

**MATANUSKA-SUSITNA BOROUGH  
PLANNING COMMISSION AGENDA**

Vern Halter, Mayor

**PLANNING COMMISSION**

Mary Anderson, District 1  
Jason Ortiz, District 2  
Patricia Chesbro, District 3  
Colleen Vague, Chair, District 4  
Chris Elder, District 5  
Stafford Glashan, District 6  
Sassan Mossanen, District 7



George Hays, Acting Borough Manager

**PLANNING & LAND USE  
DEPARTMENT**

Eileen Probasco, Director of Planning & Land Use  
Kim Sollien, Planning Services Manager  
Alex Strawn, Development Services Manager  
Fred Wagner, Platting Officer  
Karol Riese, Acting Planning Clerk

*Assembly Chambers of the  
Dorothy Swanda Jones Building  
350 E. Dahlia Avenue, Palmer*

**June 15, 2020  
REGULAR MEETING  
6:00 p.m.**

Ways to participate in Planning Commission meetings:

**IN PERSON.** Should you wish to testify in person, please adhere to the 6-foot distance between yourself and others. It is highly recommended that you bring your own mask to wear.

**IN WRITING:** You can submit written comments to the Planning Commission Clerk at [planning@matsugov.us](mailto:planning@matsugov.us)

**TELEPHONIC TESTIMONY:** Call **1-833-949-2500**. You will be able to hear the meeting while you wait for your turn to testify. You will know when it is your turn to testify when you hear a chime.

Those who wish to listen to the meeting may Livestream Audio at [Radiofreepalmer.org](http://Radiofreepalmer.org).

- I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM
- II. APPROVAL OF AGENDA
- III. PLEDGE OF ALLEGIANCE
- IV. CONSENT AGENDA

*Items on the consent agenda are considered to be routine and non-controversial by the Commission and will be approved by one motion. There will be no separate discussion of these items unless a Commission Member so requests, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.*

- A. MINUTES
  - 1. June 8, 2020, regular meeting minutes
  
- B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS
  - 1. **Resolution PC 20-18**, a request under MSB 17.65 Variances, for a variance from the 75-foot shoreline setback requirement under MSB 17.55, located at 5782 S. Big Lake Road (Tax ID # 6142000L006), within 17 North, Range 3 West, Section 29, Seward Meridian; Public Hearing: July 6, 2020. (*Applicant: Dennelle Seetomona on behalf of Janice Ellsworth, Staff: Joe Metzger*).
  - 2. **Resolution PC 20-19**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 2439 S. Ridgecrest Road (Tax ID# 17N02W20B005); within Township 17 North, Range 2 East, Section 20, Seward Meridian. Public Hearing: July 6, 2020. (*Applicant: Heather Allen, on behalf of Bristol Bay Bud Company, Staff: Mark Whisenhunt*)
  - 3. **Resolution PC 20-20**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 47265 S. Brookestar’s Circle (Tax ID # 22N04W01A004), within Township 22 North, Range 4 West, Section 01, Seward Meridian. Public Hearing: July 6, 2020. (*Applicant: Kenneth Champ, of Arctic Hydroponics, LLC, Staff: Mark Whisenhunt*).
  - 4. **Resolution PC 20-21**, a Conditional Use Permit in accordance with MSB 17.30—Conditional Use Permit (CUP) for Earth Materials Extraction Activities, for the extraction of approximately 407,300 cubic yards of earth material from a 19-acre site within two parcels totaling 160 acres, located within Township 17 North, Range 1 East, Sections 1&2, Tax Parcels D21 & D5 (Tax ID # 17N01E02D021 & 17N01E01D005), Seward Meridian. Public Hearing: July 6, 2020. (*Applicant: MSB Land Management Division, Staff: Mark Whisenhunt*).
  
- C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS
  
- V. COMMITTEE REPORTS
  
- VI. AGENCY/STAFF REPORTS
  - A. Lake Management Plan Amendments Presentation. (*Staff: Eileen Probasco*)
  - B. Wetlands Management Presentation. (*Staff: Ted Eischeid*)
  
- VII. LAND USE CLASSIFICATIONS
  
- VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)
  
- IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS (*Public Hearings shall not begin before 6:15 p.m.*)

***Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.***

*The Planning Commission members may submit questions to the Planning Commission Clerk concerning the following matters or request for more information from the applicant at the time of the introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing.*

A. **Resolution PC 20-17**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana retail facility, located at 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A); within Township 17 North, Range 1 East, Section 16, Seward Meridian. (*Applicant: Jane Weltzin & Country Cannabis, LLC, Staff: Mark Whisenhunt*)

X. PUBLIC HEARING: LEGISLATIVE MATTERS

XI. CORRESPONDENCE & INFORMATION

A. North Lake Community Council Resolution

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Adjudicatory (*if needed*)

B. Upcoming Planning Commission Agenda Items (*Staff: Alex Strawn*)

XV. DIRECTOR AND COMMISSIONER COMMENTS

XVI. ADJOURNMENT (Mandatory Midnight)

*In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for definition of "Interested Party." The procedures governing appeals to the Board of Adjustment & Appeals are contained in MSB 15.39.010-250, which is available on the Borough Internet home page, <http://www.matsugov.us>, in the Borough Clerk's office, or at various libraries within the Borough.*

**Disabled persons needing reasonable accommodation in order to participate at a Planning Commission Meeting should contact the Borough ADA Coordinator at 861-8432 at least one week in advance of the meeting.**

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**INTRODUCTION FOR PUBLIC HEARING  
QUASI-JUDICIAL**

**Resolution No. PC 20-18**

**Dennelle Seetomona on behalf of Janice Ellsworth  
5782 Big Lake Road**

(Page 5)

**INTRODUCTION FOR PUBLIC HEARING**





# MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department  
Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-7876

Email: [PermitCenter@matsugov.us](mailto:PermitCenter@matsugov.us)

Matanuska-Susitna Borough  
Development Services

**PAID**

## APPLICATION FOR A VARIANCE – MSB 17.65

APR 02 2020

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Received

Application fee must be attached:

X \$1,000 for Variance Mailed 3-27-2020

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

**Subject Property** Township: 17N, Range: 3W, Section: 29, Meridian Seward

MSB Tax Acct # 6142000L006

SUBDIVISION: Hibbard Addition BLOCK(S): \_\_\_\_\_, LOT(S): 6

STREET ADDRESS: 5782 S. Big Lake Road

(US Survey, Aliquot Part, Lat. /Long. etc) \_\_\_\_\_

**Ownership** A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached?  Yes  No  N/A

**Name of Property Owner**

Janice Ellsworth

Address: 9424 Noblewood

Anchorage, AK 99515

Phne: Hm \_\_\_\_\_ Fax \_\_\_\_\_

Wk \_\_\_\_\_ Cell 907.229.5051

E-mail ells@ak.net

**Name of Agent/ Contact for application**

Dennelle Seetomona (MX&B Dev.)

Address: Po Box 91179

Anchorage, AK 99509

Phne: Hm \_\_\_\_\_ Fax \_\_\_\_\_

Wk \_\_\_\_\_ Cell 907.223.8442

E-mail mxandb@gci.net

Description	Attached
A variance from MSB 17. 55 is being applied for and is specifically described.	✓
Provide a detailed written description as to why the variance is required.	

Drawings	Attached
A boundary-survey and site plan of the proposed and/or existing development, of the particular parcel or parcels affected. (See attached survey standards checklist). The survey must be submitted under the seal of an Alaska registered professional land surveyor.	✓
Structural elevation drawing(s) for the purpose of indicating the proposed height and bulk, view and other dimensions of the subject structure.	N/A

<b>In order to grant a variance from MSB Title 17, the Planning Commission must find that each of the following requirements has been met (17.65.020). Explain how the request meets each requirement. Include information such as physical surroundings, shape or topographical conditions of the property which would support the granting of a variance.</b>	Attached ✓
1. What unusual conditions or circumstances apply to the property for which the variance is sought?	✓
2. How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.	✓
3. Why the granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.	✓
4. How will the granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plans?	✓
5. How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.	✓

<b>A variance may <u>not</u> be granted if any of the conditions listed below are true. Explain why each condition is <u>not</u> applicable to this application.</b>	Attached
1. The special conditions that require the variance are caused by the person seeking the variance.	✓
2. The variance will permit a land use in a district in which that use is prohibited.	✓
3. The variance is sought solely to relieve pecuniary hardship or inconvenience.	✓

**OWNER'S STATEMENT:** I am owner of the following property:

MSB Tax parcel ID #(s) 6142000 L006 and, I hereby apply for approval a setback variance on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.55 and MSB 17.65 and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved variance may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

 Re: Big Lake Variance



**ells@ak.net**

Tuesday, March 10, 2020 at 2:13 PM

mx&b development

[Show Details](#)

Permission granted. Thank you!

On Mar 10, 2020, at 2:11 PM, Kari Bustamante <[karibustamante02@gmail.com](mailto:karibustamante02@gmail.com)> wrote:

Dennelle,  
You have our permission thank you!  
-Kari

Sent from Kari Bustamante's iPhone

On Mar 10, 2020, at 1:55 PM, mx&b development <[mxandb@pci.net](mailto:mxandb@pci.net)> wrote:

Hello all,

We have received your as-built for the Big Lake property and I am working through the argument for your variance. I am planning on delivering your application and application fee to Joe Metzger this week, depending on his availability. I will also be picking up your original as-built drawing for your records.

The application asks for the owner or owner's agent to apply for the variance, submit in writing the argument for the variance and finally, make a verbal argument before the board in 10-12 weeks.

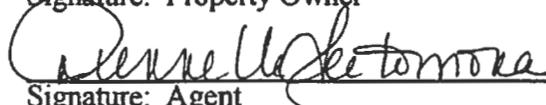
I am asking from each of you that I have your permission to act as your agent regarding the variance for Lot 6 of the Hibbard Addition in Big Lake, Alaska, and can follow this process to the end for you.

Warm regards,

Dennelle Seetomona

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

Signature: Property Owner	Printed Name	Date
	Dennelle Seetomona	3.27.2020
Signature: Agent	Printed Name	Date

**Variance Application  
MSB 17.65**

**Matanuska-Susitna Borough  
Minimum Survey Drawing Standards**

*For Matanuska-Susitna Borough (MSB) 17.60 Conditional Uses, 17.65 Variances, MSB 17.80 Legal Nonconforming Structures, and any site plan or survey required to be provided under the seal of a registered surveyor. Additional data may be required. For more information contact the MSB Code Compliance Division at (907) 745-9853, E-mail: ccb@matsugov.us*

**CHECK LIST**

- 1) Critical Lot Line(s)
  - a. corners in
  - b. record & measured distances shown
  - c. new corners set
  
- 2) Setback Shown:
  - a. furthestmost protruding part of structure(s) including attached eaves, decks, cantilevers, etc. (at closest points of separation)
  - b. dimensioned to 0.1 foot, with no +/-
  - c. other dimensions required by applicable code.
  
- 3) Easements/Rights of Way
  - a. all dedicated public easements on lot (identify by type); adjacent public rights of way (with name)
  - b. verify section line easement (SLE)
  
- 4) Survey for MSB used is not a mortgage survey:
  - a. no exclusion of use note
  - b. no copyright
  - c. north arrow
  - d. scale
  - e. show control used
  - f. Basis of Bearing
  - g. type and size of all monuments found or set
  - h. legal description
  - i. date of field survey
  - j. seal, sign
  - k. surveyor's printed name and address
  
- 5) Other specific information relevant to the application
  - a. specific dimensions of structures, development
  - b. dates of construction, additions
  - c. identification of relevant decks, eaves, additions, "phases" of construction, use areas, areas where heights are different, etc.
  - d. water bodies onsite, adjacent to lot, or within 75 feet of a structure on the lot
  - e. other information required by the applicable MSB ordinance or required to administer the applicable code. Check relevant codes and instruction sheets for additional information.
  - f. topography

Petitioner: Janice Ellsworth

5782 S. Big Lake Road  
Hibbard Addition Lot 6

MSB Tax ID: 6142000L006

A variance to 17.55 (MSB Setbacks) is required at 5782 S. Big Lake Road in order to allow the single-family home built on lot 6 of the Hibbard Addition to remain in place.

**1. What unusual conditions or circumstances apply to the property for which the variance is sought?**

This property is situated between lot 5 to the west, lot 7 to the east, South Big Lake Road to the south and Big Lake to the north. The required side setbacks from the neighboring lots are 10' each, South Big Lake Road has a 25' right of way setback, and the lake has a setback of 75'.

This property also has an overhead power line that runs through it, parallel to South Big Lake Road, approximately 82' from the south property line. This power line requires a 30' easement, where no permanent structure may be built, regardless if the power line is above or below the ground.

These setbacks and easements restricted the possible building area for the new family home to the area between the overhead powerline easement and the lake.

**2. How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.**

Strict application of this title would have limited the size, shape and location of the home that would be nonconforming to the neighboring homes. The home located on this property is similar in size, shape and proximity to the lake as other homes along this stretch of the road.

**3. Why granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.**

As mentioned above, the homeowners did their best to conform with neighboring properties so as not to use more or less of their property than adjacent property owners. They, in good faith, were trying to follow the standards set by their neighbors. The homeowners were thoughtful of their neighbors and the utility easements and built a house that only covers approximately 18% of the lot, which is not detrimental to nearby property or public welfare.

Petitioner: Janice Ellsworth

5782 S. Big Lake Road  
Hibbard Addition Lot 6

MSB Tax ID: 6142000L006

**4. How will granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plan?**

Setbacks are in place to restrict homeowners from encroaching into each other's property and to restrict permanent structures in areas needed for utilities and other municipal or borough needs. I feel the homeowners' thoughtfulness to these restrictions and to not overbuild demonstrates that they were mindful of their surroundings and tried to keep their home comparable to other single-family homes in the neighborhood.

**5. How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.**

This is a single-family property in a community that is built around a legacy of families spending time together enjoying all of the summer and winter recreational benefits Big Lake has to offer. This variance would allow a young family to connect with other families in similar ways and to share those connections with future generations.

Granting this variance will allow the family to enjoy the same benefits of living near the lake that many, many families enjoy.

**Conditions not applicable:**

**1. The special condition that requires the variance are not caused by the person seeking the variance.**

This condition is not applicable since the homeowners did not cause the right of way setbacks or the utility easements that restricted the buildable area on the lot.

**2. The variance will permit a land use in a district in which that use is prohibited.**

This condition is not applicable since the homeowners built a single-family home on a single-family lot in a single-family neighborhood.

**3. The variance is sought solely to relieve pecuniary hardship or inconvenience.**

This condition is not applicable since the homeowners are under no financial hardships nor did they build this home as contractors to resell.

**MX&B Development, LLC**  
PO BOX 91179  
Anchorage, AK 99509

Attn: Joe Metzger  
Mat. Su Borough  
350 E. Dahlia Ave.  
Palmer, AK

99645

3954

**MX&B DEVELOPMENT, LLC**  
P.O. BOX 91179  
ANCHORAGE, AK 99509  
(907) 223-8442

89-93/1252

DATE 3.27.2020

PAY TO THE  
ORDER OF

Mat. Su Borough

\$ 1000<sup>00</sup>

One thousand <sup>no</sup>/<sub>100</sub>

DOLLARS

NORTHRIM BANK  
C STREET BRANCH  
ANCHORAGE, AK 99501

Tax ID 61420001008

Lot 6

FOR Ellsworth Variance Hibbard Add.

*[Signature]*

⑈003954⑈ ⑆ 125200934⑆ 7101296767⑈



## MATANUSKA-SUSITNA BOROUGH

### Planning and Land Use Department

### Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

[www.matsugov.us](http://www.matsugov.us)

April 22, 2020

Dennelle Seetomona on behalf of,  
Janice Ellsworth  
PO Box 91179  
Anchorage, AK 99509

SUBJECT: Variance to 17.55 Application – Request for Required Information  
LOCATION: 5782 S. Big Lake Road (Tax ID: 6142000L006)

Dear Ms. Seetomona,

Borough staff has reviewed the application material and the site plan(s) submitted on April 2, 2020 and the updated site plan submitted on April 21, 2020 for a variance to 17.55 (Setbacks) on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request:

1. Borough staff is aware that prior to the construction of the current structure on the subject parcel, there was another structure situated on the property that was torn down and removed. Please provide the rationale and justification for the removal of the old structure and the construction of the new structure on the subject property. It may be helpful to provide a timeline that indicates what occurred and when.
2. In lieu of the new as-built survey submitted on April 21, 2020, please ensure the narrative portion of the application reflects the current as-built survey.

**NOTICE: Our offices are currently closed to the public as a health precaution in response to the COVID-19 (Corona Virus) outbreak. Please submit all updated information electronically, or call to make other arrangements for submittal.**

Once an application has been determined to be complete, staff will begin the public notice process. Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-7862, or email: [joseph.metzger@matsugov.us](mailto:joseph.metzger@matsugov.us). Thank you for your time and consideration on this matter.

Respectfully,

Joe Metzger  
MSB Planner II  
907-861-7862

MATANUSKA-SUSITNA BOROUGH  
DEVELOPMENT SERVICES

From the MSB Planning and Land Use Department dated 4/22/2020:

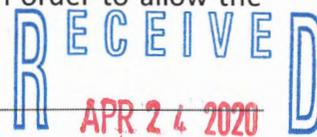
1. Borough staff is aware that prior to the construction of the current structure on the subject parcel, there was another structure situated on the property that was torn down and removed. Please provide the rationale and justification for the removal of the old structure and the construction of the new structure on the subject property. It may be helpful to provide a timeline that indicates what occurred and when.

**Response:** The cabin is believed to have been built in 1975. The wood was rotting, and the cabin had to continually be re leveled (jacked up) due to poor foundation and soil conditions. Due to the age of the structure and deteriorating condition of the foundation, the cabin was unsafe for our family to occupy and we felt the only remedy was to rebuild a new home.

2. In lieu of the new as-built survey submitted on April 21, 2020, please ensure the narrative portion of the application reflects the current as-built survey.

**Response:** An updated response to the application “conditions” has been attached to the email sent to Joe Metzger dated 4/24/2020.

A variance to 17.55 (MSB Setbacks) is required at 5782 S. Big Lake Road in order to allow the single-family home built on lot 6 of the Hibbard Addition to remain in place.



**1. What unusual conditions or circumstances apply to the property for which the variance is sought?**

This property is rectangular in shape with side lengths of ~185' on its east boundary and ~197' on its west boundary, with its north and south boundaries ~100' wide. The required side setbacks from the neighboring lots are 10' each, South Big Lake Road has a 25' right of way setback, and the lake has a setback of 75'.

The current ROW easement on this property is 75'.

When the owners subtracted the ROW easement, the ROW set back, the lake setback, and side setbacks, the buildable area was reduced to a sliver of land, unreasonable in size to build a single-family home commensurate with the neighboring homes.

What makes this lot unusual is it is almost entirely consumed by setbacks.  
(See attached as-built that the homeowners would have used to decide where to put their house.)

**2. How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.**

The neighboring lots are appointed with updated homes with sizes that are proportionate to families of four or more people, who enjoy the activities the lake provides. The homeowners wanted a home that would accommodate their growing family and blend with those around them.

Strict application of this title would have essentially prohibited any new construction because it is bound by the ROW set back to the south and the lake set back to the north. Strictly following this title would have required the homeowners to inhabit a 480 square foot unsafe, dilapidated cabin.

**3. Why granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.**

The variance will not be injurious to nearby properties because this home is located in a residential area and is situated similarly on the lot in comparison to their neighbors' lots, thereby giving the neighborhood a cohesive feel. It also adheres to the ROW set back so as not to interfere with any borough expansion that may take place in the future.

**4. How will granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plan?**

The homeowners were faced with building their family home in the lake set back or the ROW set back as no other options were reasonable. They chose to adhere to the 25' ROW set back and build a home similar in size, shape, style and position on the lot to conform to the standards set in their neighborhood.

**5. How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.**

Not deviating from this title would allow no one to build on this particular lot, as it is wholly covered in setbacks, and would essentially leave the owners with an undesirable lot, for their use or for anyone in the future.

Granting this variance will allow the family to enjoy the same benefits of living near the lake that many, many families enjoy.

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**Conditions not applicable:**

**1. The special condition that requires the variance are not caused by the person seeking the variance.**

This condition is not applicable since the homeowners did not cause the right of way setbacks or the lake setbacks that restricted the buildable area on the lot.

**2. The variance will permit a land use in a district in which that use is prohibited.**

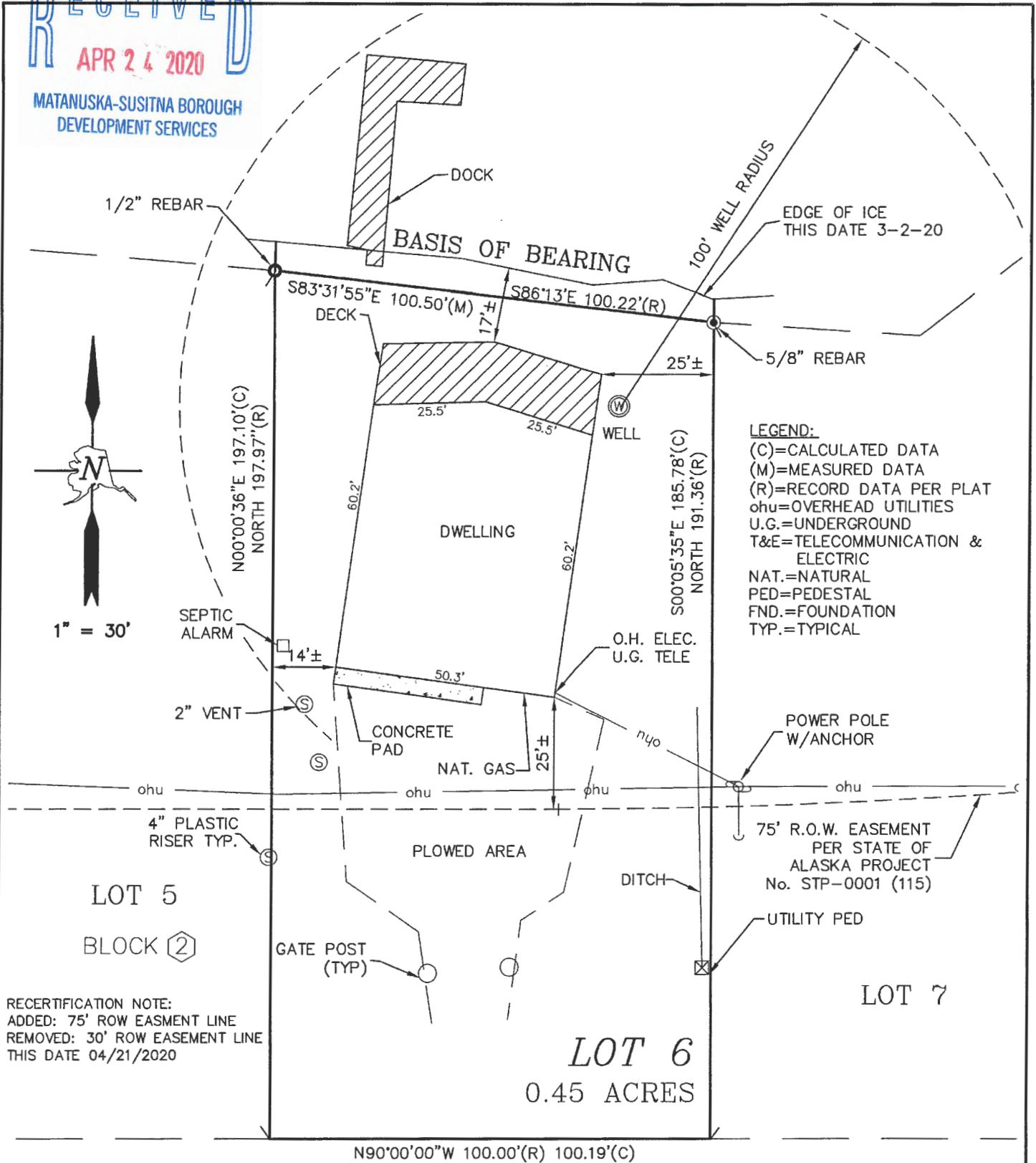
This condition is not applicable since the homeowners built a single-family home on a single-family lot in a single-family neighborhood.

