35.

¹⁴ *Id.* at 39.

¹⁵ *Id.*

¹⁶ *Id.* at 30, 39.

¹⁷ *Id.* at 7.

¹⁸ MSB, Board of Adjustment and Appeals, Record on Appeal at 140.

¹⁹ *Id.* at 7.

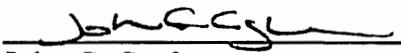
²⁰ MSB, Board of Adjustment and Appeals, Notice of Right to Appeal and Final Decision, para 8.

court does note that the site visits show a pattern of decrease in the number of vehicles parked in the public right-of-way, and further finds that Mr. Creech outlined a credible and satisfactory plan to bring his property into compliance during the public hearing.²¹ Regardless, it is clear to the court that the Planning Commission's decision was significantly colored by Mr. Creech's activity well beyond the five year lookback period.

V. CONCLUSION

Because it was improper for the Planning Commission to rely on information that was beyond the proper lookback period, the court hereby VACATES the Planning Commission's Resolution and REMANDS for further proceedings consistent with this decision.

Dated the 19th day of March, 2020.


John C. Cagle
Superior Court Judge

13/20/20
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²¹ MSB Hearing Transcript at 22, 39.

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COMMISSION BUSINESS
Upcoming PC Agenda Items

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COMMISSION BUSINESS


MATANUSKA-SUSITNA BOROUGH
Planning and Land Use Department

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7833 • Fax (907) 861-7876

 Email: planning@matsugov.us
MEMORANDUM

DATE: May 8, 2020

TO: Planning Commissioners

FROM: Eileen Probasco, Director of Planning and Land Use

SUBJECT: Items tentatively scheduled for future PC Meetings or Administrative Actions and Updates on PC items sent to the Assembly

May 18, 2020 (*MSB Assembly Chambers*)

Introduction for Public Hearing Quasi-Judicial

- **Resolution PC 20-08**, a Conditional Use Permit request in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 108 E. Schrock Road (Tax ID# 18N01W15C009); within Township 18 North, Range 1 West, Section 15, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Michael Gallagher, on behalf of Bubba Greens, Staff: Joe Metzger*)
- **Resolution PC 20-09**, a Conditional Use Permit request in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 5675 E. Blue Lupine Drive (Tax ID# 1807B01L011); within Township 17 North, Range 1 East, Section 17, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Chad Ragsdale, on behalf of MCC Flight, Staff: Joe Metzger*)
- **Resolution PC 20-13**, a Conditional Use Permit (CUP) in accordance with MSB 17.70 – Regulation of Alcoholic Beverage Uses; allowing the operation of an alcoholic beverage dispensary (bar); located at 2141 S. Church Road (Tax ID# 17N01E16C012); within Township 17 North, Range 1 East, Section 16, Seward Meridian. Public Hearing: June 8, 2018. (*Applicant: Michelle Church dba Moonstone Farm, Staff: Mark Whisenhunt*)
- **Resolution PC 20-16**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2321 E. Palmer-Wasilla Highway (Tax ID# 17N01W11A020); within Township 17 North, Range 1 East, Section 11, Seward Meridian. Public Hearing: June 8, 2020. (*Applicant: Sandra Millhouse, on behalf of Canna Be Happy, Staff: Joe Metzger*)
- **Resolution PC 20-17**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A); within Township 17 North, Range 1 East, Section 16, Seward Meridian. Public Hearing: June 15, 2020. (*Applicant: Jane Weltzin & Country Cannabis, LLC, Staff: Mark Whisenhunt*)

Introduction for Public Hearing Legislative

- **Resolution PC 20-15**, recommending Assembly approval of an ordinance amending the Definition of Encroachment in MSB 11.10.010(A)(1) and amending MSB 17.23.150 Port Development Permit Required. Public Hearing: June 8, 2020. (*Staff: Alex Strawn and Emerson Krueger*)

Agency/Staff Reports

(None)

Land Use Classifications

- **Resolution PC 20-11**, recommending Assembly approval of land classification of two parcels as Reserved Use for a future fire station and future school facilities, and eight parcels for conveyance through borough land sales or other allowed methods of disposal in accordance with Title 23 and adopted Land & Resource Management Policy and Procedures (MSB007557). (*Staff: Nancy Cameron*)