**3. The variance is sought solely to relieve pecuniary hardship or inconvenience.**

This condition is not applicable since the homeowners are under no financial hardships nor did they build this home as contractors to resell or use for other financial gain.

RECEIVED  
APR 24 2020

MATANUSKA-SUSITNA BOROUGH  
DEVELOPMENT SERVICES

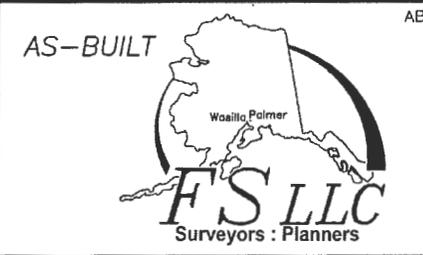
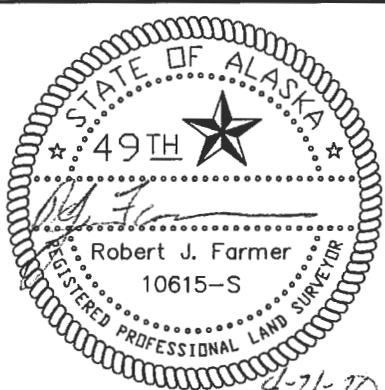


RECERTIFICATION NOTE:  
ADDED: 75' ROW EASEMENT LINE  
REMOVED: 30' ROW EASEMENT LINE  
THIS DATE 04/21/2020

N90°00'00"W 100.00'(R) 100.19'(C)

**S. BIG LAKE RD.**

BOUNDARY & BASIS OF BEARING DERIVED FROM AS-BUILT/LOT SURVEY PREFORMED BY DENALI NORTH & DATED APRIL 17, 1991



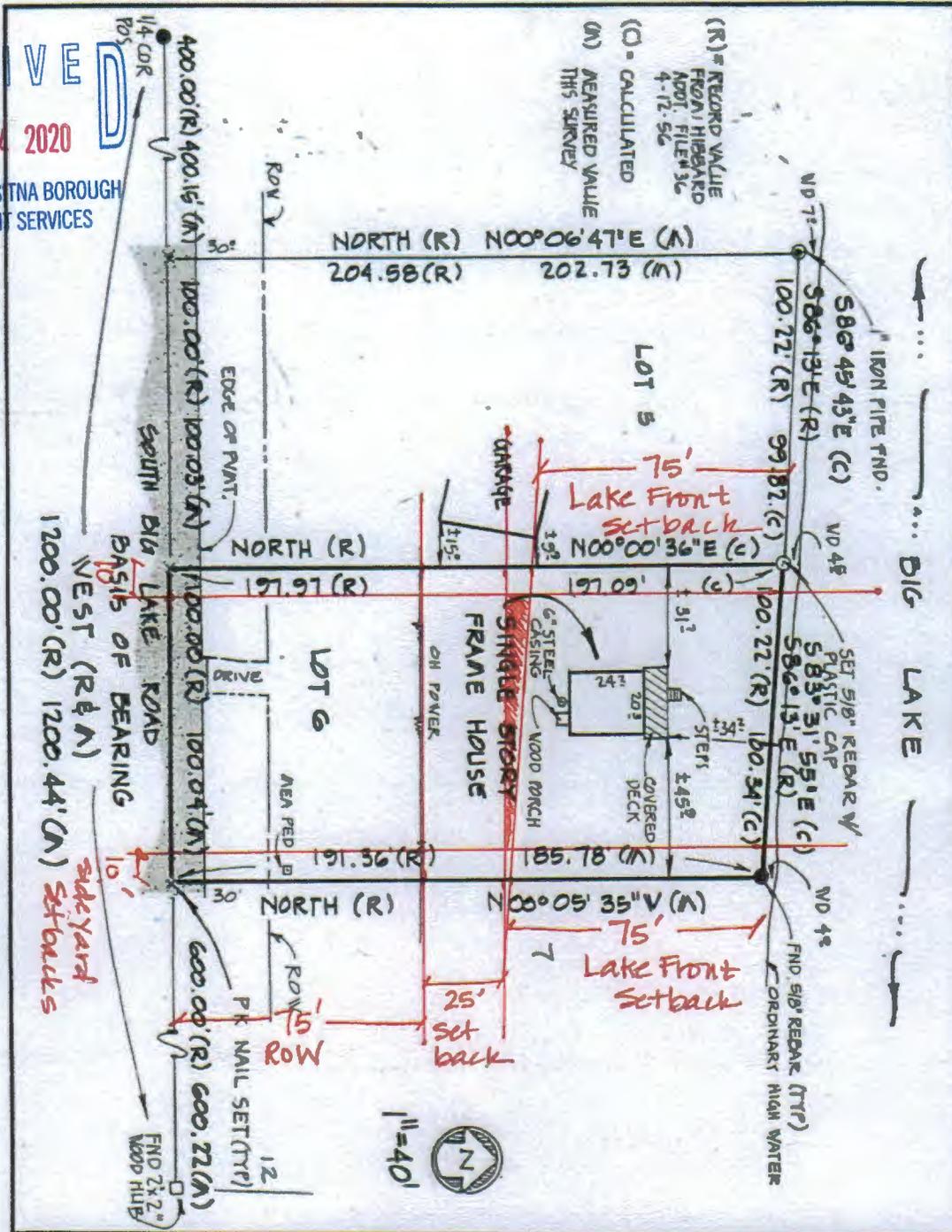
<b>FARMER SURVEYING</b> 9131 E. FRONTAGE RD. PALMER, ALASKA 99645 PH: (907)745-0222 bob@farmersurveying.com www.farmersurveying.com	
WO: 2000043	FB: 20-02
PAGE: 1 of 1	FILE: 2000043AS
SCALE: 1" = 30'	

I HEREBY CERTIFY THAT A MORTGAGE INSPECTION WAS PERFORMED UNDER MY DIRECTION ON THE FOLLOWING DESCRIBED PROPERTY:  
**HIBBARD ADD SUBDIVISION, LOT 6,  
 PLAT No. W-36, PALMER RECORDING DISTRICT, PALMER, ALASKA.**  
 SURVEYED ON THE 2ND OF MARCH, 2020.

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**RECEIVED**  
 APR 24 2020

MATANUSKA-SUSTANA BOROUGH  
 DEVELOPMENT SERVICES



JOB NO. 91-22	CLIENT	FIELD BOOK 88, Pgs. 53-57
SCALE 1"=40'	PLOT PLAN	AS-BUILT LOT 6 MAP 40 SURVEY DRAWN PS CHKD WW

**DENALI NORTH** P.O. BOX 870086 WASILLA, ALASKA 99687  
 PHONE 1907) 373-1110

I HEREBY CERTIFY THAT I HAVE SURVEYED THE FOLLOWING DESCRIBED PROPERTY: LOT 6 BLOCK HIBBARD ADDITION PALMER REG. DIST. AND THAT NO ENCROACHMENTS VISIBLE AT THE TIME OF THIS SURVEY EXIST EXCEPT AS INDICATED.  
 Dated this 17th day of APRIL, 1991, Wasilla, Alaska  
 IT IS THE RESPONSIBILITY OF THE OWNER(S) OR BUILDER TO DETERMINE THE EXISTANCE OF ANY EASEMENTS, COVENANTS, OR RESTRICTIONS WHICH DO NOT APPEAR ON THE RECORDED SUBDIVISION PLAT. UNDER NO CIRCUMSTANCES SHOULD ANY DATA HEREON BE USED FOR CONSTRUCTION OR FOR ESTABLISHING BOUNDARY OR FENCE LINES.



Property Location: 61420002006 Applicant: \_\_\_\_\_

USE PERMITS {100.000.000.341.300}	Fee
8.35 Public Display of Fireworks	\$25.00
8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.52 Temporary Noise Permit	\$500.00
8.55 Special Events Permit 500 – 1000 Attendees 1000+ Attendees	\$500.00 \$1,000.00
8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
17.02 Mandatory Land Use Permits- Residential Non-habitable	\$25.00
Commercial/Industrial	\$150.00
17.04 Nancy Lake Special Land Use District CUP	\$1,000.00
17.06 Electrical Generating & Delivery Facility Application	\$500.00
17.08 Hay Flats Special Land Use District Exception Application	\$1000.00
17.17 Denali State Park Conditional Use Permit	\$1000.00
17.18 Chickaloon Special Land Use District CUP	\$1000.00
17.19 Glacier View Special Land Use District CUP	\$1000.00
17.23 Port MacKenzie Development Permit	\$1000.00
17.25 Talkeetna Conditional Use Permit	\$1000.00
17.25 Talkeetna Conditional Use Permit – Variance	\$1000.00
17.27 Sutton Special Land Use District CUP	\$1000.00
17.29 Flood Damage Prevention Development Permit	\$100.00
17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
17.30.040 Earth Materials Extraction Admin. Permit	\$500.00
17.30.050 Earth Materials Extraction CUP	\$1000.00
17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots Additional Lots or tracts being created – Per Lot	\$500.00 \$100.00
17.48 Mobile Home Park Permit Application	\$500.00
17.52 Residential Land Use District App (Rezone)	\$1,000.00
17.52 Conditional Use Permit Application CUP	\$1,000.00
17.55 Shoreline Setback Exception Application	\$300.00
17.60 Conditional Use Permit Application	\$1000.00

	17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1000.00
	17.62 Coal Bed Methane	\$1000.00
	17.63 Conditional Use Permit for Racetracks	\$1000.00
X	17.65 Variance	\$1000.00
	17.67 Tall Structures - Network Improvement Permit	\$100.00
	Nonconforming Use	\$200.00
	Administrative Permit	\$500.00
	Conditional Use Permit	\$1000.00
	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1000.00
	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
	17.75 Single-Family Residential Land Use District CUP	\$1000.00
	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
	17.9 Adult Businesses – Conditional Use Permit	\$1000.00
	28.6	\$300.00

	RIG		
	Driv		\$50.00
<input type="checkbox"/>	Dn		\$150.00
	Co		\$200.00
	Ut		
	Er		\$150.00
	C		
	P		
	Pre-Application Fee		\$50.00

Matanuska Susitna Borough  
 Payment Date Monday, April 6, 2020  
 Deposit Number 40580  
 Operator hoff0401  
 Real 2020 (Total) \$0.00  
 MCR (Planning/Platting) \$1,000.00  
 Misc Rec  
 Tax Map # 1MISC  
 Total Paid \$1,000.00  
 Check \$1,000.00  
 Change \$0.00  
 Receipt Number MSB91402261  
 4/6/20 9:08:20 AM  
 Paid By MX & B DEVELOPMENT LLC  
 Cashier Id: hoff0401

	<b>FEES:</b>	
	Flood Plain Development Survey CD	\$10.00
	CD/DVD/DVD-R	\$7.50
	Construction Manual/Title 43	\$5.00
	Plat Map/Tax Map Copies/Mylar	\$5.00
	Color Maps	\$12.00
	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
	Advertising Fees	
	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1000 Amount Paid Date: 4-6-20 Receipt # 91402261 By: [Signature]

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**INTRODUCTION FOR PUBLIC HEARING  
QUASI-JUDICIAL**

**Resolution No. PC 20-19**

**Bristol Bay Bud Company  
2439 S. Ridgecrest Road**

(Page 25)

**INTRODUCTION FOR PUBLIC HEARING**



PAID

Matanuska-Susitna Borough  
Development Services

APR 07 2020



**MATANUSKA-SUSITNA BOROUGH**

**Planning and Land Use Department  
Development Services Division**

Received

350 East Dahlia Avenue • Palmer, AK 99645  
Phone (907) 861-7822 • Fax (907) 861-8158  
Email: [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us)

**CONDITIONAL USE PERMIT FOR  
MARIJUANA RELATED FACILITIES – MSB 17.60**

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

**Application fee must be attached:**

- \$1,000 for Marijuana Retail Facility
- \$1,000 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

**Required Attachments for a Marijuana Cultivation Facility:**

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- Hazardous Chemicals Information – 17.60.160 (C)
- Security plan – 17.60.160 (D)

**Required Attachments for Both Retail and Cultivation Facilities:**

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 17N, Range: 2W, Section: 20, Meridian: \_\_\_\_\_  
 MSB Tax ID# 17N02W20B005  
 SUBDIVISION: \_\_\_\_\_ BLOCK(S): \_\_\_\_\_, LOT(S): B5  
 STREET ADDRESS: 2439 S Ridgcrest Rd. Wasilla, AK 99623  
 FACILITY / BUSINESS NAME: Bristol Bay Bud Company

**Ownership:** A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached?  Yes  No  N/A

**Name of Property Owner**  
Gurden & Susan Isaacs  
 Mailing: PO Box 563  
Dillingham, AK 99576  
 Phone: Hm \_\_\_\_\_ Fax \_\_\_\_\_  
 Wk 907-843-0474 Cell 907-843-0473  
 E-mail susan@bristolbaybudcompany.com

**Name of Agent / Contact for application**  
Heather Allen  
 Mailing: PO Box 825  
Dillingham, AK 99576  
 Phone: Hm \_\_\_\_\_ Fax \_\_\_\_\_  
 Wk \_\_\_\_\_ Cell 907-843-2518  
 E-mail heather@bristolbaybudcompany.com

<b>Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:</b>	<b>Attached</b>
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	✓
Signage – Existing and Proposed.	none
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	✓
Buffering – Fences, vegetation, topography, berms, and any landscaping	✓
Drainage	✓
Vehicular and pedestrian circulation patterns.	✓
Exterior site lighting.	✓
Location and dimensions of parking areas to be provided	✓
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	✓

<b>Map – Attach a detailed, to scale, vicinity map clearly showing the following information:</b>	<b>Attached</b>
Identify all existing land uses within 1,000 feet.	✓
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	✓

<b>In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:</b>	<b>Attached</b>
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	✓
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	✓
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	✓
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	✓
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	✓
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> <li>• Increased property line and right-of-way buffers</li> <li>• Planted berms and landscaping</li> <li>• Site and building design features which contribute to the character of the surrounding area</li> </ul>	✓
Describe how this use is compatible with the character of the surrounding area.	✓
Current status of State License application process – 17.60.150 (D) (1)	✓

<b>17.60.170 Standards for Marijuana Retail Facilities:</b>	<b>Attached</b>
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> <li>• The proximity of the proposed use to existing businesses;</li> <li>• The proximity of parcels developed with residential uses;</li> <li>• Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and</li> <li>• Proposed hours of operations.</li> </ul>	n/a
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	

<b>Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:</b>	<b>Attached</b>
Dimensions of all structures.	n/a
Interior floor plans (specific location of the use or uses to be made of the development).	
Net floor area square footage calculations.	

**OWNER'S STATEMENT:** I am owner of the following property:

MSB Tax account #(s) 17N02W20B005 and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

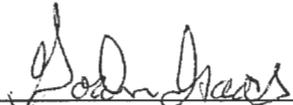
I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

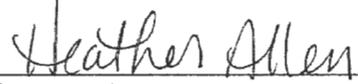
I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

 Gordon Isaacs 3/28/2020  
 Signature: Property Owner Printed Name Date

 Heather Allen 3/28/2020  
 Signature: Agent Printed Name Date

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Bristol Bay Bud Company-Cultivation  
2439 S. Ridgecrest Rd  
Wasilla, AK 99623

March 29, 2020

Re: Conditional Use Permit for Standard Cultivation

Dear Committee:

The attached is the Conditional Use Permit application for a licensed standard marijuana cultivation located at 2439 S. Ridgecrest Road, Wasilla 99623. There are three sections to the “packet.”

We have included separate documentation for the Fire Marshal, Wastewater and Waste Material Disposal Plan, Odor Mitigation and Ventilation Plan, Hazardous Chemicals Information, Security Plan, and proof of state license status (currently we are Delegated).

For the *Site Plan* section, we have attached two diagrams for the section’s responses. The “As-Built Plot” document demonstrates the dimensions of the property, setbacks, and access points for public access. The hand drawn diagram addresses the parking, exterior lighting, drainage, vegetative and tree buffering, and surrounding land uses.

For the *Map* section, we have attached a Google Earth image indicating the proximity of the surrounding properties. 2439 S. Ridgecrest Road is on the farthest end of a residential neighborhood. The 10-acre property is isolated and surrounded with relatively dense natural vegetation and trees.

Finally, the proposed licensed standard cultivation facility located at 2439 S. Ridgecrest Road, Wasilla Alaska is an isolated location that was established in 2005. This is a 10-acre natural rock pad that is approximately 10-12 feet above the surrounding tundra providing efficient and natural draining. The property lines are generally bermed with relatively dense foliage preventing a majority of visual access to the property. There are no developed parcels adjacent to the property to the north and west. To the south and east there are established single and multi-family homes well beyond the required set backs (see As-Built Plot). The only accessible driveway is located on the south end of the property off of W. Rose Hill Circle. The driveway is approximately 300 feet long and on average 10 feet wide. The second driveway on the north end of the property, off of W. Misty Lake, has been barricaded since the property was purchased in 2018.

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

Richard Allen  
907-843-2519  
[richard@bristolbaybudcompany.com](mailto:richard@bristolbaybudcompany.com)

Susan Isaacs  
907-843-0473  
[susan@bristolbaybudcompany.com](mailto:susan@bristolbaybudcompany.com)

Gorden Isaacs  
907-843-0474  
[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)



*Bristol Bay  
Bud Company*

Bristol Bay Bud Company-Cultivation  
2439 S. Ridgecrest Rd  
Wasilla, AK 99623

The partners of Bristol Bay Bud Company's cultivation facility feel that the cultivation of marijuana on the property under review have no foreseen impact of the neighboring land owners and environment. Indoor cultivation will not change the physical, external appearance of the building or property. The property lines provide an existing and dense buffer that camouflages the facility. The necessary odor prevention is in place as described in the odor mitigation and ventilation plan. No non-domestic wastewater will be released. The owners and employees will handle all potentially hazardous chemicals as determined by the appropriate authorities. Bristol Bay Bud Company's standard cultivation will not be harmful to the public health, safety, convenience, or welfare of our community.

Regards,



Heather Allen  
Managing Partner  
HRGS Enterprises, LLC  
907-843-2518

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

Richard Allen  
907-843-2519  
[richard@bristolbaybudcompany.com](mailto:richard@bristolbaybudcompany.com)

Susan Isaacs  
907-843-0473  
[susan@bristolbaybudcompany.com](mailto:susan@bristolbaybudcompany.com)

Gorden Isaacs  
907-843-0474  
[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)



Bristol Bay Bud Company-Cultivation  
2439 S. Ridgecrest Rd  
Wasilla, AK 99623

March 29, 2020

Re: Wastewater and Waste Material Disposal Plan

Dear committee:

Attached you will find a letter from Erdman& Associates, consulting engineers with whom we have contracted to serve as a liaison between the DEC and our cultivation.

Regards,

A handwritten signature in cursive script that reads "Heather Allen."

Heather Allen  
Managing Partner  
HRGS Enterprises, LLC  
907-843-2518

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

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Gorden Isaacs  
907-843-0474  
[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)

**ERDMAN & ASSOCIATES**  
**Consulting Engineers / Water Testing Laboratory**

5200 Dunbar Drive  
Wasilla, AK 99654

Phone 907-376-6989  
Fax 907-373-2157

March 16, 2020

State of Alaska Dept. of Environmental Conservation  
Attn: Oran Woolley,  
1700 E. Bogard Road, B-103  
Wasilla, AK 99654

Re: Bristol Bay Bud Company; L B5 T17N, R2W, Sec 20, S.M. (2439 S. Ridgecrest);  
E&A Project #20009; System Evaluation

Mr. Woolley,

Bristol Bay Bud Company, LLC has retained Erdman & Associates to provide an evaluation of the operations at the above referenced marijuana cultivation facility.

A representative of Erdman and Associates inspected the facility and discussed the proposed operational procedures with the owner/operator. It is our understanding that any runoff from the cultivation process will be collected and recycled and, therefore, the facility will not produce a discharge of non-domestic wastewater to the domestic wastewater system.

Thank you, and please call or email if you have any questions or need additional information.

Sincerely,



Michael R. Erdman

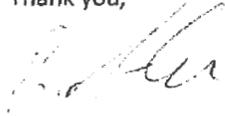
cc: Richard Allen



To whom it may concern,

The cultivation facility's non-domestic wastewater disposal plan is as follows. All plants will be top feed watered to minimal runoff. The runoff from all plants will be collected in a container in the facility and recycled. This will keep non-domestic wastewater from entering the septic system.

Thank you,

A handwritten signature in black ink, appearing to read "Richard Allen".

Richard Allen  
Cultivation Manager  
(907)843-2519  
richard@bristolbaybudcompany.com



Bristol Bay Bud Company-Cultivation  
2439 S. Ridgecrest Rd  
Wasilla, AK 99623

March 29, 2020

Re: Odor Mitigation and Ventilation Plan

Dear committee:

The efforts of Bristol Bay Bud Company's cultivation facility to mitigate the possible impact of odor on the community will start with simple air flow. There are four ceiling fans to keep the air constantly exchanging inside the facility. This practice will increase the air flow within the facility increasing the efficiency of the installed air exchange system. In addition, there are three 8" inline fans with carbon filters to reduce the odor byproduct of cultivating marijuana. The carbon filters will be replaced on a schedule recommended by the manufacturer to ensure the highest efficiency. Finally, the building will be in a state of negative pressure to keep any remaining smells in the facility. The only foreseen objectional noise would be from the required security system.

Regards,

A handwritten signature in black ink that reads "Heather Allen." The signature is written in a cursive style.

Heather Allen  
Managing Partner  
HRGS Enterprises, LLC  
907-843-2518

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

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Gorden Isaacs  
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Bristol Bay Bud Company-Cultivation  
2439 S. Ridgecrest Rd  
Wasilla, AK 99623

March 29, 2020

Re: Hazardous Chemicals Information

Dear committee:

Bristol Bay Bud Company will be employing general nutrient lines that are compatible with coco coir medium. The cultivation facility will use a nutrient line, the specific brand yet to be determined, and all the necessary supplemental. Additional additives that will also be used on a regular basis will be pH up and pH down. We will also use a flushing agent such as, but not limited to, SLF100 and Drip Clean. For the propagation of clones, we will use cloning applications such as, but not limited to, Clonex and necessary rooting hormone applications. We intend to use no chemical fungicides, insecticides, or herbicides. We will employ non-toxic methods of pest control such as, but not limited to, predatory insects, neem oil, and sticky traps. However, we must plan for any event. I have listed the possible insecticides, fungicides and herbicides below:

Bonide Liquid Copper Fungicide Ready to Use (67702-1-4)  
Clonex Rooting Gel (79664-1)  
Gonats Liquid Concentrate (exempt-25(b))  
Hormex Rooting Powder No. 8 (8281-1)  
Monterey B.r. RTU/Organic gardening (70051-113-54705)  
Monterey Neem Oil-RTU/organic gardening (70051-13-54705)  
Pyrethrum TR Total Release Insecticide (499-479)  
Regalia PTO Biofungicide (84059-3-87865)  
Safer Garden Fungicide Conc for Flowers, Fruits, & Vegetables (4297-37)  
SNS 217 RTU Spider Mite Control (exempt-25(b))

Regards,

A handwritten signature in cursive script that reads 'Heather Allen'.

Heather Allen  
Managing Partner  
HRGS Enterprises, LLC

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Bristol Bay Bud Company-Cultivation  
2439 S. Ridgecrest Rd  
Wasilla, AK 99623

March 29, 2020

Re: Security Plan

Dear committee:

Bristol Bay Bud Company will have a completely integrated security and video surveillance system installed and monitored by a licensed security company. To be in compliance with 3 AAC 306.715(b), we will have installed at the minimum of one door sensor for the only entrance, one motion detector for the only window (which is on the second floor) and two panic/duress buttons. Bristol Bay Bud Company will maintain 24/7 monitoring. The surveillance will include (at the minimum) a window monitored by a motion detector, one door sensor, and two panic/duress buttons that will be monitored by a licensed security company. Bristol Bay Bud Company will have LED motion triggered exterior flood lighting installed and maintained on the exterior of the cultivation facility. There will be a battery backup for the surveillance equipment to assure security in the event of a power interruption.

All alarm systems, with the exception to the motion detectors, will be operational and continuously monitored 24/7. During operational hours the panic alarms, video surveillance and glass break sensors will be active. All cultivation staff will be trained on how, when, and why to activate panic buttons. There will be two panic buttons installed within the cultivation facility's restricted area. The employees will also be given the option to wear a panic button on their person via a lanyard around their neck. Activation of the panic button will sound an audible alarm and will trigger a signal to the third-party monitoring company and they will dispatch Wasilla Police Department or the Alaska State Troopers. The manager will be responsible to interface with law enforcement upon arrival at the cultivation establishment. Any and all alarm signals will be documented and reviewed by staff for training purposes. Bristol Bay Bud Company has policies and procedures designed to protect their employees and customers. Each employee will receive training in the use of the integrated security system upon employment and annual training to ensure the best possible preparedness for any unseen security breach. In addition, the alarm system will undergo a monthly testing that will be noted in the security log. If a breach of security occurs after normal business hours, the security monitoring system will notify the Wasilla Police Department and/or Alaska State Troopers in addition to the owner/manager of the licensed cultivation facility. The owner/manager will communicate and comply with law enforcement and will not hinder the investigation.

Regards,

A handwritten signature in cursive script that reads "Heather Allen."

Heather Allen  
Managing Partner  
HRGS Enterprises, LLC

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

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907-843-0474

[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)





Heather Allen &lt;heather@bristolbaybudcompany.com&gt;

**Fwd: Bristol Bay Bud Company 17452 Board Action November 2019**

1 message

Heather Allen <hrgsenterprises.ak@gmail.com>  
To: "heather@bristolbaybudcompany.com" <heather@bristolbaybudcompany.com>

Wed, Nov 27, 2019 at 8:08 AM

----- Forwarded message -----

From: **Marijuana Licensing (CED sponsored)** <marijuana.licensing@alaska.gov>  
Date: Tue, Nov 26, 2019 at 8:50 AM  
Subject: Bristol Bay Bud Company 17452 Board Action November 2019  
To: hrgsenterprises.ak@gmail.com <hrgsenterprises.ak@gmail.com>  
CC: Marijuana Licensing (CED sponsored) <marijuana.licensing@alaska.gov>

Hello,

At the November 13-15, 2019 meeting of the Marijuana Control Board the board voted to reconsider their previous action and approve your new license application with delegation.

Please direct any questions to [marijuana.licensing@alaska.gov](mailto:marijuana.licensing@alaska.gov).

Thank You

Mikal Martin

she/her

Records and Licensing Supervisor

Alcohol and Marijuana Control Office

Phone: 907.269.0350

[alcohol.licensing@alaska.gov](mailto:alcohol.licensing@alaska.gov)[marijuana.licensing@alaska.gov](mailto:marijuana.licensing@alaska.gov)

Please consider the environment before printing this e-mail.

*Any guidance provided by this electronic communication is not a binding legal opinion, ruling, or interpretation that may be relied upon, but merely guidance concerning existing statutes and regulations. There may be other unique or undisclosed facts, circumstances, and information that may have changed any guidance provided in this communication.*

**CONFIDENTIALITY NOTICE:** This communication is intended for the sole use of the individual or entity to whom it is addressed, is covered by the Electronic Communications Privacy Act (18 USC § 2510-2521), and may contain Confidential Official Use Only Information that may be exempt from public release under the

3/29/2020

Bristol Bay

Company Mail - Fwd: Bristol Bay Bud Company 17

Board Action November 2019

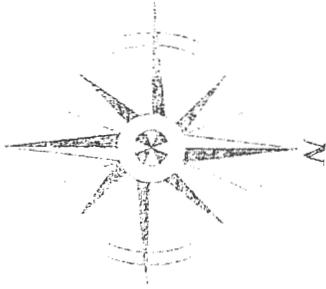
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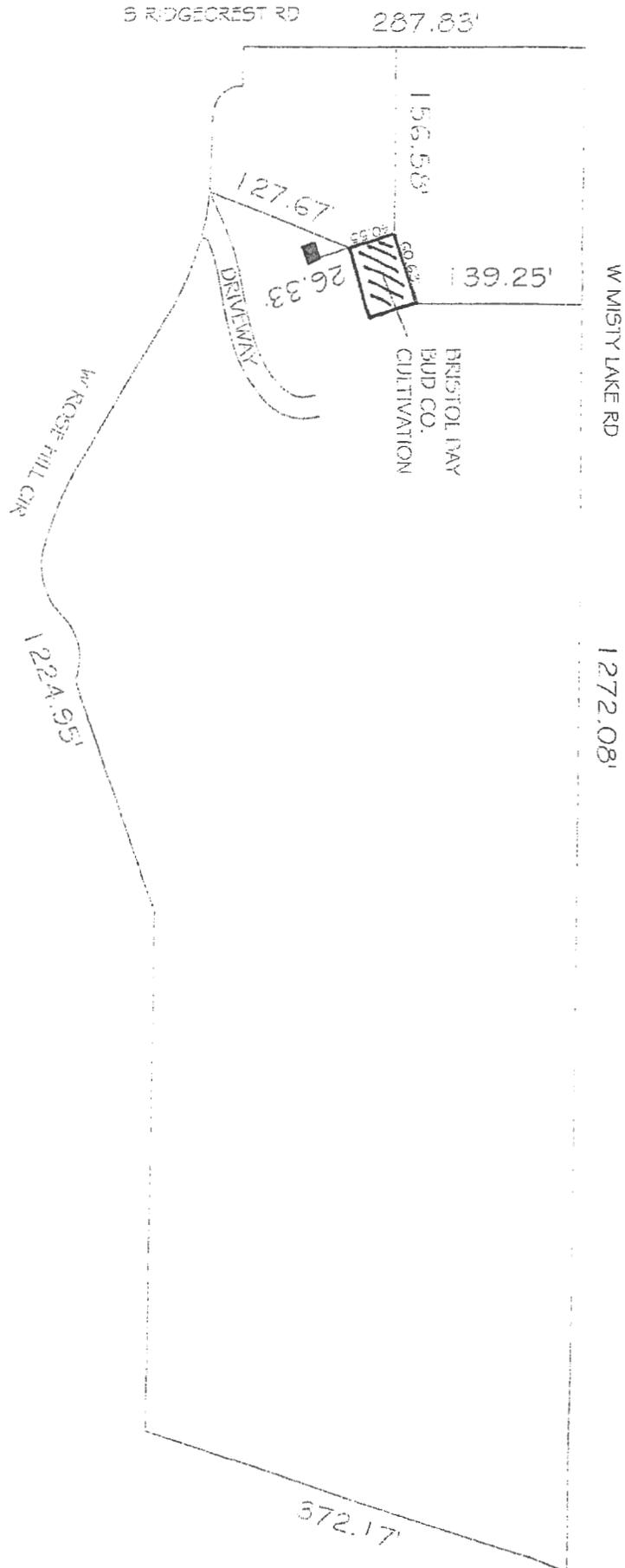
--  
Heather Allen  
907-843-2518

HRGS Enterprises, LLC  
Bristol Bay Bud Company, LLC  
Wasilla, AK  
Dillingham, AK

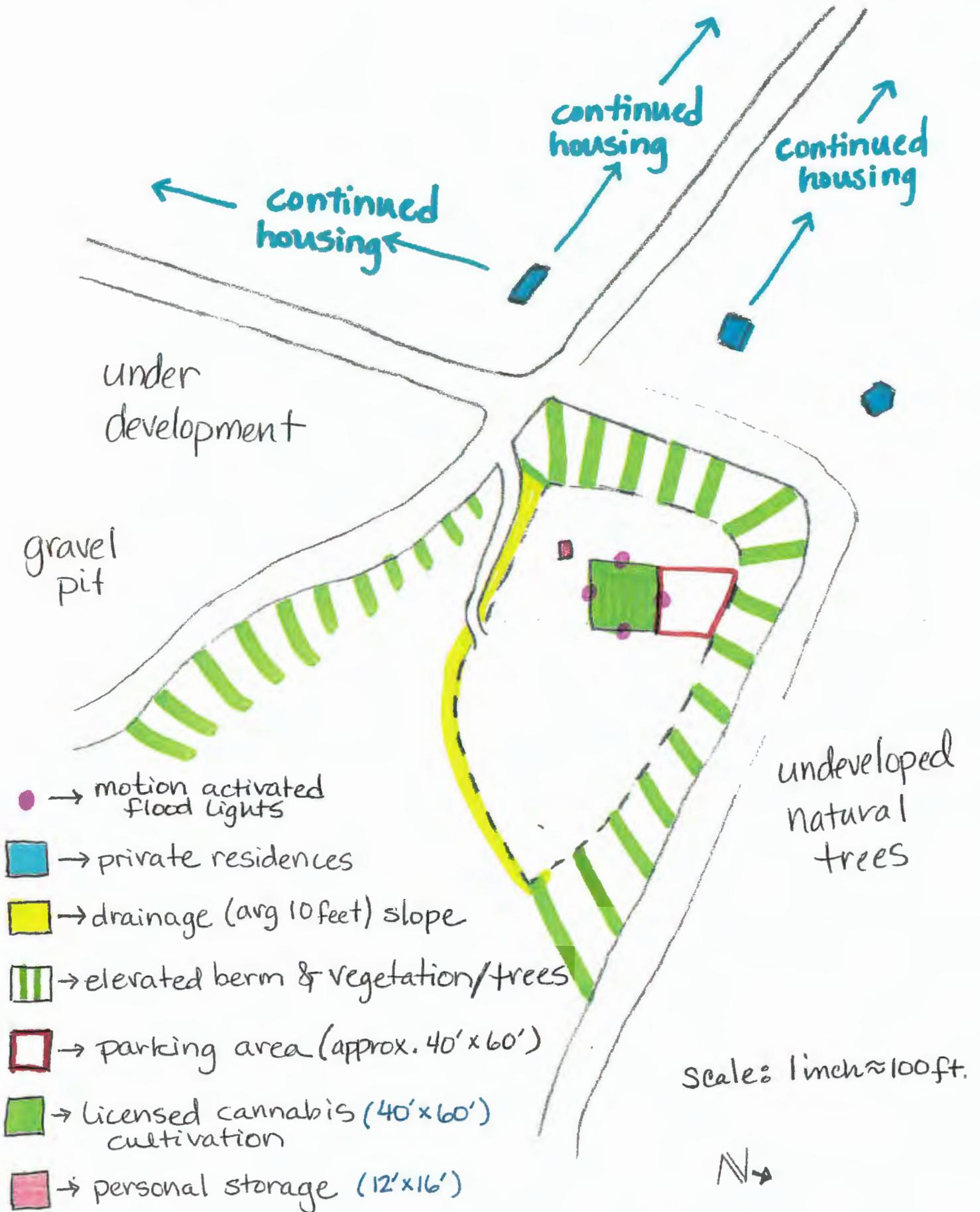
"He who plants trees loves others besides himself."



-  - Licensed Standard Cultivation
-  - Personal Storage 12' x 16'



AS-BUILT PLOT  
 SCALE: 1/128"=1'  
 2439 S RIDGECREST RD  
 WASSILLA, AK 99623  
 PARCEL ID: 9897  
 AMCO #17452



\* Ariel view showing the surrounding residences.



Standard Cultivation 2439 S. Ridgcrest Rd. Wasilla, AK 99623

Scale: 1 inch ≈ 100 feet

PERMIT CENTER – FEE RECEIPT FOR

Property Location: 17N02W20B005 Applicant: Gordon: Susan Isaacs

USE PERMITS {100.000.000.341.300}	Fee
8.35 Public Display of Fireworks	\$25.00
8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.52 Temporary Noise Permit	\$500.00
8.55 Special Events Permit	\$500.00
500 – 1000 Attendees	\$1,000.00
1000+ Attendees	\$300.00
1	\$25.00
1	\$150.00
1	\$1,000.00
1	\$500.00
1	\$1000.00
1	\$1000.00
1	\$1000.00
1	\$1000.00
1	\$1000.00
17.25 Talkeetna Conditional Use Permit	\$1000.00
17.25 Talkeetna Conditional Use Permit – Variance	\$1000.00
17.27 Sutton Special Land Use District CUP	\$1000.00
17.29 Flood Damage Prevention Development Permit	\$100.00
17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
17.30.040 Earth Materials Extraction Admin. Permit	\$500.00
17.30.050 Earth Materials Extraction CUP	\$1000.00
17.36 Residential Planned Unit Development	
Application – Concept Plan – up to 50 Lots	\$500.00
Additional Lots or tracts being created – Per Lot	\$100.00
17.48 Mobile Home Park Permit Application	\$500.00
17.52 Residential Land Use District App (Rezone)	\$1,000.00
17.52 Conditional Use Permit Application CUP	\$1,000.00
17.55 Shoreline Setback Exception Application	\$300.00
17.60 Conditional Use Permit Application	\$1000.00

Matanuska Susitna Borough  
 Payment Date Thursday, April 9, 2020  
 Deposit Number 40596  
 Operator hoff0401  
 Real 2020 (Total) \$0.00  
 MCR (Planning/Platting) \$1,000.00  
 Misc Rec  
 Tax Map # 1MISC  
 Total Paid \$1,000.00  
 Check \$1,000.00  
 Change \$0.00  
 Receipt Number MSB91402562  
 4/8/20 10:27:39 AM  
 Paid By HRGS ENTERPRISES LLC  
 Cashier Id: hoff0401

17.61 Commercial/Industrial C... Area Conditional Use Permit	\$1000.00
17.62 Coal Bed Methane	\$1000.00
17.63 Conditional Use Permit for Racetracks	\$1000.00
17.65 Variance	\$1000.00
17.67 Tall Structures -	
Network Improvement Permit	\$100.00
Nonconforming Use	\$200.00
Administrative Permit	\$500.00
Conditional Use Permit	\$1000.00
17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1000.00
17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
17.75 Single-Family Residential Land Use District CUP	\$1000.00
17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
17.90 Regulation of Adult Businesses – Conditional Use Permit	\$1000.00
28.60 Timber Transport Permit	\$300.00

<b>RIGHT-OF-WAY FEES:</b>	
Driveway	\$50.00
<input type="checkbox"/> Driveway Deposit {100.226.100}	\$150.00
Construction	\$200.00
Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
Encroachment	\$150.00
Construction Bond {100.227.000}	

<b>PLATTING PRE-APPLICATION CONFERENCE:</b>	
Pre-Application Fee	\$50.00

<b>FEES:</b>	
Flood Plain Development Survey CD	\$10.00
CD/DVD/DVD-R	\$7.50
Construction Manual/Title 43	\$5.00
Plat Map/Tax Map Copies/Mylar	\$5.00
Color Maps	\$12.00
Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
Advertising Fees	
Cultural Resources Books or Maps	
<input type="checkbox"/> Citation Payment (If sent to collections – use total due from Courtview)	
Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1000 Amount Paid Date: 4-8-20 Receipt # 91402562 By: [Signature]



# MATANUSKA-SUSITNA BOROUGH

## Real Property Detail for Account: 17N02W20B005

**Site Information**

Account Number 17N02W20B005 Subdivision  
 Parcel ID 9897 City None  
 TRS S17N02W20 Map HO15 Tax Map  
 Abbreviated Description TOWNSHIP 17N RANGE 2W SECTION 20  
 (Not for Conveyance) LOT B5

Site Address 2439 S RIDGECREST RD

**Ownership**

Owners ISAACS GORDEN R & SUSAN E Buyers  
 Primary Owner's Address PO BOX 563 DILLINGHAM AK 99576 Primary Buyer's Address

**Appraisal Information**

Appraisal Information				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed
2020	\$66,400.00	\$183,900.00	\$250,300.00	2020	\$66,400.00	\$183,900.00	\$250,300.00
2019	\$66,400.00	\$177,700.00	\$244,100.00	2019	\$66,400.00	\$177,700.00	\$244,100.00
2018	\$66,400.00	\$173,600.00	\$240,000.00	2018	\$66,400.00	\$173,600.00	\$240,000.00

**Building Information**

Structure 1 of 1  
 Residential Units 1 Use Residential Building  
 Condition Standard Design Two Story  
 Basement None Construction Type Frame  
 Year Built 2005 Grade 04.5  
 Foundation Building Appraisal \$183900  
 Well Well 1 - Drilled Well Septic Septic - 1 - Septic Tank

**Building Item Details**

Building Number	Description	Area	Percent Complete
1	First Story	560 Sq. Ft.	100%
1	Second Story	560 Sq. Ft.	100%
1	Garage (10.3) Area - 11M	1680 Sq. Ft.	100%
1	Gas Heat	1 Sq. Ft.	100%

**Tax/Billing Information**

Year	Certified	Zone	Mill	Tax Billed
2020	No	0037	::	::
2019	Yes	0037	16.589	\$4049.38
2018	Yes	0037	16.509	\$3962.16

**Recorded Documents**

Date	Type	Recording Info (offsite link to DNR)
9/1/2017	WARRANTY DEED (ALL TYPES)	<a href="#">Palmer 2017-017548-0</a>
2/14/2014	WARRANTY DEED (ALL TYPES)	<a href="#">Palmer 2014-002568-0</a>
7/15/2005	WARRANTY DEED (ALL TYPES)	<a href="#">Palmer 2005-018276-0</a>

**Tax Account Status <sup>2</sup>**

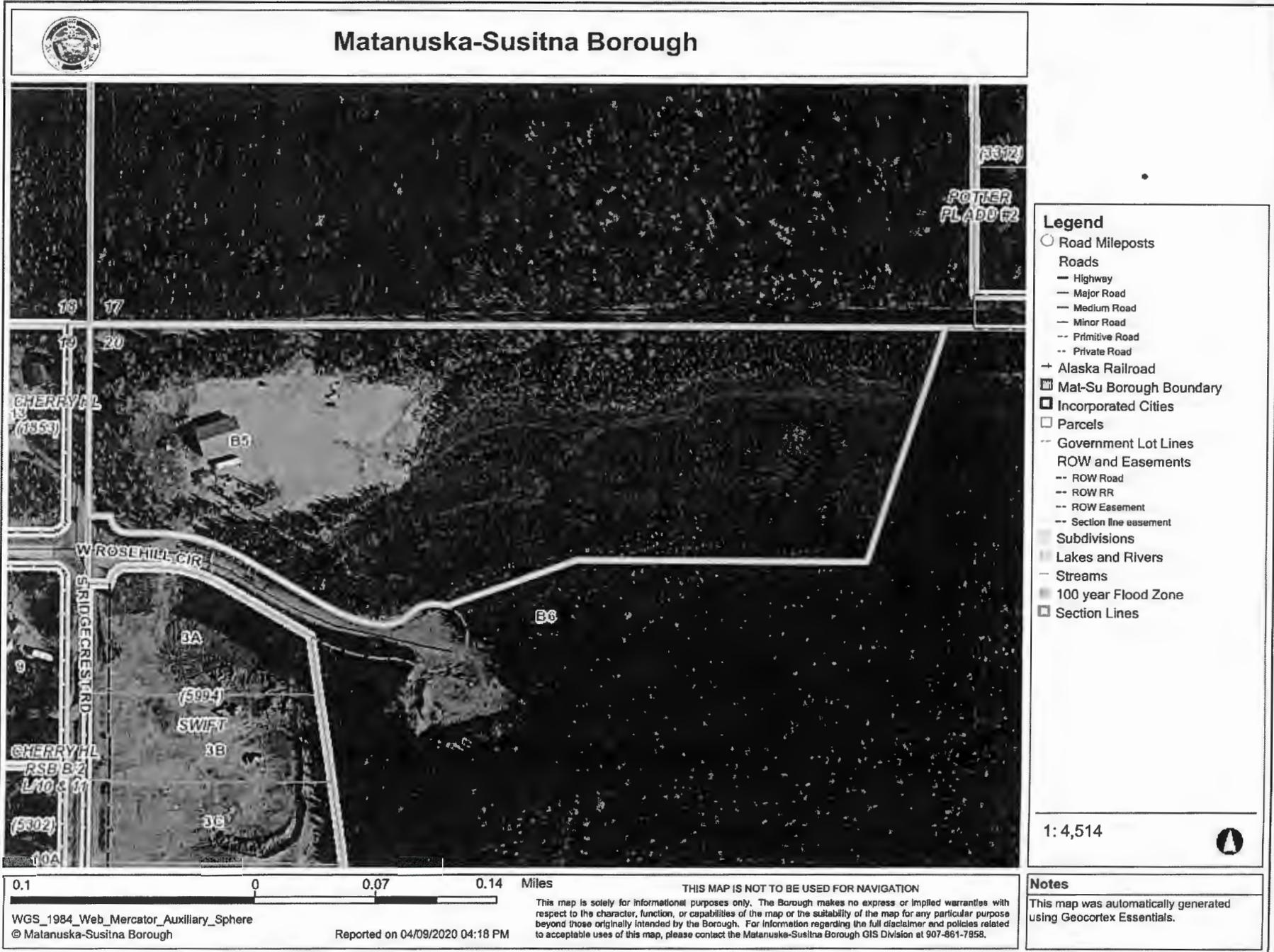
Status	Tax Balance	Farm	Disabled Veteran	Senior	Total	LID Exists
Current	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	No

**Land and Miscellaneous**

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
10.00	8.85	Assembly District 007	08-135	130 Central Mat-Su	027 Meadow Lakes RSA

<sup>1</sup> Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.  
<sup>2</sup> If account is in foreclosure, payment must be in certified funds.