Public Hearing Quasi-Judicial

(None)

Public Hearing Legislative

(None)

Unfinished Business

(None)

New Business

(None)

Commission Business

- Adjudicatory (*if needed*)
- Upcoming Planning Commission Agenda Items (*Staff: Alex Strawn*)

June 8, 2020 (*MSB Assembly Chambers*)

Introduction for Public Hearing Quasi-Judicial

(None)

Introduction for Public Hearing Legislative

(None)

Agency/Staff Reports

(None)

Land Use Classifications

(None)

Public Hearing Quasi-Judicial

- **Resolution PC 20-08**, a Conditional Use Permit request in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 108 E. Schrock Road (Tax ID# 18N01W15C009); within Township 18 North, Range 1 West, Section 15, Seward Meridian. (*Applicant: Michael Gallagher, on behalf of Bubba Greens, Staff: Joe Metzger*)
- **Resolution PC 20-09**, a Conditional Use Permit request in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 5675 E. Blue Lupine Drive (Tax ID# 1807B01L011); within Township 17 North, Range 1 East, Section 17, Seward Meridian. (*Applicant: Chad Ragsdale, on behalf of MCC Flight, Staff: Joe Metzger*)
- **Resolution PC 20-13**, a Conditional Use Permit (CUP) in accordance with MSB 17.70 – Regulation of Alcoholic Beverage Uses; allowing the operation of an alcoholic beverage dispensary (bar); located at 2141 S. Church Road (Tax ID# 17N01E16C012); within Township 17 North, Range 1 East, Section 16, Seward Meridian. Public Hearing: (*Applicant: Michelle Church dba Moonstone Farm, Staff: Mark Whisenhunt*)
- **Resolution PC 20-16**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2321 E. Palmer-Wasilla Highway (Tax ID# 17N01W11A020); within Township 17 North, Range 1 East, Section 11, Seward Meridian. (*Applicant: Sandra Millhouse, on behalf of Canna Be Happy, Staff: Joe Metzger*)
- **Resolution PC 20-17**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A); within Township 17 North, Range 1 East, Section 16, Seward Meridian. (*Applicant: Jane Weltzin & Country Cannabis, LLC, Staff: Mark Whisenhunt*)

Public Hearing Legislative

- **Resolution PC 20-15**, recommending Assembly approval of an ordinance amending the Definition of Encroachment in MSB 11.10.010(A)(1) and amending MSB 17.23.150 Port Development Permit Required. (*Staff: Alex Strawn and Emerson Krueger*)

Unfinished Business

(None)

New Business

(None)

Commission Business

- Adjudicatory (*if needed*)
- Upcoming Planning Commission Agenda Items (*Staff: TBD*)

Upcoming PC ActionsQuasi-Judicial

- Alaska Car Crushing – Junkyard CUP Modification, 6919000L001 and L002. (Staff: Mark Whisenhunt)
- D&S Alaskan Trail Rides, Inc. – Denali SpUD, 29N05W33D012 and 29N05W33D0028. (Staff: Joe Metzger)
- Nu Aspen LLC – Talkeetna SpUD, 5352B12L014A. (Staff: Joe Metzger)
- Nu Aspen LLC – Regulation of Alcoholic Beverages, 5352B12L014A. (Staff: Joe Metzger)
- Arctic Hydroponics - Marijuana Cultivation Facility, 22N04W01A004. (Staff: Mark Whisenhunt)
- Twin Lakes – Variance MSB 17.65, 6323000L005. (Staff: Mark Whisenhunt)
- Hibbard Addition – Variance MSB 17.65, 6142000L006. (Staff: Joe Metzger)
- Bristol Bay Bud Company – Marijuana Cultivation Facility, 17N02W20B005. (Staff: Joe Metzger)
- Faded Moose Farms, LLC – Marijuana Cultivation Facility, 5902000L001. (Staff: Mark Whisenhunt)
- Northern Alliance – Marijuana Cultivation Facility, 17N04W25D005. (Staff: Mark Whisenhunt)
- Three Bear Trapper Creek – Alcoholic Beverage Package Store, 7561000L001. (Staff: Mark Whisenhunt)
- Alaska Self Storage – Talkeetna SpUD Conditional Use Permit, 7909000L002. (Staff: Mark Whisenhunt)