Last Updated: 4/9/2020 12:00:32 AM



# Matanuska-Susitna Borough

### Legend

- Road Mileposts
- Roads**
  - Highway
  - Major Road
  - Medium Road
  - Minor Road
  - - Primitive Road
  - - Private Road
- + Alaska Railroad
- ▬ Mat-Su Borough Boundary
- ▭ Incorporated Cities
- Parcels
- - Government Lot Lines
- ROW and Easements**
  - - ROW Road
  - - ROW RR
  - - ROW Easement
  - - Section line easement
- Subdivisions
- Lakes and Rivers
- Streams
- 100 year Flood Zone
- ▭ Section Lines

1:4,514



0.1 0 0.07 0.14 Miles

THIS MAP IS NOT TO BE USED FOR NAVIGATION

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Matanuska-Susitna Borough

Reported on 04/09/2020 04:18 PM

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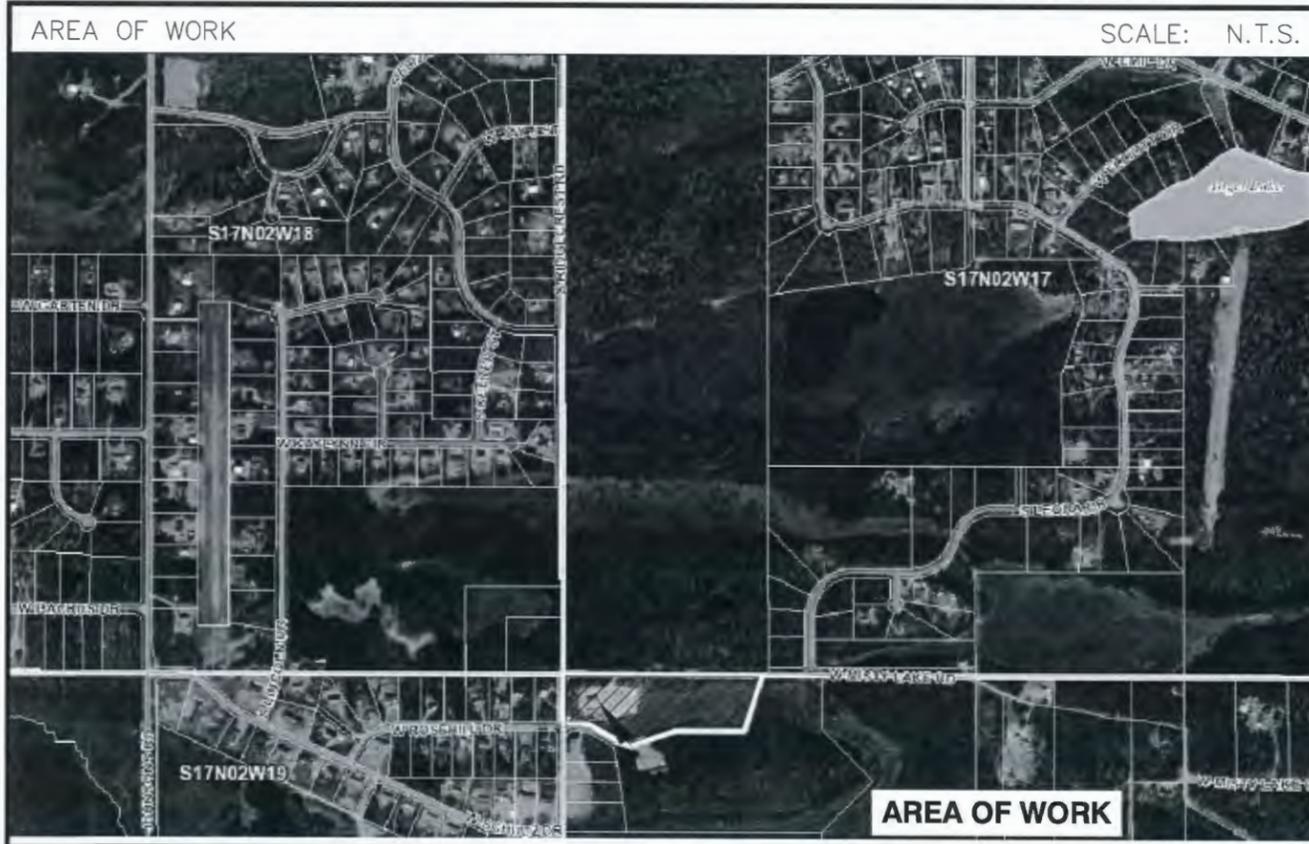
### Notes

This map was automatically generated using Geocortex Essentials.

# BRISTOL BAY BUD COMPANY - THE PHARM

## 2439 S. RIDGECREST ROAD WASILLA, ALASKA 99654

### CONSTRUCTION DRAWINGS NOVEMBER 18, 2019



INDEX TO DRAWINGS	
COVER SHEET	
GENERAL	
G1.1 SITE PLAN, PROPERTY INFORMATION	
G1.2 CODE ANALYSIS PLAN, CODE ANALYSIS, LEGEND	
MECHANICAL (JERNSTROM ENGINEERING)	
MO.1 MECHANICAL LEGENDS AND SCHEDULES	
MO.2 MECHANICAL SPECIFICATIONS	
MO.3 MECHANICAL SPECIFICATIONS	
M1.1 FIRST FLOOR PIPING PLAN	
M2.1 FIRST FLOOR VENTILATION PLAN	
M2.2 SECOND FLOOR VENTILATION PLAN	
ARCHITECTURAL (907 ARCHITECTURE)	
A1.1 FIRST FLOOR PLAN - DEMOLITION	
A1.2 SECOND FLOOR PLAN - DEMOLITION	
A1.3 FIRST FLOOR PLAN - RENOVATION, VERTICAL ASSEMBLIES	
A1.4 SECOND FLOOR PLAN - RENOVATION	
A1.5 FIRST FLOOR - REFLECTED CEILING PLAN	
A1.6 SECOND FLOOR - REFLECTED CEILING PLAN	
ELECTRICAL (BR ENGINEERING)	
EO.1 ELECTRICAL LEGENDS AND SCHEDULES	
EO.2 ELECTRICAL SHEET SPECIFICATIONS	
E1.1 ELECTRICAL FIRST FLOOR ELECTRICAL PLAN	
E1.2 ELECTRICAL SECOND FLOOR ELECTRICAL PLAN	

- GENERAL NOTES:
- BUILDING SHALL CONFORM TO INTERNATIONAL BUILDING CODE, 2012 EDITION, MINIMUM REQUIREMENTS FOR TYPE V-B CONSTRUCTION THROUGHOUT.
  - THESE DRAWINGS ARE SUPPLIED TO THE GENERAL CONTRACTOR AND OTHERS FOR THEIR USE ON THIS SPECIFIC PROJECT. ALL SPECIALIZED EQUIPMENT REQUIREMENTS, REINFORCING REQUIREMENTS, BLOCKING REQUIREMENTS, PLUMBING REQUIREMENTS, ELECTRICAL REQUIREMENTS, AND DETAILS AND SPECIFICATIONS FOR THE EQUIPMENT SHALL BE PROVIDED BY OTHERS.
  - THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG THE SUB-CONTRACTORS. THE DIVISION OF THE WORK SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  - CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED TO COMPLETE ALL WORK AS SHOWN OR AS IMPLIED ON THESE DRAWINGS.
  - CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL FACILITIES FOR LIGHT AND POWER WITHIN THE PREMISES AND IN THE CONSTRUCTION AREA DURING THE ENTIRE CONSTRUCTION PERIOD. POWER SHALL BE OBTAINED FROM THE EXISTING DISTRIBUTION SYSTEM. PROVIDE NECESSARY MATERIALS AND LABOR FOR POWER CONNECTIONS FOR MACHINES, PORTABLE TOOLS, ETC.. AS USED BY OTHER TRADES, REGARDLESS OF SIZE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND DEBRIS RESULTING FROM CONSTRUCTION AT CONTRACTOR'S EXPENSE.
  - ALL DIMENSIONS ARE FACE TO FACE OF STUD OR STRUCTURE OR EXISTING FINISH, UNLESS NOTED OTHERWISE.
  - CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD VERIFY CONDITIONS BEFORE PROCEEDING WITH ANY WORK.
  - ALL CONTRACTORS AND SUB CONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO ALL APPLICABLE LOCAL CODES AND TRADE STANDARDS.
  - CONTRACTOR SHALL PROVIDE CLIENT OPTIONS FOR MATERIALS, COLORS, FINISHES, AND EQUIPMENT.
  - FIRE ALARM AND SPRINKLER DRAWINGS (IF REQUIRED) ARE NOT WITHIN THE SCOPE OF THESE DRAWINGS AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUCH DRAWINGS SHALL BE SUBMITTED UNDER A SEPARATE COVER BY A QUALIFIED FIRE PROTECTION CONTRACTOR.
  - MECHANICAL AND ELECTRICAL DRAWINGS (IF REQUIRED) ARE NOT WITHIN THE SCOPE OF THESE DRAWINGS AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUCH DRAWINGS SHALL BE SUBMITTED UNDER A SEPARATE COVER BY A QUALIFIED ENGINEER/CONTRACTOR.
  - ANY AND ALL DISCREPANCIES BETWEEN DRAWING SHEETS, DISCIPLINES, DIMENSIONS, DETAILS, MATERIALS, AND COLORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND/ OR CONSTRUCTION IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION.
  - DO NOT SCALE DIMENSIONS FROM BLUEPRINTS, ANY AND ALL DISCREPANCIES OF DIMENSIONS BETWEEN DRAWING SHEETS, DISCIPLINES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION.

ABBREVIATIONS:

A.F.F.	ABOVE FINISHED FLOOR	COL	COLUMN	ELEC	ELECTRICAL	FT.	FOOT	LT	LEFT	OHD	OVERHEAD DOOR	SIM	SIMILAR	VERT	VERTICAL
COUPS	ACOUSTICAL	CONC	CONCRETE	EL	ELEVATION	FTG	FOOTING	LB	POUND	PR	PAIR	S.B.	SINK BASE	V.F.Y.	VERIFY
A.C.T.	ACOUSTICAL CEILING TILE	CONC	CONCRETE	EXIST	EXISTING	FDN	FOUNDATION	LBR	LUMBER	P. LAM	PLASTIC LAMINATE	S.D.	SMOKE DETECTOR	VEST	VESTIBULE
ADDN	ADDITIONAL	C.M.U.	CONCRETE MASONRY UNITS	EXP	EXPANSION	GALV	GALVANIZED	M.O.	MASONRY OPENING	PL	PLATE	S.C.	SOLID CORE	V.C.T.	VINYL COMPOSITION TILE
ALUM	ALUMINUM	CONN	CONNECTION	EXT	EXTERIOR	GSP	GALVANIZED STEEL PIPE	MFG	MANUFACTURER(ED)	PLYWD	PLYWOOD	S.C.W.	SOLID CORE WOOD	V.C.	WALL CABINET
A.B.	ANCHOR BOLT	C.J.	CONTROL JOINT OR CONSTRUCTION JOINT	E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	GLB	GLULAM BEAM	MAX	MAXIMUM	PRE ENG	PREVIOUSLY ENGINEERED	SPEC	SPECIFICATION	W.W.F.	WELDED WIRE FABRIC
&	AND			FAB	FABRICATED	GOVT	GOVERNMENT	MECH	MECHANICAL	PSF	POUNDS PER SQUARE FOOT	SO	SURE	W.W.M.	WELDED WIRE MESH
APPROX	APPROXIMATELY	CONST	CONSTRUCTION	F.O.C.	FACE OF CONCRETE	G.B.	GRAB BAR	MWP	MEMBRANE WATERPROOFING	Q.T.	QUARRY TILE	SQ FT	SQUARE FEET	W/	WITH
ARCH	ARCHITECTURAL	CONT	CONTINUOUS	F.O.F.	FACE OF FINISH	GR	GRADE	MTL	METAL	RAD	RADIUS	SST	STAINLESS STEEL	W/O	WITHOUT
ASPH	ASPHALT	CU	CUBIC	F.O.F.	FACE OF FINISH	GA	GAUGE	MIR	MIRROR	R.D.	ROOF DRAIN	STL	STEEL	WO	WOOD
⊙	AT	DK	DECK	F.O.S.	FACE OF STUDS	GYP	GYPSONUM	MIN	MINIMUM	REF	REFERENCE	STRUC	STRUCTURAL		
A.W.W.	ALL WEATHER WOOD	DEM	DEMOLITION	F.O.W.	FACE OF WALL	G.W.B.	GYPSONUM WALL BOARD	MIR	MIRROR	REIN	REINFORCE	SUSP	SUSPENDED		
BK	BACK	DTL	DETAIL	F TO F	FACE TO FACE	HC	HANDICAPPED	MISC	MISCELLANEOUS	REQD	REQUIRED	S.A.T.	SUSPENDED ACOUSTICAL TILE		
B.C.	BASE CABINET	F.F.	FACTORY FINISH	F.F.	FACE TO FACE	H.M.	HOLLOW METAL	NOM	NOMINAL	REV	REVERSED	TV	TELEVISION		
BM	BEAM	DIFF	DIFFUSER	F.F.	FACTORY FINISH	H.M.	HORIZONTAL	N.A.	NOT APPLICABLE	RT	RIGHT	TELE	TELEPHONE		
BLK	BLOCK	DIA	DIAMETER	F.P.	FIREPROOF	H.B.	HOSE BIB	N.I.C.	NOT IN CONTRACT	RM	ROOM	THRU	THROUGH		
BLKG	BLOCKING	DR	DOOR	FIG	FIGURE	IN	INCH	N.T.S.	NOT TO SCALE	RGH	ROUGH	T.I.	TENANT IMPROVEMENT		
CAB	CABINET	DN	DOWN	FIN	FINISH(ED)	INCL	INCLUDE(ING)	NO.	NUMBER	R.O.	ROUGH OPENING	T.O.	TOP OF		
CPT	CARPET	DS	DOWN SPOUT	FIN	FINISH(ED)	INCL	INCLUDE(ING)	#	NUMBER	R.O.	ROUGH OPENING	T.O.	TOP OF		
				F.F.F	FINISHED FLOOR ELEVATION	INSII	INSULATION								

PROJECT NARRATIVE:

THE SCOPE OF WORK REQUIRED BY THE GENERAL CONTRACTOR (GC) AND THEIR SUBCONTRACTORS (SC) IS AS FOLLOWS:

ANY DESIGN WORK BY THE GC SHALL BE SUBMITTED AND APPROVED BY THE OWNER'S REPRESENTATIVE, ARCHITECT, ENGINEERS, AND THE CENTRAL MATSU FIRE DEPARTMENT OFFICE PRIOR TO COMMENCING WITH CONSTRUCTION.

THIS PROJECT IS A ADAPTING AN EXISTING BUILDING INTO TO A LICENSED STANDARD CULTIVATION FACILITY. NO STRUCTURAL WORK IS INVOLVED IN THIS ADAPTATION. NO SLEEPING AREAS OR ROOMS WILL BE PROVIDED AND NO OCCUPANTS WILL BE SLEEPING IN THIS BUILDING.



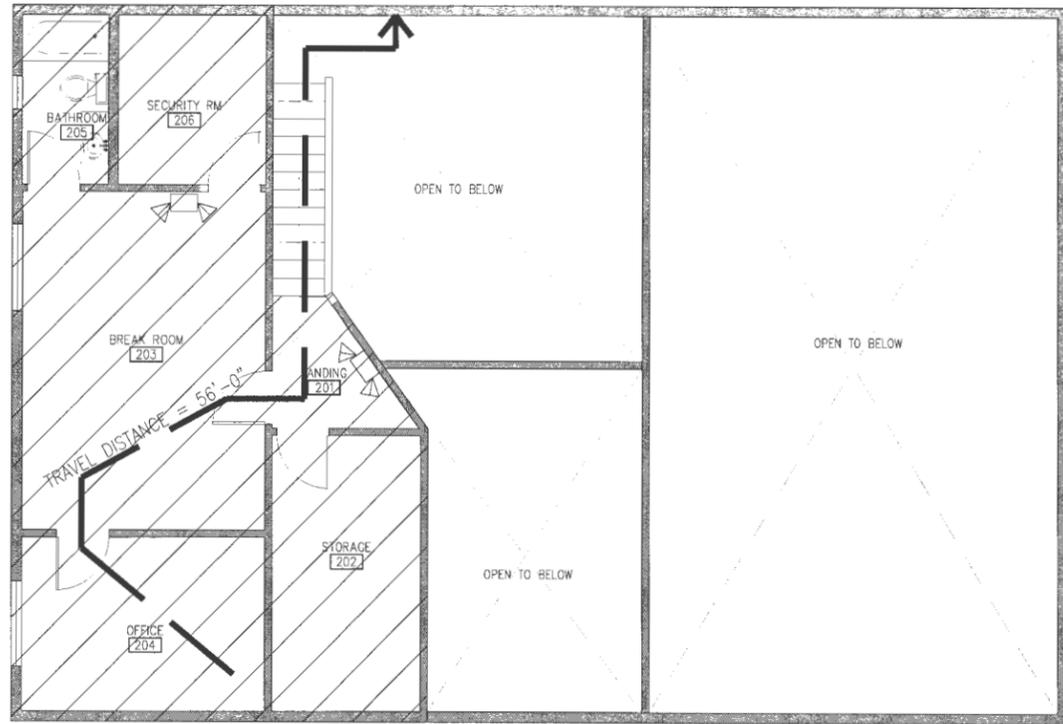
**BRISTOL BAY BUD COMPANY - THE PHARM**  
**2439 S. RIDGECREST ROAD**  
**WASILLA, ALASKA 99654**

CONSTRUCTION DRAWINGS

REVISIONS:

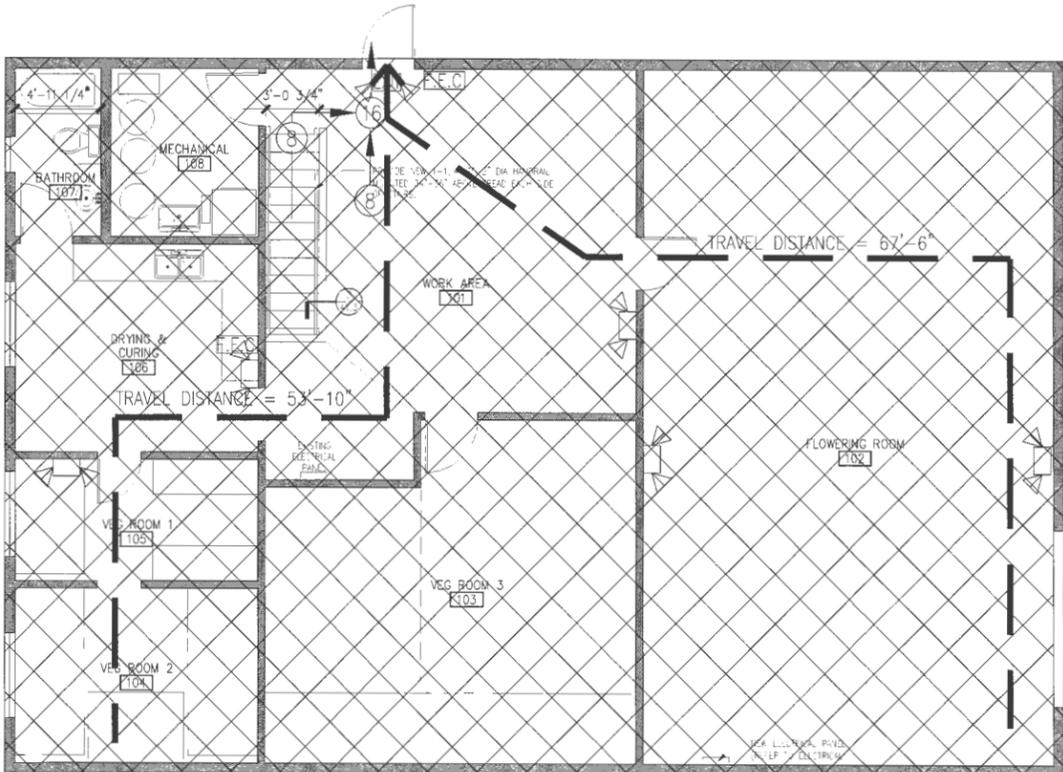
DRAWN BY: MFW  
 CHECKED BY: MFW  
 DATE: 11.18.2019  
 JOB NUMBER: 20122.00

SHEET CONTENTS:  
 INDEX OF DRAWINGS  
 AREA OF WORK  
 GENERAL NOTES  
 ABBREVIATIONS  
 PROJECT NARRATIVE



SECOND FLOOR - CODE PLAN

3/16" = 1'-0"



**CODE ANALYSIS**

\*\*\*\* INDICATES DEFICIENCY

<b>REFERENCE</b>		INTERNATIONAL BUILDING CODE 2012 EDITION (IBC-2012)	
<b>CODE ANALYSIS</b>		(REF: IBC-2012, SEC. 304)	
<b>OCCUPANCY CLASSIFICATION</b>		GROUP B (BUSINESS)	
		GROUP F-1 (FACTORY INDUSTRIAL - MODERATE HAZARD)	
<b>OCCUPANCY SEPARATION</b>		NO SEPARATION REQUIRED	
		(REF: IBC-2012, TABLE 508.4)	
<b>TYPE OF CONSTRUCTION</b>		TYPE V-B (NON-SPRINKLERED)	
		(REF: IBC-2012, TABLE 601)	
<b>HEIGHT AND NUMBER OF STORIES</b>		(REF: IBC-2012, TABLE 503)	
GROUP B:	ALLOWED	40'-0"	2 STORY
	PROVIDED	16'-0"	1 STORY
			9,000 S.F.
			803 S.F. => SATISFIED
GROUP F-1:	ALLOWED	40'-0"	1 STORY
	PROVIDED	16'-0"	1 STORY
			2,460 S.F. => SATISFIED
<b>FRONTAGE INCREASE &amp; AUTOMATIC SPRINKLER INCREASE:</b>		NOT REQUIRED	
		(REF: IBC-2012, SEC. 506)	
<b>CONSTRUCTION REQUIREMENTS</b>		(REF: IBC-2012, TABLE 601)	
<b>FIRE RESISTANCE RATINGS</b>			
STRUCTURAL FRAME		0 HR	
BEARING WALLS			
EXTERIOR		0 HR	
INTERIOR		0 HR	
NON-BEARING WALLS/PARTITIONS			
EXTERIOR		0 HR	
INTERIOR		0 HR	
FLOOR CONSTRUCTION		0 HR	
ROOF CONSTRUCTION		0 HR	
<b>OCCUPANT LOAD</b>		(REF: IBC-2012, TABLE 1004.1.1)	
SEE CODE PLANS			
<b>B AREA</b>		803 SF / 100 SF = 8 OCCUPANTS (ACTUAL OCCUPANT LOAD WILL BE LESS)	
<b>F-1 AREA</b>		2,460 SF / 300 SF = 8 OCCUPANTS (ACTUAL OCCUPANT LOAD WILL BE LESS)	
<b>EXIT ACCESS TRAVEL DISTANCE</b>		EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 75'. => SATISFIED	
		(REF: IBC-2012, SEC. 1014.3)	
<b>EXIT SIGNS</b>		**** EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL => WILL BE SATISFIED AFTER THIS PROJECT.	
		(REF: IBC-2012, SEC. 1011)	
<b>EXIT SIGN ILLUMINATION</b>		**** EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. => WILL BE SATISFIED AFTER THIS PROJECT.	
		(REF: IBC-2012, SEC. 1011.2)	
<b>MEANS OF EGRESS ILLUMINATION</b>		**** THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. => WILL BE SATISFIED AFTER THIS PROJECT.	
		(REF: IBC-2012, SEC. 1006)	
<b>STRUCTURAL DESIGN</b>		**** EXISTING BUILDING WAS NOT REVIEWED FOR STRUCTURAL DESIGN CRITERIA. THESE SERVICES REQUIRE A LICENSED STRUCTURAL ENGINEER.	
		(REF: IBC-2012, CHAPTER 16)	

**CODE LEGEND**

	BUSINESS (B) OCCUPANCY
	FACTORY (F-1) OCCUPANCY
	FIRE EXTINGUISHER (2.5A:10-B:C)
	OCCUPANTS EXITING
	EXIT SIGN
	EMERGENCY LIGHTS
	EGRESS ROUTE < 75'



PO Box 875570, Wasilla, Alaska 99687  
PH 907.632.6487  
C.O.A. #10114



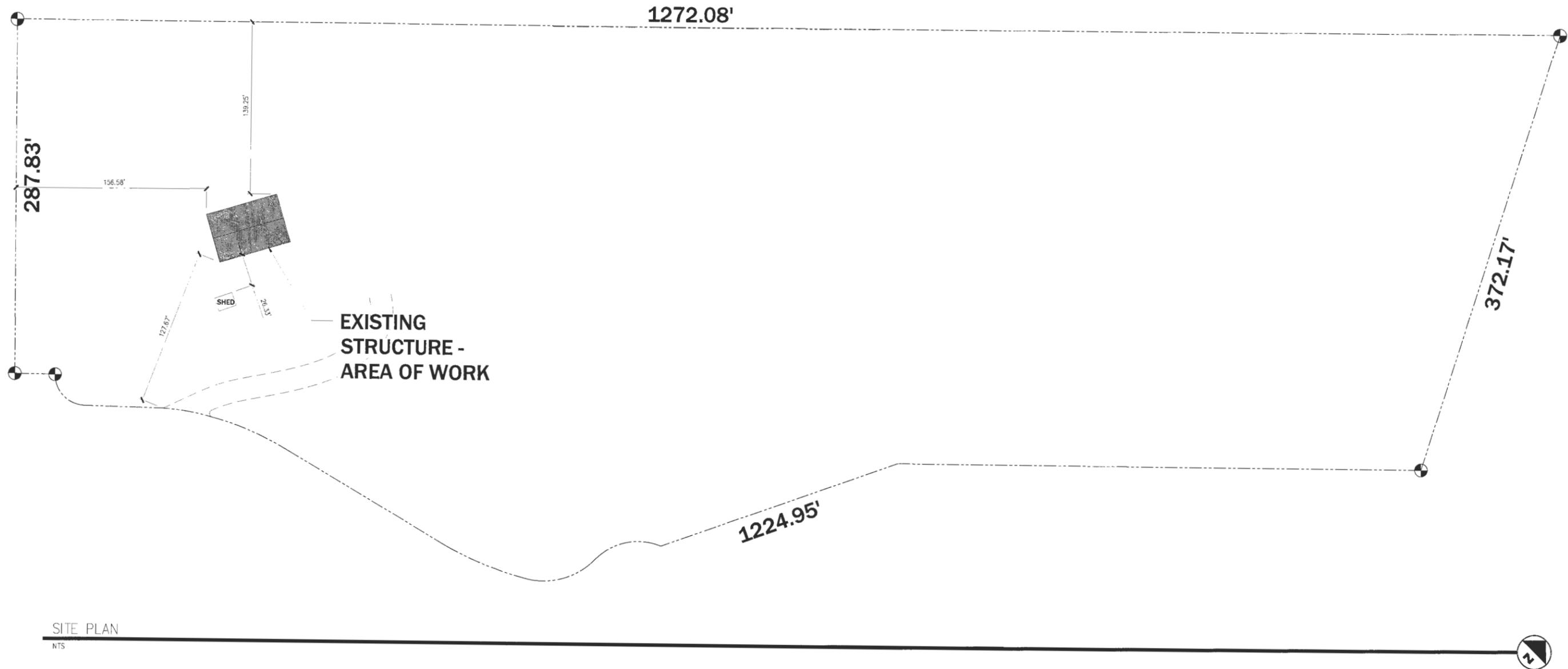
**BRISTOL BAY BUD COMPANY - THE PHARM**  
2439 S. RIDGECREST ROAD  
WASILLA, ALASKA 99654

**CONSTRUCTION DRAWINGS**

REVISIONS:

DRAWN BY: MFW  
CHECKED BY: MFW  
DATE: 11.18.2019  
JOB NUMBER: 19122.00

SHEET CONTENTS:  
1ST FLOOR - CODE PLAN  
2ND FLOOR - CODE PLAN  
CODE LEGEND  
CODE ANALYSIS



**BRISTOL BAY BUD COMPANY - THE PHARM**  
**2439 S. RIDGECREST ROAD**  
**WASILLA, ALASKA 99654**

CONSTRUCTION  
DRAWINGS

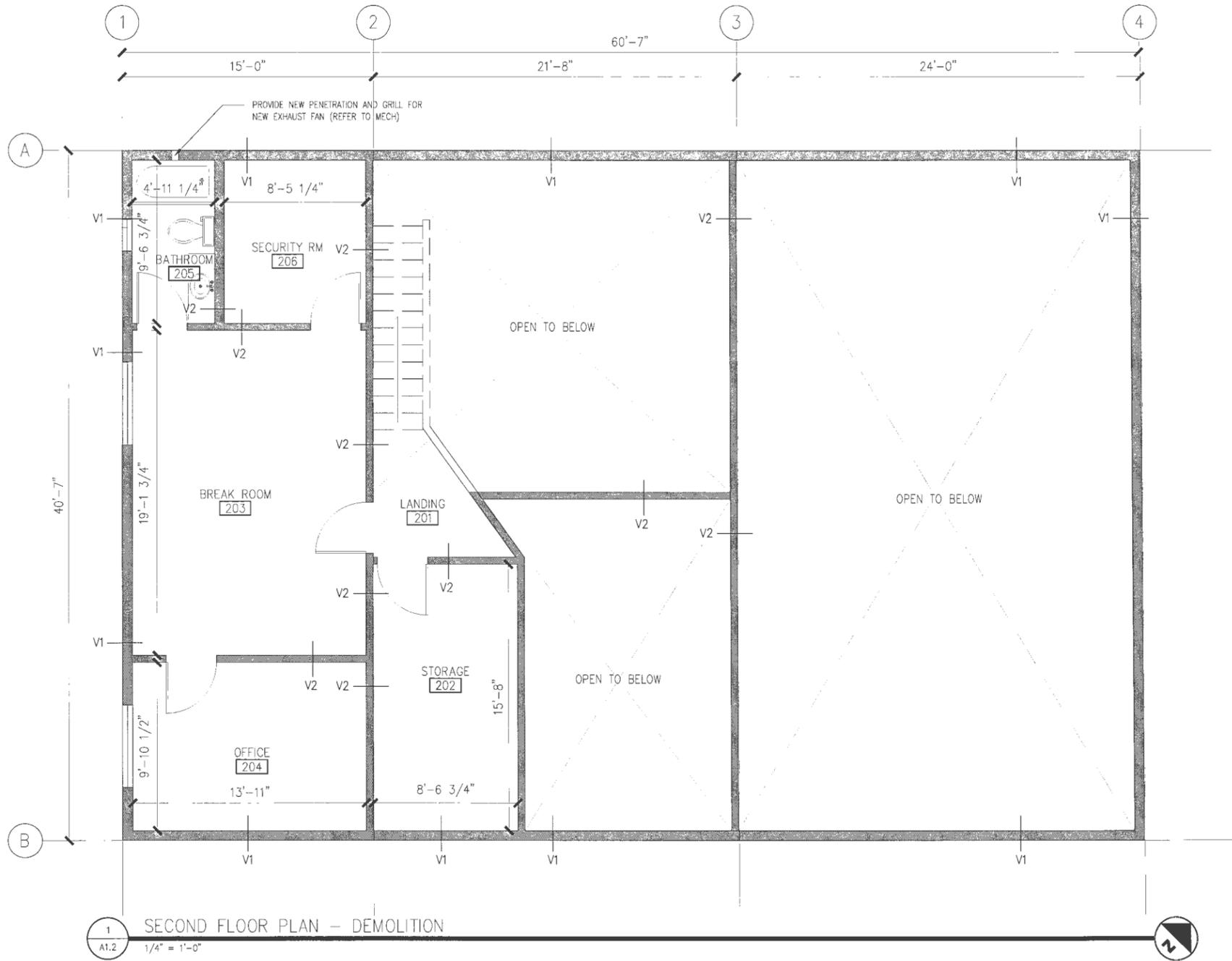
REVISIONS:

DRAWN BY: MFW  
 CHECKED BY: MFW  
 DATE: 11.18.2019  
 JOB NUMBER: 19122.00

**PROPERTY INFORMATION**  
 LEGAL ADDRESS:  
 TOWNSHIP 17N RANGE 2W SECTION 20 L0 35  
 SITE ADDRESS:  
 2439 S. RIDGECREST RD. WASILLA ALASKA

SHEET CONTENTS:  
 SITE PLAN  
 PROPERTY INFORMATION





**BRISTOL BAY BUD COMPANY - THE PHARM**  
**2439 S. RIDGECREST ROAD**  
**WASILLA, ALASKA 99654**

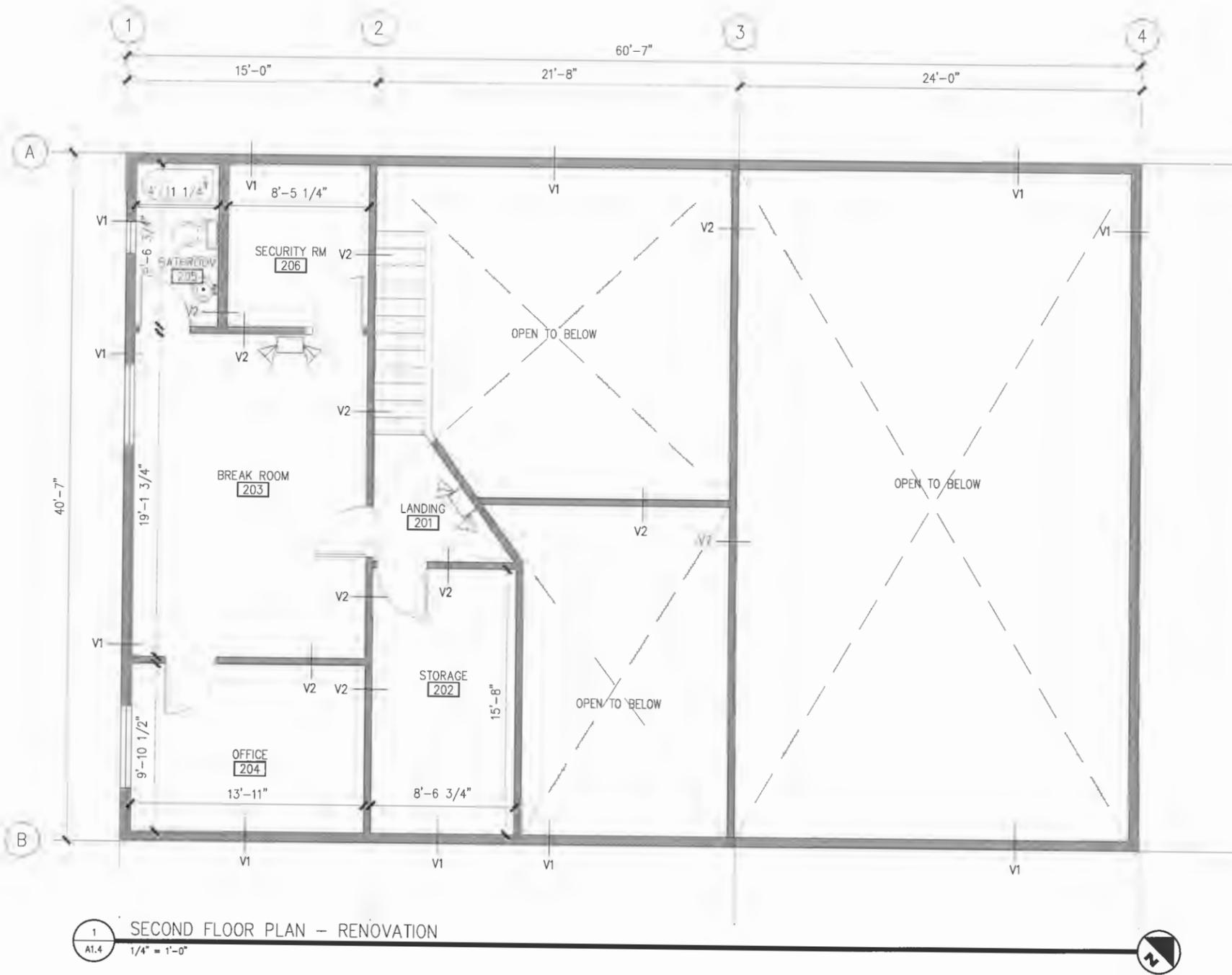
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DRAWINGS

REVISIONS:

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SHEET CONTENTS:  
 SECOND FLOOR PLAN  
 DEMOLITION PLAN





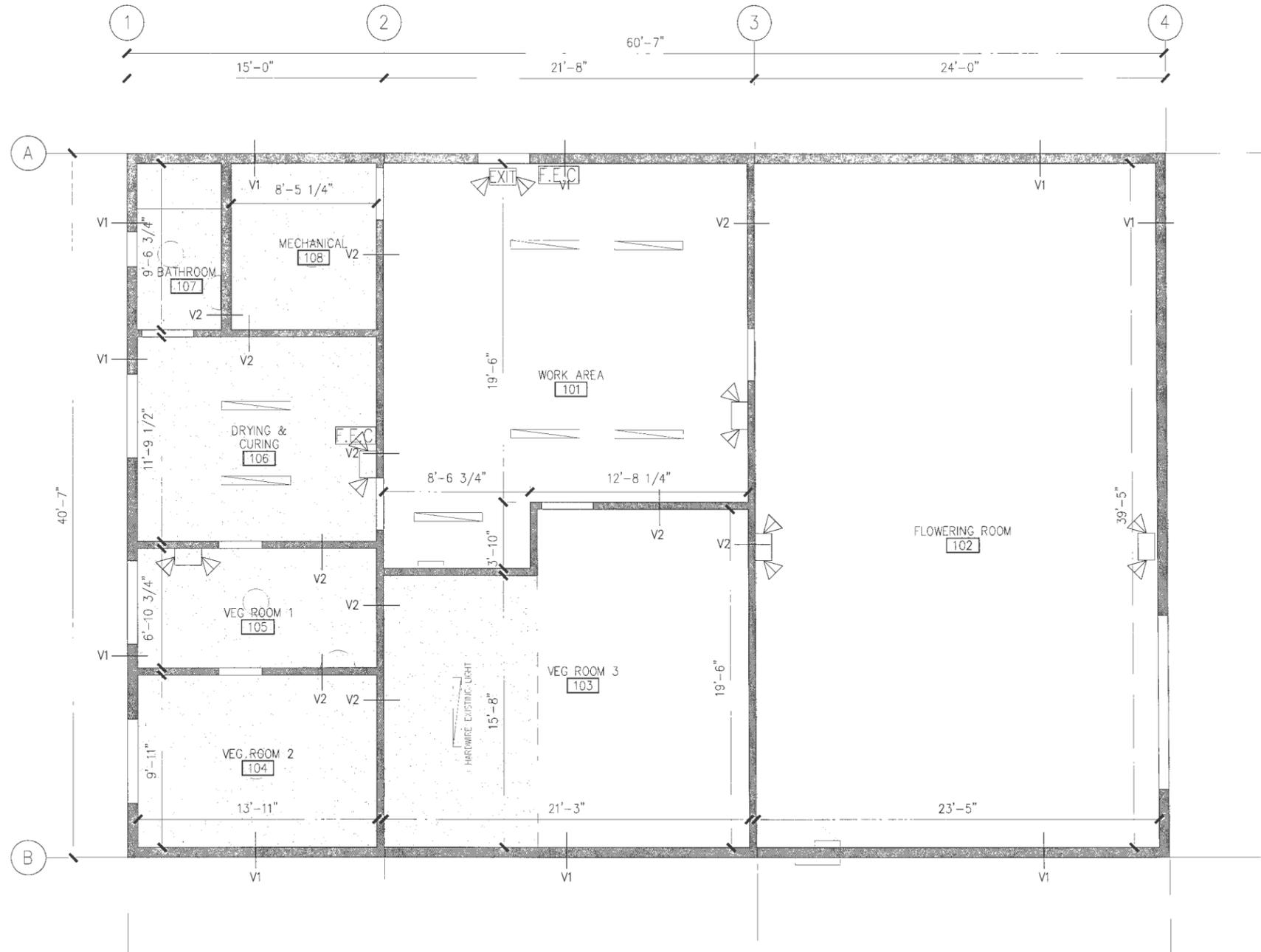
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CONSTRUCTION  
DRAWINGS

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SHEET CONTENTS:  
 SECOND FLOOR PLAN  
 RENOVATION PLAN



**REFLECTED CEILING PLAN - LEGEND**

-  GYPSUM CEILING
-  STRIP LIGHT (CEILING MOUNT)
-  WALL MOUNTED LIGHT
-  CEILING MOUNTED LIGHT

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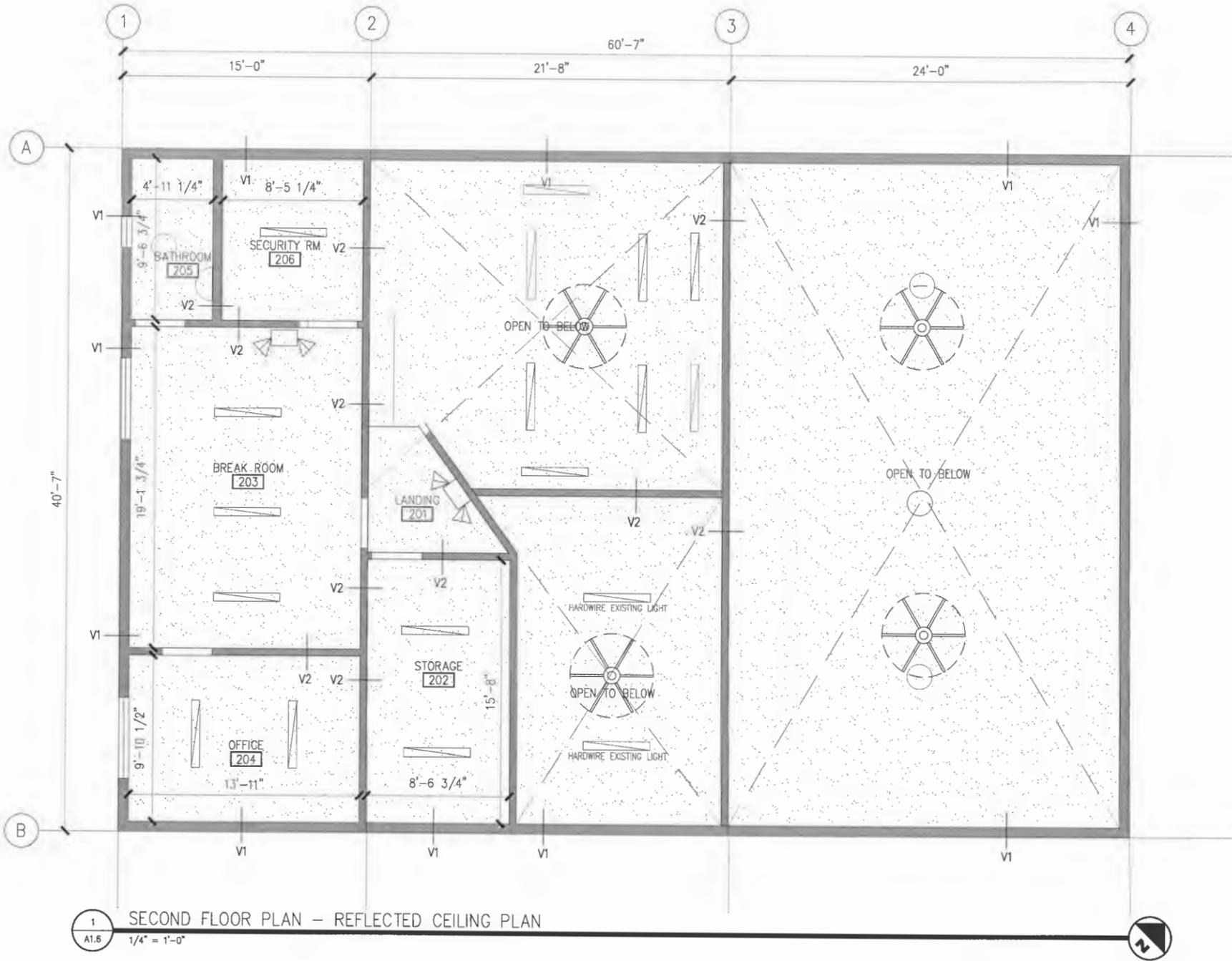
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 DATE: 11.18.2019  
 JOB NUMBER: 19122.0D

SHEET CONTENTS:  
 FIRST FLOOR PLAN - RCP  
 RCP LEGEND

1 FIRST FLOOR PLAN - REFLECTED CEILING PLAN  
 A1.5 1/4" = 1'-0" 



1  
A1.6  
SECOND FLOOR PLAN - REFLECTED CEILING PLAN  
1/4" = 1'-0"

**REFLECTED CEILING PLAN - LEGEND**

-  GYPSUM CEILING
-  STRIP LIGHT (CEILING MOUNT)
-  WALL MOUNTED LIGHT
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SHEET CONTENTS:  
 SECOND FLOOR PLAN  
 RCP LEGEND



## MECHANICAL SPECIFICATIONS

### GENERAL PROVISIONS

#### SCOPE OF WORK

THIS PROJECT IS GENERALLY DESCRIBED AS COMPRISING OF ADDING HEATING, VENTILATION, AIR CONDITIONING, PIPING, PLUMBING AND CONTROL SYSTEMS TO THE BRISTOL BAY BUD CULTIVATION FACILITY IN WASILLA, ALASKA. IT INCLUDES THE ADDITION OF EQUIPMENT AND SYSTEMS TO SERVE THE HEATING, VENTILATION, AIR CONDITIONING, PIPING, PLUMBING AND CONTROL FUNCTIONS IN THE FACILITY.

#### INTENT OF DRAWINGS AND SPECIFICATIONS

THE INTENT OF THE CONTRACT DOCUMENTS IS FOR THE CONTRACTOR TO INCLUDE ALL WORK NECESSARY FOR COMPLETE MECHANICAL SYSTEMS, TESTED AND READY FOR OPERATION. BY SUBMITTING A PROPOSAL, THE CONTRACTOR REPRESENTS THEY HAVE MADE A THOROUGH EXAMINATION OF THE SITE, OF THE WORK AND ALL EXISTING CONDITIONS AND LIMITATIONS, AND THEY HAVE DETERMINED THE DOCUMENTS ARE ADEQUATE AND SATISFACTORY FOR THE COMPLETION OF THE WORK.

MECHANICAL DRAWINGS DO NOT ATTEMPT TO SHOW ALL ASPECTS OF BUILDING CONSTRUCTION, WHICH WILL AFFECT THE INSTALLATION OF MECHANICAL SYSTEMS. THE MECHANICAL DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW ALL OFFSETS AND FITTINGS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION.

#### CODES AND STANDARDS

PROVIDE ALL WORK IN COMPLIANCE WITH APPLICABLE LOCAL CODES AND STANDARDS. APPLICABLE CODES AND STANDARDS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- 2012 UNIFORM PLUMBING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL FUEL GAS CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL BUILDING CODE
- REQUIREMENTS OF OSHA AND EPA
- NATIONAL FIRE PROTECTION ASSOCIATION CODES, LATEST EDITIONS
- ASME CODES FOR BOILER AND PRESSURE VESSELS, LATEST EDITIONS
- SMACNA HVAC DUCT CONSTRUCTION STANDARDS, LATEST EDITIONS
- ALL LOCAL AND STATE AMENDMENTS
- REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTIONAL AUTHORITY OVER INSTALLATION

#### COORDINATION AND SCHEDULING

PROVIDE ALL ADMINISTRATIVE AND SUPERVISORY REQUIREMENTS FOR THE COORDINATION AND SCHEDULING OF THE WORK. THE MECHANICAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND THE OWNER.

REVIEW ALL PROJECT DRAWINGS INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS.

PLAN AND EXECUTE WORK IN COOPERATION WITH ALL OTHER TRADES. EVERY REASONABLE EFFORT SHALL BE MADE TO PROVIDE ALL CONCERNED WITH TIMELY NOTICE OF WORK AFFECTING OTHER TRADES TO PREVENT CONFLICTS OR INTERFERENCE AS TO SPACE REQUIREMENTS, DIMENSIONS, OPENINGS, BLOCK-OUTS, SLEEVING OR OTHER MATTERS WHICH WILL CAUSE DELAYS OR NECESSITATE WORK-AROUND METHODS.

#### CONTRACTOR RESPONSIBILITY

THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN COMPLETE CONTROL OF THE CONSTRUCTED PROJECT, SUCH THAT THE COMPLETE PROJECT SHALL BE FREE OF DEFECTS AND IN CONFORMANCE WITH THE PROJECT DOCUMENTS.