Legislative

- Outdoor Shooting Facilities (Staff: Alex Strawn)
- Subdivision Construction Manual 2020 (Staff: Eileen Probasco)
- MSB 11.12 Driveway Standards (Staff: Alex Strawn)
- Title 17 Consolidation (Staff: Eileen Probasco)
- Onsite Consumption (Staff: Alex Strawn)
- Wetlands Mitigation (Staff: Eileen Probasco)

Other Upcoming Administrative Actions (Not going to the PC)

- Aldeman – Multifamily Permit; 17N01W18B011. (Staff: Joe Metzger)
- Birdsell #1 – Nonconforming Structures, 6040B03L016. (Staff: Joe Metzger)
- Donald Patterson – Multifamily Development Permit, 1009B02L011. (Staff: Adam Bradway)
- Hinderman - Nonconforming Structures, 6043B01L006. (Staff: Joe Metzger)
- Carefree Acres – Multifamily Development Permit, 1009B02L011. (Staff: Adam Bradway)
- Finger Lakes Heights – Nonconforming Structures, 6111000T003. (Staff: Joe Metzger)

- Bridgeway Community – Multifamily Development Permit, 17N02W11B005. (Staff: Joe Metzger)
- Great Alaska Cannabis Bowl – Temporary Noise Permit, 7717000T00L-1C. (Staff: Mark Whisenhunt)
- Great Alaska Cannabis Bowl – Special Event Permit, 7717000T00L-1C. (Staff: Mark Whisenhunt)
- Vertical Bridge – Tall Structure (Admin) 17.67, – 3471000T00A-1. (Staff: Joe Metzger)
- Woodland Park – Nonconforming Structures (amnesty) – 3037B01L027. (Staff: Joe Metzger)
- Frontier Dream – Administrative Permit for Earth Materials Extraction, 5745000L002. (Staff: Mark Whisenhunt)
- Midnight Landing Lot 2 – Multifamily Permit, 7702000L002. (Staff: Mark Whisenhunt)

PC Decisions Currently Under Appeal

- **Resolution 18-30**, a Conditional Use Permit (CUP) in accordance with MSB 17.60 – Conditional Uses; allowing the operation of a junkyard/refuse area, located at 743 West Sunrise Drive (Tax ID#: 640500L006); within Township 18 North, Range 2 West, Section 33, Seward Meridian. **Alaska Superior Court has issued an order remanding this item back to the Planning Commission. A new public hearing will be scheduled.** (Applicant: Dewayne Creech for Creech’s Junkyard, Staff: Mark Whisenhunt)
- **Resolution PC 19-17**, a Conditional Use Permit in Accordance with MSB 17.60 – Conditional Uses; allowing for the operation of a marijuana retail facility, located at 1204 N. Hyer Spur (Tax ID# 7775000L002); within Township 17 North, Range 1 East, Section 4, Seward Meridian. Appealed to the BOAA. Planning Commission decision upheld by BOAA on September 11, 2019. Appealed to Alaska Superior Court. (Applicant: Teri Zell, on behalf of Higher By Bad Gramm3r, LLC; Staff: Joe Metzger)
- **Resolution PC 19-18**, a conditional use permit in accordance with MSB 17.30, Conditional Use Permit for Earth Material Extraction, located at 56218 S. Parks Highway (Tax ID# 22N04W06B003); within Township 22 North, Range 4 West, Section 6, Seward Meridian. A CUP would allow for the removal of approximately 1,000,000 cubic yards of earth materials through 2029. The Planning Commission failed to garner enough votes to approve the permit. Planning Commission decision overturned by the BOAA on October 29, 2019. Appealed to Alaska Superior Court. (Applicant: Emily McDonald on behalf of Don Jean Pit, Staff: Joe Metzger)

Updates on PC items going to the Assembly (Pending)

None

Updates on PC items that went to the Assembly (Complete)

None

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