THE CONTRACTOR SHALL UTILIZE PROCEDURES THAT ASSURE QUALITY CONSTRUCTION THROUGHOUT, WITH USE OF THE BEST INDUSTRY STANDARDS FOR THE SPECIFIC PROCESS USED. REMOVE AND REPLACE ANY WORK FOUND DEFECTIVE OR NOT COMPLYING WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS, AT NO ADDITIONAL COST TO THE OWNER.

#### WORKMANSHIP

ALL WORK TO BE DONE BY WORKMEN SKILLED IN AND REGULARLY EMPLOYED AT THAT TRADE.

PROVIDE ALL MATERIALS, PRODUCTS AND EQUIPMENT IN STRICT ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES. THEY MUST BE OF FIRST QUALITY AND IN LINE WITH THE BEST CURRENT PRACTICES.

CUTTING AND PATCHING SHALL BE KEPT TO A MINIMUM. ALL PATCHING TO MATCH EXISTING FINISH WORK. DO NOT CUT STRUCTURAL MEMBERS.

CONTRACTOR SHALL FIELD VERIFY PRIOR TO BIDDING. VERIFY SPACE AVAILABILITY PRIOR TO FABRICATION AND INSTALLATION OF ANY WORK. VERIFY EXACT DISTANCES BETWEEN POINTS SHOWN ON DRAWINGS BY ACTUAL MEASUREMENT AT SITE.

REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE SITE, THOROUGHLY CLEAN ALL SURFACES OF WORK, AND LEAVE READY FOR OCCUPANCY BY THE OWNER. THE OWNER WILL VERIFY THE COMPLETION AND/OR CORRECTION OF THE ITEMS ABOVE.

#### SUBMITTALS

SUBMIT TECHNICAL DATA AND REQUIRED INFORMATION ON EQUIPMENT AND MATERIALS AS FOLLOWS:

- PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DATA FOR THE ITEMS LISTED IN THE INDIVIDUAL SPECIFICATION SECTIONS. PRODUCT DATA SHALL DEMONSTRATE COMPLIANCE WITH ALL SPECIFIED FEATURES AND REQUIREMENTS.
- REPORTS AND CERTIFICATES: INDICATE AND INTERPRET TEST RESULTS FOR COMPLIANCE WITH PERFORMANCE REQUIREMENTS. PROVIDE PERFORMANCE CERTIFICATES.

#### PERMITS, INSPECTIONS AND FEES

CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED IN CONNECTION WITH THIS INSTALLATION. THE CONTRACTOR SHALL PRESENT THE OWNER WITH PROPERLY SIGNED CERTIFICATES OF FINAL INSPECTION BEFORE THE WORK WILL BE ACCEPTED.

CONTRACTOR SHALL CALL FOR ALL INSPECTIONS BY LOCAL BUILDING OFFICIALS WHEN THEY BECOME DUE, AND SHALL NOT COVER ANY WORK UNTIL APPROVED BY THESE GOVERNING AUTHORITIES.

CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH UTILITY COMPANIES FOR WATER, STEAM, GAS AND DRAINAGE SERVICES, ETC., ASSOCIATED WITH THE WORK AND INCLUDE REQUIRED PAYMENTS FOR METERS, PIPING, SERVICES, CONNECTION CHARGES AND MATERIALS FURNISHED AND INSTALLED BY UTILITY COMPANIES. WORK AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH RULES OF RESPECTIVE AUTHORITIES.

#### FINAL CHECKOUT AND PROJECT CLOSEOUT

THE OWNER HAS FULL AUTHORITY TO SEE THAT THE WORK IS PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE OWNER WILL REQUIRE A COMPLETE FINAL INSPECTION OF ALL PARTS OF THE WORK. WORK SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: PLUMBING, PIPING, EQUIPMENT, DUCTWORK, WIRING, AND FINISH WORK.

THE OWNER WILL REQUIRE A WRITTEN GUARANTY THAT ALL MATERIALS AND WORKMANSHIP THAT PROVE DEFECTIVE WITHIN ONE YEAR AFTER DATE OF ACCEPTANCE WILL BE REPLACED.

#### OPERATION AND MAINTENANCE MANUAL

INCLUDE WARRANTY CERTIFICATES FOR ALL EQUIPMENT WHERE EXTENDED WARRANTIES ARE EITHER OFFERED OR REQUIRED. PROVIDE SUPPLIER CONTACT

## MECHANICAL SPECIFICATIONS CONT'D

### BASIC MATERIALS & METHODS

#### BASIC MATERIALS

- HEATING SYSTEM: COPPER PIPE: TYPE L, ASTM B88, WITH SWEAT FITTINGS AND 430 SILVER SOLDER JOINTS. STEEL PIPE: BLACK STEEL ASTM A120 OR A53 GRADE A OR B, STANDARD WEIGHT. STEEL FITTINGS:
- 2 INCHES AND SMALLER – 150-POUND BLACK MALLEABLE IRON, BLACK, SCREWED, ANSI B16.3 AND ASTM A97.
- 2-1/2 INCHES AND LARGER – STANDARD WEIGHT, SEAMLESS STEEL, BUTT-WELDING TO ANSI B16.9, GRADE WPB.
- RADIANT TUBING – CROSS-LINKED POLYETHYLENE (HEPEX) PIPE, FITTINGS, AND MANIFOLD SYSTEM.
- REFRIGERATION PIPE AND FITTINGS: TYPE I, ACR, HARD DRAWN COPPER TUBING. WROUGHT COPPER, SWEAT TYPE FITTINGS SHALL BE SOLDERED USING SILVER SOLDER OR EQUALLY HIGH MELTING POINT BRAZING ALLOY. ALL AIR MUST BE FLUSHED FROM THE LINES BEFORE BRAZING AND DRY NITROGEN MUST BE PASSED THROUGH THE TUBING WHILE BRAZING.
- DOMESTIC WATER PIPE: TYPE L HARD DRAWN COPPER TUBING, WROUGHT SOLDER TYPE FITTINGS, LEAD FREE SILVER SOLDER OR CROSS-LINKED POLYETHYLENE (PEX A) PIPE, FITTINGS, AND MANIFOLD SYSTEMS SUITABLE FOR DOMESTIC WATER SYSTEMS.
- WASTE/VENT PIPE: CAST IRON WITH NO-HUB FITTINGS OR DWV ABS PIPE AND FITTINGS. DWV ABS CANNOT BE USED IN EXPOSED AREAS OR RETURN PLENUMS. MINIMUM SLOPE OF 1/4" PER FOOT UNLESS NOTED OTHERWISE FOR 4" AND LARGER PIPES.
- NON-POTABLE WATER PIPE: TYPE HDPE PIPE AND FITTINGS. PLASTIC VALVES ARE NOT ACCEPTABLE.
- FUEL OIL PIPE: BLACK STEEL, ASTM A120 OR A53 GRADE A OR B, STANDARD WEIGHT, SCHEDULE 40 OR TYPE K HARD DRAWN COPPER. FITTINGS: 150-POUND BLACK MALLEABLE IRON, BLACK SCREWED, ANSI B16.3 AND ASTM A197 OR WROUGHT COPPER FITTINGS WITH SILVER SOLDER JOINTS.
- VALVES: SELECT VALVES OF THE BEST TYPE AND QUALITY SUITED FOR THE SPECIFIC SERVICE AND PIPING SYSTEM USED. MINIMUM WORKING PRESSURE 150 PSIG W.O.G.
- BALANCING VALVES: CIRCUIT SETTER TYPE, DUCTILE IRON BODY WITH BRONZE DISC, SUITABLE FOR FLOW MEASUREMENT, FLOW BALANCING, AND TIGHT SHUTOFF.
- AIR VENTS: AUTOMATIC – FLOAT OPERATED TYPE, 75 PSIG WORKING PRESSURE. MANUAL – DISC-TYPE WITH BUILT IN CHECK VALVE, 50 PSIG WORKING PRESSURE. AUTOMATIC AIR VENTS AT HIGH POINTS OF HEATING SYSTEM, HEATING COILS, UNIT HEATERS, CABINET UNIT HEATERS. MANUAL AIR VENTS AT BASEBOARD UNITS.
- DIELECTRIC UNIONS: PROVIDE AT EACH JOINT BETWEEN DISSIMILAR-METALS.
- ESCUTCHEON PLATES: SPRING CLIP TYPE AT WALLS AND CEILINGS.
- WATER HAMMER ARRESTERS: PROVIDE WATER HAMMER ARRESTERS ON THE COLD AND HOT WATER PIPES SERVING EACH PLUMBING FIXTURE. SIZED PER THE SCHEDULE.
- PIPE INSULATION: FIBERGLASS PIPE INSULATION WITH FACTORY APPLIED ALL-SERVICE JACKET; FACTORY PRE-MOLDED PVC FITTING AND VALVE COVERS. THERMAL CONDUCTIVITY K=0.24 AT 100°F MEAN TEMPERATURE. THICKNESS: 1.0-INCH FOR GLYCOL HEATING SUPPLY AND RETURN SYSTEM, DOMESTIC COLD, HOT AND HOT WATER CIRCULATION WATER SYSTEMS, REFRIGERATION PIPING AND VENTS IN NON-HEATED AREAS. PROVIDE A 20 GAUGE SHEET METAL SLEEVE WITH MINERAL WOOL PACKING, FULL DEPTH, AT ALL WALL PENETRATIONS.
- PIPE SUPPORTS: SUPPORT SINGLE PIPES WITH INDIVIDUAL HANGERS OR PROVIDE MULTIPLE PIPE TRAPEZE HANGERS. INSTALL COLD WATER PIPE HANGERS ON THE OUTSIDE OF THE INSULATION. SUPPORT FROM BEAMS USING APPROPRIATE BEAM CLAMPS AND HANGER RODS. SUPPORT HORIZONTAL PIPING RUNS AT FIVE FEET ON CENTERS AND AT CHANGES OF DIRECTION. CONFORM TO IMC AND UPC REQUIREMENTS.
- PIPING ALUMINUM JACKET (OUTSIDE PIPING ONLY): ASTM B 209, 3003 ALLOY, H-14 TEMPER, FACTORY CUT AND ROLLED TO INDICATED SIZES OR ROLL STOCK, READY FOR SHOP OR FIELD CUTTING AND FORMING TO INDICATED SIZES. FINISH AND THICKNESS: STUCCO-EMBOSSED FINISH, 0.016 INCH THICK. MOISTURE BARRIER: 1-MIL-THICK, HEAT-BONDED POLYETHYLENE AND KRAFT PAPER. ELBOWS: PREFORMED, 45- AND 90-DEGREE, SHORT- AND LONG-RADIUS ELBOWS; SAME MATERIAL, FINISH, AND THICKNESS AS JACKET.
- DUCTWORK: ALL DUCTWORK SHALL BE GALVANIZED STEEL, FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS, 2" W.G. PRESSURE CLASS FOR LOW PRESSURE SYSTEMS. DUCT SEALER SHALL BE UL LABELED DUST SEALER AS MANUFACTURED BY 3M COMPANY OR EQUAL. EXPOSED DUCT FITTINGS SHALL BE SEALED WITH HARDCAST DUCT SEALANT TAPE APPLIED IN A NEAT AND UNIFORM STYLE. HARDCAST TAPE SHALL BE SUITABLE FOR PAINTING (PAINTING BY OTHERS). DUCT FITTINGS SHALL BE FABRICATED IN ACCORDANCE WITH SMACNA STANDARDS. DUCT RUNS SHALL COORDINATE WITH WALLS, SUSPENDED CEILINGS, LIGHT FIXTURES, ROOF TRUSSES AND SIMILAR FINISHED WORK. DUCT OPENING SHALL BE COVERED DURING CONSTRUCTION TO PREVENT ENTRANCE OF DUST AND DEBRIS.
- DUCT INSULATION: ALL SUPPLY AIR DUCTWORK, OUTSIDE AIR INTAKE DUCTWORK, RELIEF DUCTWORK, COMBUSTION AIR DUCTWORK, AND EXHAUST DUCTWORK BACK 10 FT. FROM THE EXTERIOR DISCHARGE, SHALL BE INSULATED WITH A COMMERCIAL GRADE, GLASS FIBER, REINFORCED FOIL FACED DUCT WRAP INSULATION SIMILAR TO OWENS-CORNING TYPE 150, 2" NOMINAL THICKNESS, 1.5# DENSITY, OR APPROVED EQUAL. THE AHU OUTSIDE AIR DUCTWORK SHALL BE INSULATED THE ENTIRE LENGTH FROM THE OUTSIDE WALL TO THE AHU. INSULATION SHALL BE APPLIED TO COVER ALL EXTERIOR SURFACES OF DUCTWORK AND SEALED TIGHTLY TO PREVENT LEAKAGE.
- BOILER STACK: UL LISTED, DOUBLE WALL MATERIAL, 304 STAINLESS STEEL INNER LINER, ALUMINIZED STEEL OUTER LINER, SCHEBLER TYPE PA OR APPROVED. PROVIDE 2" INSULATED STACK FOR THAT PORTION OF THE STACK LOCATED OUTSIDE THE BUILDING. SUBMIT FACTORY SHOP DRAWINGS.
- WATER HEATER INTAKE/EXHAUST: PROVIDE CONCENTRIC VENT KIT BY MANUFACTURER.
- PLASTIC PIPE MARKERS: FACTORY FABRICATED, FLEXIBLE, SEMI-RIGID PLASTIC, PERFORMED TO FIT AROUND PIPE OR PIPE COVERING.
- PLUMBING FIXTURES: FURNISH AND INSTALL FIXTURES AS SCHEDULED AND SHOWN ON THE DRAWINGS.

#### ADDITIONAL METHODS

COORDINATE ALL NEW WORK WITH THE CONDUITS, LIGHTS, HANGERS, STRUCTURAL MEMBERS AND OTHER TRADES. SUBMIT PROJECT DATA, WARRANTIES, AND O&M DATA FOR REVIEW.

SEE SCHEDULES FOR EQUIPMENT REQUIREMENTS AND SPECIFICATIONS.

INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. INSTALL ONLY PRODUCTS SPECIFICALLY DESIGNED AND APPROVED FOR THE TYPE OF OPERATION OR SERVICE.

#### TESTING & CLEANING

TEST THE HEATING, CHILLED WATER AND DOMESTIC WATER SYSTEMS AT 100 PSI WITH NO PRESSURE DROP OVER A FOUR HOUR PERIOD, WITH SYSTEM STABILIZED AT DESIGN TEMPERATURE. OBSERVE SYSTEM FOR LEAKS, FAULTY CIRCULATION, EXPANSION AND CONTRACTION, AND REPAIR ANY DEFICIENCIES. TEST THE WASTE AND VENT SYSTEMS PER THE UPC.

FLUSH AND STERILIZE THE DOMESTIC WATER SYSTEMS AS FOLLOWS: PRESSURE FLUSH THE DOMESTIC WATER PIPING SYSTEMS TO REMOVE PARTICULATE FROM THE SYSTEM. STERILIZE WITH CHLORINE TO OBTAIN 50 PPM FOR 24 HOURS; FLUSH WITH CLEAN WATER UNTIL RESIDUAL CHLORINE CONTENT IS LESS THAN 1.0 PPM. EXERCISE PROPER CARE DURING CLEANING AND FLUSHING OF SYSTEM TO ENSURE NO DAMAGE IS DONE TO ANY EQUIPMENT, VALVES, OR FITTINGS.

PRESSURE FLUSH THE HEATING AND CHILLED WATER PIPING TO REMOVE IRON OXIDES AND MILL SCALE FROM THE SYSTEM. FLUSH THE PIPING WITH TRISODIUM PHOSPHATE SOLUTION, 1 POUND FOR EACH 50 GALLONS OF WATER WHICH SHALL BE CIRCULATED FOR FOUR HOURS, THEN DRAINED AND FLUSHED WITH CLEAN WATER. REPEAT THIS PROCESS UNTIL THE SYSTEM IS CLEAN. EXERCISE PROPER CARE DURING CLEANING AND FLUSHING OF SYSTEM TO ENSURE NO DAMAGE IS DONE TO ANY EQUIPMENT, VALVES, OR FITTINGS.

#### BALANCING & STARTUP

AN INDEPENDENT AIR BALANCING COMPANY WILL PERFORM THE AIR BALANCING OF THE COMPLETE HEATING AND HVAC SYSTEMS PER THE SMACNA BALANCING AND ADJUSTMENT MANUAL. ADJUST AIR QUANTITIES TO WITHIN 5% OF THE DESIGN VALUES.

TESTING AND BALANCING OF THE HEATING SYSTEM BEGINS BY VERIFYING THE AIR VENTS, AT THE HIGH POINTS OF THE SYSTEM, ARE OPERATING FREELY. ENSURE ALL AIR IS REMOVED FROM THE CIRCULATING SYSTEM. SET TEMPERATURE CONTROLS SO THAT AUTOMATIC VALVES ARE OPEN TO FULL FLOW THROUGH THE HEATING DEVICE. UPON COMPLETION OF FLOW READINGS AND ADJUSTMENTS, MARK ALL SETTINGS AND RECORD ALL DATA. DELIVER THE TESTING METER TO THE OWNER.

COMPLETE AND SUBMIT THE FINAL TESTING AND BALANCING REPORT BEFORE THE PROJECT IS COMPLETE.

FIELD SERVICES: THE MANUFACTURER'S REPRESENTATIVE SHALL PROVIDE THE SERVICES OF A LOCAL FACTORY AUTHORIZED SERVICE TECHNICIAN TO SUPERVISE ALL



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SPECIFICATIONS



## MECHANICAL SPECIFICATIONS CONT'D

### CONTROLS

#### CONTROL REQUIREMENTS

PROVIDE A COMPLETE AUTOMATIC TEMPERATURE CONTROL SYSTEM TO PROVIDE THE EQUIPMENT CONTROL SEQUENCES NOTED BELOW.

ALL COMPONENTS USED WILL BE ONLY COMMERCIAL GRADE. PROVIDE ALL EQUIPMENT FOR A COMPLETE AND OPERATIONAL SYSTEM.

CONTROL WIRING: PROVIDE ELECTRIC WIRING AND WIRING CONNECTIONS REQUIRED FOR THE INSTALLATION OF THE CONTROL SYSTEM. COMPLY WITH THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE.

THE CONTROL CONTRACTOR SHALL WORK WITH AND COORDINATE WITH THE ENGINEER ON THE COMPONENTS, SEQUENCES OF OPERATION AND SYSTEM CAPABILITIES. SUBMIT PROJECT DATA, WARRANTIES, O&M DATA, AND CONTROL SHOP DRAWINGS FOR REVIEW.

#### BUILDING HVAC SYSTEMS

BOILER (B-1): BOILER WILL HAVE FACTORY PROVIDED CONTROLS THAT CONTROLS BOILER FIRING SEQUENCE, SUPPLY TEMPERATURE, TEMPERATURE RESET, AND PUMP OPERATION. THE BOILERS SHALL SHUT DOWN UPON FLUID FLOW FAILURE AS SENSED BY THE LOW WATER CUTOFF SWITCH, BY THE HIGH LIMIT SWITCH OR BY ITS FLAME SAFETY CONTROL SYSTEM.

GLYCOL MAKE-UP (GT-1): A PRESSURE SWITCH, LOCATED IN THE GLYCOL SUPPLY HEADER, SHALL START THE GLYCOL PUMP TO CHARGE THE SYSTEM TO THE SELECTED SYSTEM PRESSURE. INITIAL SETPOINT, ON AT 5 PSIG, OFF AT 12 PSIG. MANUAL CONTROL WILL BE BY AN ON/OFF SWITCH.

CABINET UNIT HEATERS (CUH-1) SHALL BE CONTROLLED BY THERMOSTAT. CUH-1 FAN AND PMP-5 TO START ON A CALL FOR HEAT.

RADIANT FLOOR HEATING: A TEKMAR CONTROL SYSTEM WILL CONTROL THE RADIANT HEAT FUNCTIONS TO INCLUDE PRIMARY AND SECONDARY PUMP CONTROL, TEMPERATURE SENSORS, ETC. THE INJECTION CIRCULATOR PUMP, IP-1, AND GLYCOL CIRCULATOR PUMPS, PMP-2 THRU PMP-4, ARE DEDICATED TO THE RADIANT ZONES. WHEN THE CONTROLLER DETERMINES A NEED FOR HEAT IN A ZONE, IP-1 AND RESPECTIVE ZONE PUMP WILL START. ZONE THERMOSTAT TO CONTROL ASSOCIATED ZONE VALVE AT THE RESPECTIVE MANIFOLD.

RESTROOM EXHAUST (EF-3): THE FAN SHALL START AND STOP THROUGH THE ROOM LIGHT SWITCH.

#### CULTIVATION HVAC SYSTEMS

CULTIVATION SPLIT SYSTEM AIR-CONDITIONING (AC-1/CU-1 THRU AC-4/CU-4): SPLIT SYSTEM AIR-CONDITIONER SHALL MODULATE COOLING TO MAINTAIN SYSTEM SETPOINT. CEILING FANS (CF-1 THRU CF-4): CEILING FANS SHALL BE CONTROLLED BY WALL-MOUNTED SPEED CONTROLLER.

MECHANICAL EXHAUST SYSTEM (EF-1 THRU EF-2): EXHAUST FANS SHALL BE CONTROLLED BY MANUAL START/STOP SYSTEM WITH SPEED CONTROL. MOD ON SUPPLY AND EXHAUST SHALL OPEN WHEN SYSTEM IS ACTIVATED.

DEHUMIDIFIERS (D-1 THRU D-7): DEHUMIDIFIER SHALL OPERATE ON A CALL FOR DEHUMIFICATION BY THE RESPECTIVE ROOM HUMIDISTAT.

#### DOMESTIC WATER SYSTEM

WELL TANK: A PRESSURE SWITCH ON THE WELL TANK SHALL SEND SIGNAL TO WELL PUMP FOR START/STOP OPERATION.

WATER HEATERS (WH-1): THE WATER HEATER PACKAGES INCLUDES INTEGRAL FACTORY WIRED OPERATING CONTROLS THAT WILL CONTROL THE OPERATION OF THE SYSTEM AND OIL-FIRED HEATER. INITIAL SETPOINT OF THE DOMESTIC HOT WATER IS 120°F (ADJUSTABLE).

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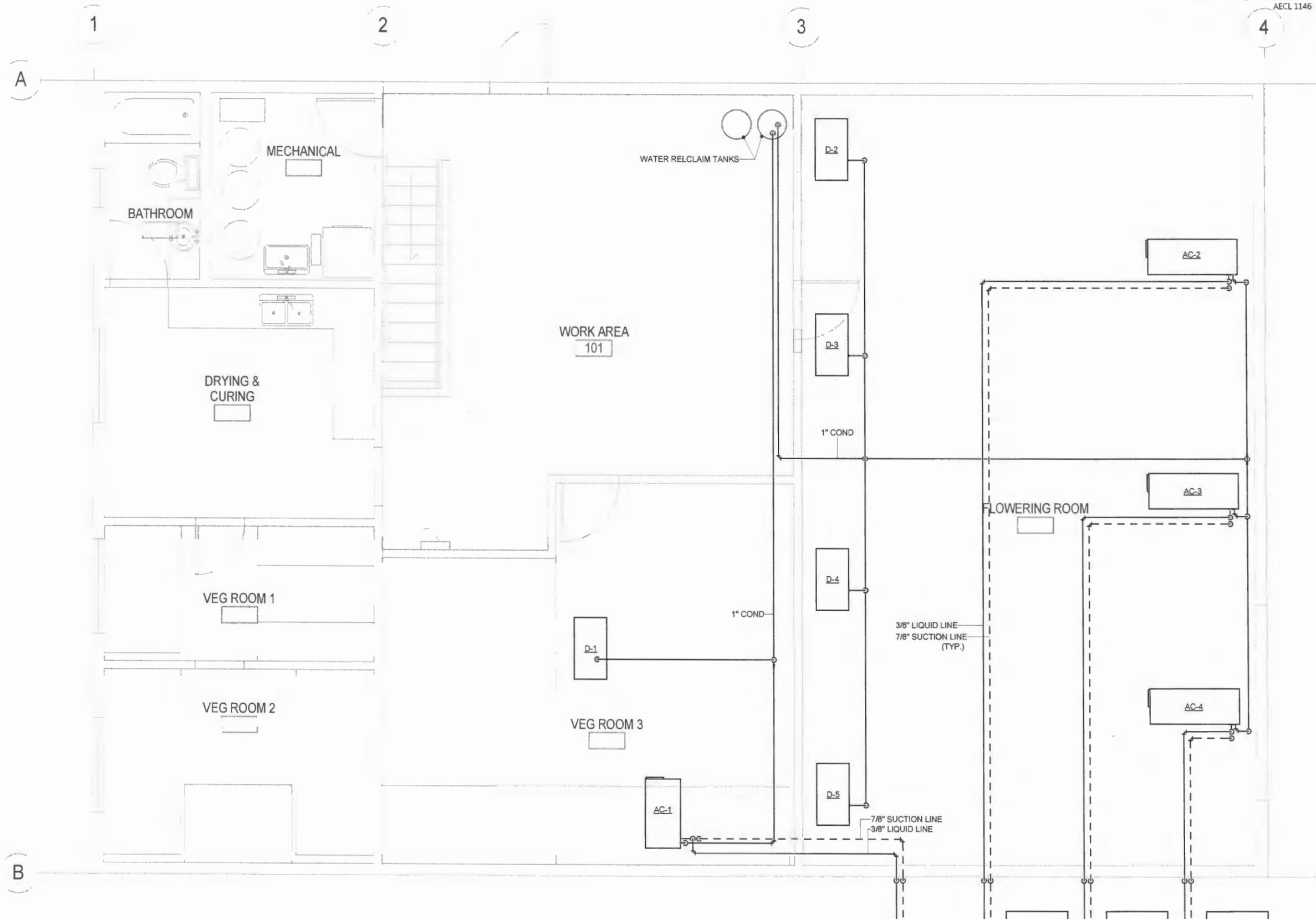
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SHEET CONTENTS:  
 FIRST FLOOR PIPING PLAN

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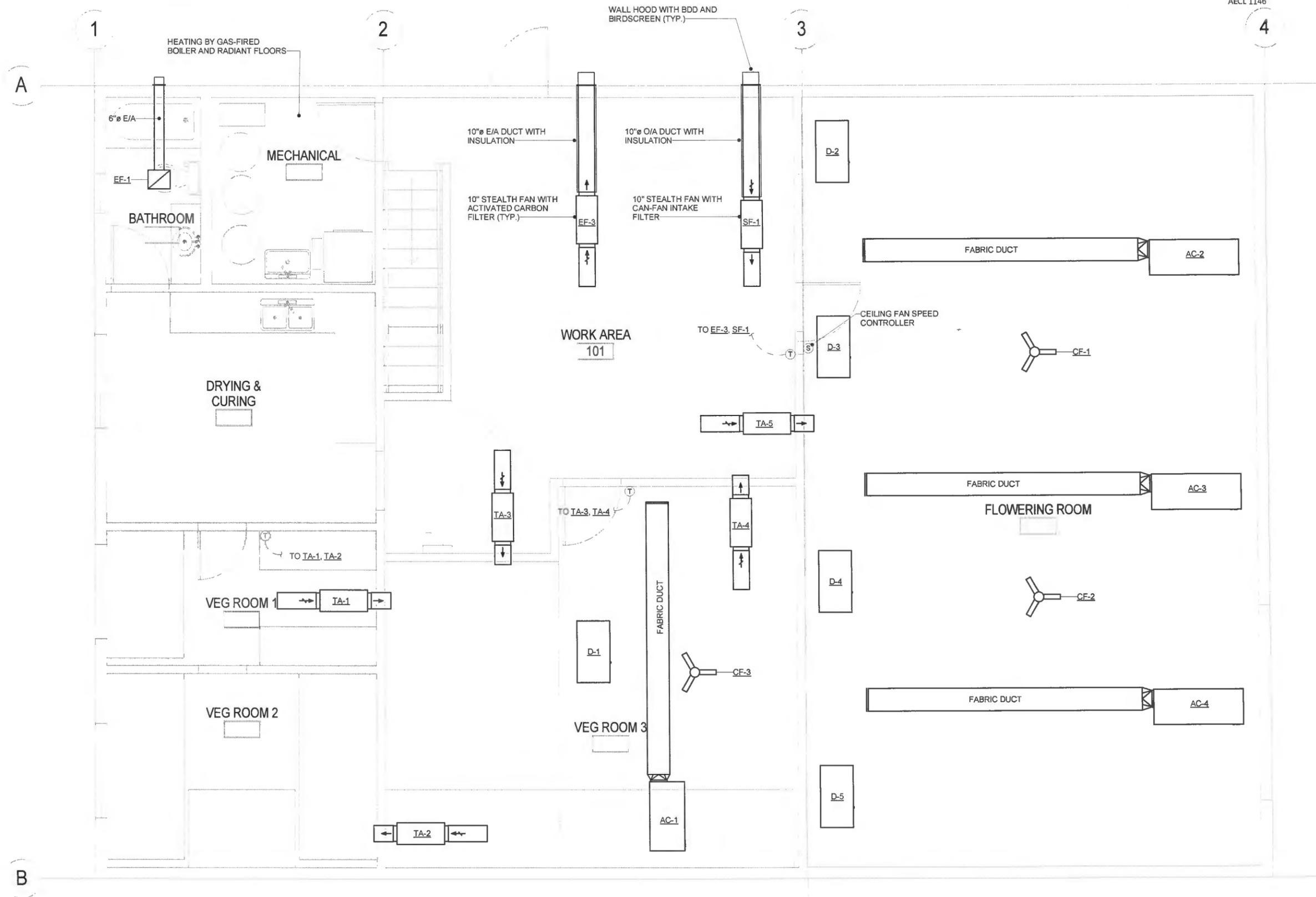


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SHEET CONTENTS:  
 FIRST FLOOR VENTILATION PLAN



**JERNSTROM**  
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REVISIONS:

DRAWN BY: SEO  
 CHECKED BY: GJ  
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SHEET CONTENTS:  
 SECOND FLOOR VENTILATION PLAN

### SERVICE LOAD CALCULATIONS

#### NEW SERVICE LOAD CALCULATION

Load Type	Load per SF/ Unit (VA)	Area/ Quantity	Connected Load (KVA)	Demand Factor	Demand Load (KVA)
<b>General Lighting</b>					
None	0.0	2,350	0.00	1.25	0.00
<b>Convenience Receptacles</b>					
Receptacles	180	0	0.00		0.00
<b>Mechanical Equipment</b>					
Dehumidifiers	1,587	3	4.76	1.00	4.76
CF-x	240	0	0.00	1.00	0.00
EF-x	252	0	0.00	1.00	0.00
AC-x	2,645	3	7.94	1.00	7.94
CU-x	8,050	3	24.15	1.00	24.15
25% largest motor	8,050	1		0.25	2.01
<b>Miscellaneous Loads</b>					
1000W DE 240V GROW LIGHTS	1,000	36	36.00	1.25	45.00
LED VEG GROW LIGHTS	190	37	7.03	1.25	8.79
T5 GROW LIGHTS.	200	4	0.80	1.25	1.00
<b>Total Service Load</b>			<b>81 KVA</b>		<b>94</b>
Service Voltage:	240 Volts		<b>336 Amps</b>		<b>390</b>
Phase:	1 Phase				
Minimum Main Breaker Size:	<b>400 Amp</b>				
Spare Capacity for Future Expansion:	<b>2.5 %</b>				

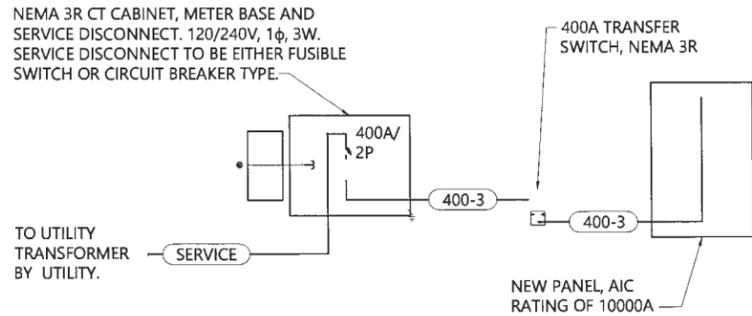
#### EXISTING SERVICE LOAD CALCULATION

Load Type	Load per SF/ Unit (VA)	Area/ Quantity	Connected Load (KVA)	Demand Factor	Demand Load (KVA)
<b>General Lighting</b>					
First Floor Lighting	0.7	2,350	1.65	1.25	2.06
Second Floor Lighting	1.0	750	0.75	1.25	0.94
Site Lighting	50	4	0.20	1.25	0.25
<b>Convenience Receptacles</b>					
220V Receptacles	4,000	3	12.00		11.00
Receptacles	180	65	11.70		10.85
<b>Mechanical Equipment</b>					
Dehumidifiers	1,587	2	3.17	1.00	3.17
CF-x	240	3	0.72	1.00	0.72
Fans	252	9	2.27	1.00	2.27
AC-x	1,587	1	1.59	1.00	1.59
CU-x	5,290	1	5.29	1.00	5.29
25% largest motor	5,290	1		0.25	1.32
<b>Miscellaneous Loads</b>					
WELL PUMP	4,000	1	4.00	1.00	4.00
<b>Total Service Load</b>			<b>43 KVA</b>		<b>43</b>
Service Voltage:	240 Volts		<b>181 Amps</b>		<b>181</b>
Phase:	1 Phase				
Minimum Main Breaker Size:	<b>200 Amp</b>				
Spare Capacity for Future Expansion:	<b>9.5 %</b>				

LIGHT FIXTURE SCHEDULE				
TAG TYPE	SYMBOL	MANUFACTURER/CATALOG # OR EQUAL	FIXTURE DESCRIPTION	MOUNTING
A	—	LITHONIA #ZL1N-L48-5000LM-FST-MVOLT-35K-80CRI-WH	4' LED STRIP FIXTURE, FROSTED DIFFUSER, MULTIVOLT.	SURFACE, CEILING
B	○	LEGRAND #272CC18	PORCELAIN KEYLESS LAMP HOLDER, MEDIUM BASE, RATED FOR 100 WATT.	SURFACE, CEILING
E	⏏	LITHONIA #LHQM-LED-G-HO	LED COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH DUAL HEADS, MULTIVOLT.	SURFACE, WALL UP +8'
EM	⏏	LITHONIA #ELM2L	LED EMERGENCY LIGHT WITH DUAL HEADS, NICKEL CADMIUM BATTERY,	SURFACE, WALL UP

FEEDER SCHEDULE		
FEEDER ID	FEEDER AMPACITY	CONDUIT SIZE, PHASE/NEUTRAL CONDUCTORS QUANTITY AND SIZE, GROUND CONDUCTOR QUANTITY AND SIZE.
SERVICE	-	4" LIQUIDTIGHT FLEXIBLE METAL CONDUIT, STUBBED OUT 6" FROM FOUNDATION DOWN 36" BELOW GRADE. UTILITY WILL INSTALL SERVICE CONDUCTORS.
400-3	410	2 RUNS OF 2"C, 3#250kcmil, 1#3/0 GND

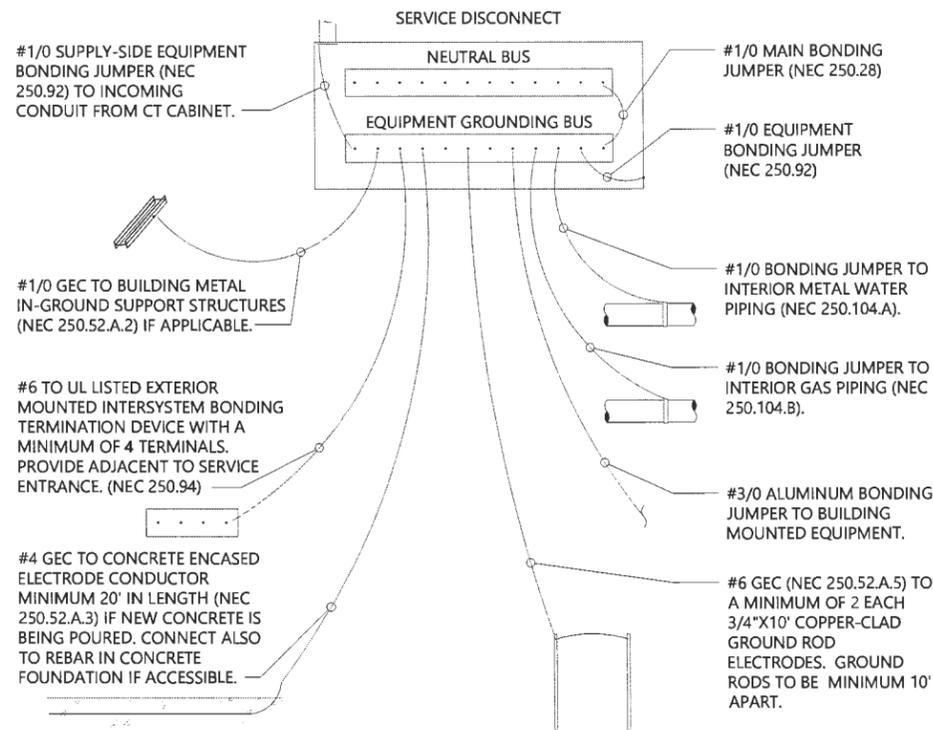
FEEDER SCHEDULE NOTES:  
1. ALL FEEDER CONDUCTORS SHALL BE ALUMINUM WITH XHHW INSULATION.



NOTE: EXISTING PANEL IS FED FROM AN EXISTING UTILITY SERVICE. NEW PANEL IS FED FROM NEW ELECTRICAL SERVICE. 2 SERVICES ARE REQUIRED DUE TO THE OCCUPANCY OF 2 SEPARATE TENANTS. SERVICE DISCONNECT, METER BASE, AND CT CABINET LOCATED APPROXIMATELY 200' FROM BUILDING.

### POWER ONE-LINE DIAGRAM

SCALE: NONE  
SCALE WHEN DRAWINGS ARE PRINTED FULL SIZE OF 22"X34"



NOTES:  
1. ALL ELECTRODE SIZES ARE BASED ON COPPER CONDUCTORS UON.  
2. GEC FOR EQUIPMENT AT BUILDING CAN BE TERMINATED TO GROUND BUS IN TRANSFER SWITCH.

### SERVICE GROUNDING DIAGRAM

SYMBOL LEGEND	
S S <sub>3</sub>	LIGHTING FIXTURE - SEE FIXTURE SCHEDULE FOR SYMBOLS
Ⓢ	SWITCH - SINGLE POLE, 3-WAY
Ⓢ	LIGHTING FIXTURE TAG, SEE FIXTURE SCHEDULE
Ⓢ	JUNCTION BOX ELECTRICAL CONNECTION
WP Ⓢ	WEATHERPROOF GFCI DUPLEX RECEPTACLE
Ⓢ	PANELBOARD - SURFACE MOUNTED
Ⓢ	120V, 20A CIRCUIT HOMERUN
LINETYPES	
---	EXISTING DEVICE
---	NEW WORK
ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
C	CONDUIT
CB	CIRCUIT BREAKER
GEC	GROUNDING ELECTRODE CONDUCTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GND	GROUND
LTG	LIGHTING
MTD	MOUNTED
NEC	NATIONAL ELECTRICAL CODE
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF

### GENERAL NOTES

- EXIT SIGNS AND EMERGENCY LIGHTS SHALL BE CONNECTED TO UN-SWITCHED LEG OF THE CONNECTED LIGHTING CIRCUIT.
- ALL BRANCH CIRCUITING IS 2#12, 1#12 GND, 1/2"C. UNLESS OTHERWISE NOTED.
- PROVIDE GFCI RECEPTACLE WITH WEATHERPROOF COVER WITHIN 25' OF NEW ELECTRICAL SERVICE.
- INSTALL SERVICE EQUIPMENT PER MEA REQUIREMENTS.
- PROVIDE SIGNAGE INDICATING THE AVAILABLE FAULT CURRENT AND EQUIPMENT RATINGS ON THE SERVICE DISCONNECT, SEE SHORT CIRCUIT CALCULATION SUMMARY.

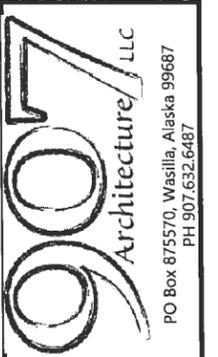
### SHORT CIRCUIT CALCULATION SUMMARY

FAULT ANALYSIS WAS PERFORMED USING POINT-TO-POINT METHOD. THE FOLLOWING ARE THE UTILITY CONTRIBUTION AND EQUIPMENT ASSUMPTIONS:

AVAILABLE FAULT CURRENT AT UTILITY TRANSFORMER:	INFINITE BUS
UTILITY TRANSFORMER SIZE:	100KVA
UTILITY TRANSFORMER IMPEDANCE:	2.00%
SERVICE LATERAL # PARALLEL RUNS:	1 EA.
SERVICE LATERAL SIZE:	#350 KCMIL AL
SERVICE LATERAL LENGTH:	20 FEET
SERVICE LATERAL CONDUIT TYPE:	NON-METALLIC
TOTAL MOTOR CONTRIBUTIONS:	308 AMPS

AVAILABLE FAULT CURRENT AT SERVICE DISCONNECT: 17884 A RMS (SYM)

NOTE: VERIFY THE ABOVE TRANSFORMER RATINGS AND SERVICE LATERAL SIZE/TYPE WITH LOCAL UTILITY PRIOR TO ORDERING EQUIPMENT. ADJUST EQUIPMENT SHORT CIRCUIT RATINGS ACCORDINGLY BASED ON ACTUAL EQUIPMENT INSTALLED BY UTILITY. INSTALL LABEL ON SERVICE EQUIPMENT INDICATING DATE AND FINAL CALCULATION RESULTS PER NEC 110.24.



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SHEET CONTENTS:  
ELECTRICAL  
LEGEND AND SCHEDULES



**26 05 00 - COMMON WORK RESULTS FOR ELECTRICAL**

- A. SCOPE OF WORK: FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT FOR A COMPLETE AND WORKABLE ELECTRICAL SYSTEM AS INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS.
- B. STANDARDS, CODES AND REGULATIONS: COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE, INTERNATIONAL BUILDING CODE, AND INTERNATIONAL FIRE CODE INCLUDING ALL STATE AND LOCAL AMENDMENTS TO THESE CODES. COMPLY WITH THE LATEST PUBLISHED VERSION OF THE NECA STANDARD OF INSTALLATION.
- C. DRAWINGS: THE DRAWINGS ARE DIAGRAMMATIC, NOT NECESSARILY SHOWING ALL OFFSETS OR EXACT LOCATIONS OF FIXTURES, EQUIPMENT, ETC. UNLESS SPECIFICALLY DIMENSIONED. REVIEW THE DRAWINGS AND SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OTHER CRAFTS BUT INSTALLED IN ACCORDANCE WITH THIS SECTION. BRING QUESTIONABLE OR OBSCURE ITEMS, APPARENT CONFLICTS BETWEEN PLANS AND SPECIFICATIONS, GOVERNING CODES OR UTILITIES REGULATIONS TO THE ATTENTION OF THE ENGINEER. CODES, ORDINANCES, REGULATIONS, MANUFACTURER'S INSTRUCTIONS OR STANDARDS TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT OR CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS.
- D. RECORD DRAWINGS: SHOW COMPLETE ROUTING AND SIZING OF ANY SIGNIFICANT REVISIONS TO THE SYSTEMS SHOWN.
- E. WORKMANSHIP: INSTALLATION OF ALL WORK SHALL BE MADE SO THAT ITS SEVERAL COMPONENT PARTS SHALL FUNCTION AS A WORKABLE SYSTEM COMPLETE WITH ALL ACCESSORIES NECESSARY FOR ITS OPERATION. ALL MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INSTRUCTIONS AND/OR INSTALLATION DRAWINGS AND IN ACCORDANCE WITH NECA STANDARDS. MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL CONFORM WITH APPLICABLE INDUSTRY STANDARDS, NEMA STANDARDS AND UNDERWRITERS LABORATORIES STANDARDS WHERE APPLICABLE.
- F. WARRANTY: THE CONTRACTOR SHALL GUARANTEE ALL WORK EXECUTED UNDER THIS CONTRACT TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM BENEFICIAL OCCUPANCY.
- G. PERMITS: SECURE AND PAY FOR ALL FEES, PERMITS, ETC. REQUIRED BY LOCAL AND STATE AGENCIES.
- H. PENETRATION OF FIRE BARRIERS: ALL ELECTRICAL PENETRATIONS THROUGH FIRE RATED BARRIERS SHALL BE SEALED IN ACCORDANCE WITH NEC ARTICLE 300.21 AND THE FOLLOWING:
1. ALL HOLES OR VOIDS CREATED TO EXTEND ELECTRICAL SYSTEMS THROUGH FIRE RATED FLOORS, WALLS OR CEILING SHALL BE SEALED WITH AN ASBESTOS-FREE INTUMESCENT FIRE STOPPING MATERIAL CAPABLE OF EXPANDING 8 TO 10 TIMES WHEN EXPOSED TO TEMPERATURES 250 DEGREES F OR HIGHER.
  2. MATERIALS SHALL BE SUITABLE FOR THE FIRE STOPPING OF PENETRATIONS MADE BY STEEL, GLASS, PLASTIC AND SHALL BE CAPABLE OF MAINTAINING AN EFFECTIVE BARRIER AGAINST FLAME, SMOKE AND GASES IN COMPLIANCE WITH THE REQUIREMENTS OF ASTM E814, UL 1479 AND THE UL FIRE RESISTANCE DIRECTORY REQUIREMENTS FOR THROUGH-PENETRATION FIRESTOP DEVICES (XHCR).
  3. THE RATING OF THE FIRE STOPS SHALL BE THE SAME AS THE TIME-RATED FLOOR, WALL OR CEILING ASSEMBLY.

**26 05 19 - WIRE AND CABLE**

- A. MATERIALS:
1. ALL CONDUCTORS SHALL BE COPPER OR ALUMINUM AA-8000 SERIES ALLOY WITH TYPE XHHW, THWN, THW OR THHN INSULATION. MINIMUM BRANCH CIRCUIT CONDUCTOR SIZE SHALL BE #12 AWG. MINIMUM CONTROL CIRCUIT CONDUCTOR SIZE SHALL BE #18 AWG.
  2. TYPE MC CABLE: SOLID COPPER CONDUCTOR, 600 VOLT THERMOPLASTIC INSULATION, RATED 90° C, INSULATED GREEN GROUNDING CONDUCTOR, AND GALVANIZED STEEL ARMOR OVER MYLAR.
- B. INSTALLATION:
1. COLOR CODE WIRES BY LINE OR PHASE. COLOR CODE THE 120/240V CONDUCTORS BLACK, RED, AND WHITE.
  2. DO NOT SHARE NEUTRAL CONDUCTORS. PROVIDE A DEDICATED NEUTRAL CONDUCTOR FOR EACH BRANCH CIRCUIT THAT REQUIRES A NEUTRAL
  3. USE PROPERLY SIZED INSULATED SPRING WIRE CONNECTORS WITH PLASTIC CAPS FOR ALL CONDUCTORS #8 AWG AND SMALLER. TERMINATE #6 AWG AND LARGER CONDUCTORS WITH CRIMP OR COMPRESSION TYPE CONNECTORS INSTALLED WITH TOOL RECOMMENDED BY CONNECTION MANUFACTURER AND INSULATE WITH PROPERLY SIZED 600 VOLT RATED HEAT SHRINK TUBING.
  4. INSTALLATION SCHEDULE: BUILDING WIRE IN RACEWAYS AT ALL LOCATIONS UNLESS OTHERWISE NOTED. PROVIDE XHHW-2 FOR FEEDERS AND IN EXTERIOR LOCATIONS. TYPE MC CABLE MAY BE USED FOR BRANCH CIRCUIT WIRING IN DRY, INTERIOR LOCATIONS OTHER THAN HOMERUNS. HOMERUNS SHALL BE BUILDING WIRE IN RACEWAY.
  5. FOR MC CABLE: AN INSULATED BUSHING OR ITS EQUIVALENT PROTECTION SHALL BE PROVIDED BETWEEN THE CONDUCTOR AND THE OUTER METAL SHEATH AND MUST BE VISIBLE FOR INSPECTION.

**26 05 26 - GROUNDING AND BONDING**

- A. MATERIAL: SOLID GROUND RODS: COPPER-ENCASED STEEL, 3/4 INCH DIAMETER, MINIMUM LENGTH 10 FEET.
- B. INSTALLATION:
1. PROVIDE A SEPARATE, INSULATED EQUIPMENT GROUNDING CONDUCTOR IN ALL NEW BRANCH CIRCUITS AND FEEDERS. TERMINATE EACH END ON A GROUNDING LUG, BUS, OR BUSHING.
  2. MECHANICAL CONNECTORS: NON-REVERSIBLE CRIMP TYPE LUGS ONLY. USE FACTORY MADE COMPRESSION LUG FOR ALL TERMINATIONS. CRIMP TYPE ONE HOLE FOR CONDUCTORS SMALLER THAN #6 AWG.
  3. BOND TOGETHER SYSTEM NEUTRALS, SERVICE EQUIPMENT ENCLOSURES, EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT, METAL RACEWAY SYSTEMS, GROUNDING CONDUCTOR IN RACEWAYS AND CABLES, RECEPTACLE GROUND CONNECTORS, AND PLUMBING AND FUEL SYSTEMS.

**26 05 29 - HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS**

- A. MATERIAL: SUPPORT CHANNEL SHALL BE GALVANIZED OR PAINTED STEEL. HARDWARE SHALL BE CORROSION RESISTANT.
- B. INSTALLATION: EQUIPMENT WEIGHING MORE THAN 50 POUNDS SHALL BE ADEQUATELY ANCHORED TO THE BUILDING STRUCTURE TO RESIST LATERAL EARTHQUAKE FORCES.

**26 05 33 - RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS**

- A. MATERIALS:
1. RIGID STEEL CONDUIT: ANSI C80.1. FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; THREADED TYPE WITH INSULATED THROAT BUSHINGS, MATERIAL TO MATCH CONDUIT.
  2. INTERMEDIATE METAL CONDUIT (IMC): GALVANIZED STEEL FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; USE FITTINGS AND CONDUIT BODIES SPECIFIED ABOVE FOR RIGID STEEL CONDUIT.
  3. ELECTRICAL METALLIC TUBING CONDUIT (EMT): ANSI C80.3. GALVANIZED TUBING, FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; STEEL OR MALLEABLE IRON, COMPRESSION TYPE OR SET SCREW FITTINGS WITH INSULATED THROAT BUSHINGS. DIE-CAST FITTINGS ARE NOT ACCEPTABLE.
  4. FLEXIBLE METAL CONDUIT: FS WW-C-566; STEEL. FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; STEEL OR MALLEABLE IRON WITH INSULATED THROAT BUSHINGS. DIE CAST FITTINGS ARE NOT ACCEPTABLE.
  5. LIQUIDTIGHT FLEXIBLE CONDUIT: FLEXIBLE METAL CONDUIT WITH PVC JACKET. FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; STEEL OR MALLEABLE IRON WITH INSULATED THROAT BUSHINGS. DIE CAST FITTINGS ARE NOT ACCEPTABLE.
  6. RIGID NONMETALLIC CONDUIT: NEMA TC 2; SCHEDULE 40 PVC, RATED FOR 90° C CABLE.
  7. PROVIDE GALVANIZED OR CADMIUM PLATED, ONE PIECE PRESSED STEEL OUTLET BOXES 4 INCH SQUARE OR OCTAGONAL, 1-1/2 INCHES DEEP MINIMUM SIZE FOR USE IN INTERIOR AREAS.
  8. PROVIDE CAST ALUMINUM OR FERROALLOY TYPE BOXES WITH GASKETED COVER, THREADED HUBS AND NEMA 3R RATING FOR USE IN EXTERIOR OR WET LOCATIONS.
- B. INSTALLATION:
1. INSTALL CONDUIT FOR ALL SYSTEMS UNLESS OTHERWISE NOTED, 1/2 INCH MINIMUM SIZE. EXPOSED OUTDOOR LOCATIONS AND FEEDERS SHALL BE RIGID STEEL CONDUIT OR INTERMEDIATE METAL CONDUIT. BELOW SLAB MAY BE NON-METALLIC PVC CONDUIT.
  2. ELECTRICAL METALLIC TUBING MAY BE USED EXPOSED WHEN INSTALLED ON THE CEILING, A MINIMUM OF TEN FEET ABOVE THE FLOOR OR WHERE NOT SUBJECT TO PHYSICAL DAMAGE. EMT MAY ALSO BE USED FOR CONCEALED, DRY, INTERIOR LOCATIONS.
  3. EQUIPMENT CONNECTIONS SHALL BE SHORT EXTENSIONS OF FLEXIBLE METAL CONDUIT TO ALLOW FOR VIBRATION. LIQUIDTIGHT FLEXIBLE CONDUIT AND FITTINGS SHALL BE USED FOR THESE CONNECTIONS IN DAMP OR WET LOCATIONS.
  4. PROVIDE OUTLET BOXES AS SHOWN ON THE DRAWINGS, AND AS REQUIRED FOR SPLICES, TAPS, WIRE PULLING, EQUIPMENT CONNECTIONS, DEVICE INSTALLATION AND CODE COMPLIANCE.
  5. INSTALL FITTINGS AND FLEXIBLE METAL CONDUIT TO ACCOMMODATE 3-AXIS MOVEMENTS WHERE RACEWAY CROSSES SEISMIC JOINTS. INSTALL FITTINGS DESIGNED AND LISTED TO ACCOMMODATE EXPANSION AND CONTRACTION WHERE RACEWAY CROSSES CONTROL AND EXPANSION JOINTS.
  6. USE MULTIPLE-GANG BOXES WHERE MORE THAN ONE DEVICE ARE MOUNTED TOGETHER; DO NOT USE SECTIONAL BOXES.
  7. SUPPORT BOXES INDEPENDENTLY OF CONDUIT.

**26 05 53 - IDENTIFICATION FOR ELECTRICAL SYSTEMS**

2. TAPE LABELS: ADHESIVE TAPE LABELS, WITH 3/16 INCH BOLD BLACK LETTERS ON CLEAR BACKGROUND MADE USING DYMO RHINO SERIES OR EQUAL LABEL PRINTER.
  3. WIRE AND CABLE MARKERS: CLOTH MARKERS, SPLIT SLEEVE OR TUBING TYPE.
- B. INSTALLATION:
1. GEAR: PROVIDE ENGRAVED THREE-LAYER LAMINATED PLASTIC NAMEPLATES WITH WHITE LETTERS ON A BLACK BACKGROUND TO IDENTIFY ALL ELECTRICAL DISTRIBUTION, CONTROL EQUIPMENT, LOADS SERVED, AND LOW-VOLTAGE SYSTEM PANELS.
  2. SERVICE DISCONNECT: PROVIDE NAMEPLATE THAT STATES "SERVICE DISCONNECT" AND INDICATING THE MAXIMUM AVAILABLE FAULT CURRENT PER NEC 110.24.
  3. JUNCTION BOXES: MARK ALL CIRCUIT NUMBERS OF WIRING ON ALL JUNCTION BOXES WITH SHEET STEEL COVERS. MARK WITH INDELIBLE BLACK MARKER. ON EXPOSED JUNCTION BOXES IN PUBLIC AREAS, MARK ON INSIDE OF COVER.
  4. WIRE IDENTIFICATION: PROVIDE WIRE MARKERS ON EACH CONDUCTOR IN PANELBOARD GUTTERS, PULL BOXES, OUTLET AND JUNCTION BOXES, AND AT LOAD CONNECTION. MARKERS SHALL BE LOCATED WITHIN ONE INCH OF EACH CABLE END, EXCEPT AT PANELBOARDS, WHERE MARKERS FOR BRANCH CIRCUIT CONDUCTORS SHALL BE VISIBLE WITHOUT REMOVING THE PANEL DEADFRONT.
  5. DEVICE PLATES: LABEL EACH RECEPTACLE DEVICE PLATE OR POINT OF CONNECTION DENOTING THE PANELBOARD NAME AND CIRCUIT NUMBER. INSTALL LABEL ON THE TOP OF EACH PLATE.

**26 24 16 - PANELBOARDS**

- A. MATERIAL:
1. MANUFACTURERS: SQUARE D, GE, EATON, OR EQUAL.
  2. PROVIDE DEAD-FRONT CIRCUIT BREAKER PANELBOARDS WITH BUS SIZE, SHORT CIRCUIT RATING, NUMBER AND SIZE OF BRANCH CIRCUITS AS SHOWN ON THE DRAWINGS. BUSSING SHALL BE COPPER. PROVIDE WITH SURFACE FRONTS WITH CONCEALED TRIM CLAMPS, CONCEALED HINGE AND FLUSHLOCK. MOLDED CASE CIRCUIT BREAKERS SHALL BE BOLT-ON THERMAL MAGNETIC TRIP TYPE WITH COMMON TRIP HANDLE FOR ALL POLES. PROVIDE CIRCUIT BREAKERS UL LISTED AS TYPE SWD FOR LIGHTING CIRCUITS SWITCHED AT THE PANELBOARD.
  3. NEW BREAKERS IN EXISTING PANELS: NEMA AB 1; UL LISTED FOR USE IN THE PANEL, AMPERE RATING AND NUMBER OF POLES AS INDICATED ON PLANS. AIC RATING SHALL MATCH THE LOWEST RATED DEVICE IN THE PANEL.
- B. INSTALLATION:
1. INSTALL PANELBOARDS PLUMB WITH TOP OF CABINET 6'-6" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  2. PROVIDE TYPED CIRCUIT DIRECTORIES FOR EACH PANELBOARD, SHOWING DETAILED CONNECTED LOAD DESCRIPTION OF EACH CIRCUIT.
  3. ALL PANELBOARDS SHALL HAVE SIGNAGE FOR ARC HAZARD INSTALLED. THE MARKING SHALL BE LOCATED TO BE CLEARLY VISIBLE TO QUALIFIED PERSONNEL BEFORE EXAMINATION, ADJUSTMENT, SERVICING OR MAINTENANCE OF THE EQUIPMENT. AT A MINIMUM THE 3-LINE SIGNAGE SHALL STATE THE FOLLOWING: WARNING - ARC FLASH AND SHOCK HAZARD - APPROPRIATE PPE REQUIRED.
  4. INSTALL NEW BREAKER(S) IN EXISTING PANEL(S) AND TEST FOR PROPER OPERATION. UPDATE CIRCUIT DIRECTORY TO REFLECT ALL CHANGES.

**26 27 26 - WIRING DEVICES**

- A. MATERIALS:
1. WALL SWITCHES: SWITCHES FOR LIGHTING CIRCUITS SHALL BE NEMA WD1 AC GENERAL USE SNAP SWITCH WITH TOGGLE HANDLE, RATED 20 AMPERES AND 120-277 VOLTS AC. HANDLE: WHITE NYLON.
  2. RECEPTACLES: CONVENIENCE AND STRAIGHT BLADE RECEPTACLES SHALL BE NEMA TYPE 5-20R, WHITE NYLON FACE. GFCI RECEPTACLES SHALL BE 20A, DUPLEX CONVENIENCE RECEPTACLE WITH INTEGRAL CLASS 'A' GROUND FAULT CURRENT INTERRUPTER AND LOCKOUT FEATURE. WEATHER-RESISTANT RECEPTACLES SHALL BE LISTED TO THE WEATHER-RESISTANT SUPPLEMENT OF UL 498 AND COMPLY WITH THE REQUIREMENTS OF NEC 406.9.
  3. WALL PLATES: DECORATIVE COVER PLATES IN FINISHED AREAS SHALL BE 430 OR 302 STAINLESS STEEL. WEATHERPROOF COVER PLATES SHALL BE GASKETED STAINLESS STEEL WITH HINGED GASKETED DEVICE COVERS. DEVICE PLATES FOR WET LOCATION RECEPTACLES SHALL BE "IN USE" TYPE. PROVIDE 1/2 INCH RAISED, SQUARE, GALVANIZED OR CADMIUM PLATED, PRESSED STEEL COVER PLATE SUPPORTING DEVICES INDEPENDENT OF THE OUTLET BOX FOR ALL EXPOSED WORK.
- B. INSTALLATION:
1. UNLESS OTHERWISE NOTED ON THE DRAWINGS, INSTALL RECEPTACLES WITH GROUNDING POLE ON BOTTOM. COORDINATE MOUNTING HEIGHT WITH OWNER REQUIREMENTS, UNLESS OTHERWISE NOTED DIMENSIONS ARE TO CENTERLINE OF OUTLET.
  2. INSTALL WALL SWITCHES 48 INCHES ABOVE FLOOR, OFF POSITION DOWN.
  3. INSTALL GALVANIZED STEEL PLATES ON OUTLET BOXES AND JUNCTION BOXES IN UNFINISHED AREAS, ABOVE ACCESSIBLE CEILINGS, AND ON SURFACE-MOUNTED OUTLETS.

**26 50 00 - LIGHTING FIXTURES**

- A. MATERIALS:
1. LUMINAIRES: PROVIDE AND INSTALL ALL LIGHTING EQUIPMENT OR APPROVED EQUAL AS SHOWN ON THE DRAWINGS AND DESCRIBED IN THE "FIXTURE SCHEDULE". PROVIDE LIGHTING EQUIPMENT COMPLETE, WIRED, ASSEMBLED, WITH PROPER FLANGES, MOUNTING SUPPORTS, HARDWARE, ETC.
- B. INSTALLATION:
1. PROVIDE LUMINAIRE DISCONNECTING MEANS IN BALLAST/DRIVER CHANNEL OF EACH LIGHT FIXTURE. WHERE THE LUMINAIRE IS FED FROM A MULTI-WIRE BRANCH CIRCUIT, PROVIDE MULTI-POLE DISCONNECT TO SIMULTANEOUSLY BREAK ALL SUPPLY CONDUCTORS TO THE BALLAST, INCLUDING THE GROUNDED CONDUCTOR.
  2. AIM ALL LUMINAIRES AND EMERGENCY LIGHTING UNITS THAT HAVE ADJUSTABLE LAMPS OR LENSES.
  3. TEST OPERATION OF ALL EMERGENCY LIGHTS BY SIMULATING A POWER OUTAGE FOR 90 MINUTES. CONFIRM THAT ALL EMERGENCY LIGHTING IS OPERATIONAL AND MEETS THE REQUIREMENTS OF NEC 700.12(A). CORRECT ALL DEFICIENCIES PRIOR TO SUBSTANTIAL COMPLETION.

**33 71 13 - ELECTRICAL UTILITY SERVICES**

- A. SUMMARY: THIS SECTION INCLUDES EQUIPMENT AND COORDINATION WITH LOCAL UTILITY TO OBTAIN PERMANENT ELECTRICAL SERVICE FOR THE FACILITY. SEE POWER ONE-LINE DIAGRAM FOR SERVICE SIZE AND CONFIGURATION.
- B. MATERIALS:
1. METER AND CURRENT TRANSFORMER: FURNISHED AND INSTALLED BY THE UTILITY COMPANY.
  2. CURRENT TRANSFORMER CABINET: NEMA 3R, UL 414 LISTED, MINIMUM SIZE AS REQUIRED BY THE LOCAL UTILITY. ALL CURRENT TRANSFORMER CABINETS AND COMPARTMENTS SHALL HAVE HINGED FRONT COVER ACCESS TO THE CURRENT TRANSFORMERS. THE HINGED FRONT COVER SHALL BE LOCKABLE AND SHALL ACCEPT A PADLOCK WITH A SHACKLE DIAMETER OF NOT LESS THAN 5/16 INCH. CURRENT TRANSFORMER CABINETS FOR SERVICES FROM 201 AMPERES TO 800 AMPERES SHALL HAVE 1/4 X 20 MOUNTING STUDS ON THE ENCLOSURE BODY SPACED TO ACCEPT A CURRENT TRANSFORMER MOUNTING BASE.
  3. TRANSFORMER RATED METER BASE: NEMA 3R, 6-TERMINAL, TRANSFORMER RATED 20 AMPERES, 600 VOLTS WITH MOUNTING PROVISIONS TO ACCOMMODATE A COVERED TEST SWITCH WITH TEST SWITCH COVER SEALING PROVISIONS. THE TEST SWITCH MOUNTING PROVISIONS SHALL ACCEPT A 10 POLE COVERED TEST SWITCH WITH A BASE DIMENSION OF 9.5 INCHES IN WIDTH AND A DEPTH (THE DIMENSION FROM THE REAR EDGE OF THE TEST SWITCH BASE TO THE TOP OF THE COVER SEALING STUD) OF NO LESS THAN 3.375 INCHES. THE LOWER COVER OF THE METER SOCKET SHALL SEAT FULLY WITH A COVERED TEST SWITCH IN PLACE. MEET REQUIREMENTS OF NEMA STANDARDS FOR WATTHOUR METER SOCKETS-NEMA E117-1978 (SIMILAR TO EUSERC DRAWING NO. 339). THE UTILITY COMPANY WILL FURNISH AND INSTALL THE TEST SWITCH AND CT WIRING.
- C. INSTALLATION:
1. MAKE ARRANGEMENTS WITH UTILITY COMPANY TO OBTAIN PERMANENT ELECTRIC SERVICE TO THE PROJECT.
  2. METER SOCKETS SHALL BE INSTALLED WITH THE CENTERLINE OF THE SOCKET OPENING NO MORE THAN 72 INCHES AND NO LESS THAN 60 INCHES ABOVE FINISHED GRADE. THE METER SOCKET SHALL BE INSTALLED WITH A MINIMUM 10 INCHES OF SIDE CLEARANCE TO EACH SIDE OF THE SOCKET. ON CURRENT TRANSFORMER RATED METER SOCKETS, THE CONDUIT CONNECTING THE METER SOCKET AND THE CURRENT TRANSFORMER CABINET SHALL BE RIGID STEEL OR IMC AND HAVE A MINIMUM DIAMETER OF 1 INCH, SHALL NOT BE LONGER THAN 25 FEET, SHALL HAVE NO ACCESS POINTS (JUNCTION BOXES, CONDULETS, ETC.), AND SHALL CONNECT TO THE METER SOCKET AT A FACTORY SUPPLIED KNOCKOUT LOCATED BELOW THE TEST SWITCH MOUNTING PROVISIONS.
  3. INSTALL PERMANENT LABEL AT SERVICE EQUIPMENT INDICATING THE MAXIMUM AVAILABLE FAULT CURRENT PER NEC 110.24.
  4. ALL SERVICE ENTRANCE EQUIPMENT SHALL HAVE SIGNAGE FOR ARC HAZARD INSTALLED. THE MARKING SHALL BE LOCATED TO BE CLEARLY VISIBLE TO QUALIFIED PERSONNEL BEFORE EXAMINATION, ADJUSTMENT, SERVICING OR MAINTENANCE OF THE EQUIPMENT. AT A MINIMUM THE 3-LINE SIGNAGE SHALL STATE THE FOLLOWING: WARNING - ARC FLASH AND SHOCK HAZARD - APPROPRIATE PPE REQUIRED.



BRISTOL BAY BUD COMPANY - THE PHARM  
2439 S. RIDGECREST ROAD  
WASILLA, ALASKA 99654

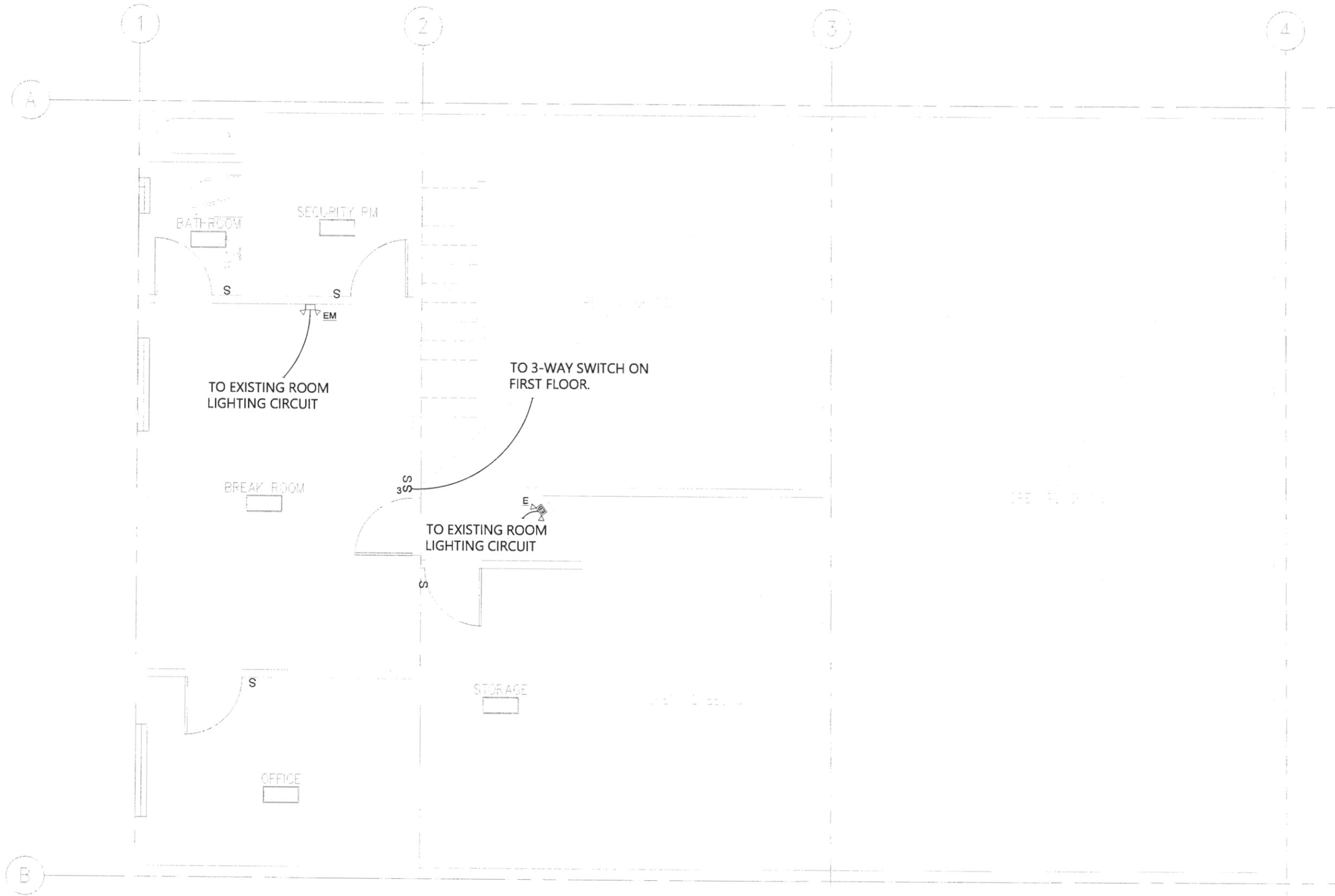
REVISIONS:

DRAWN BY: BJR  
CHECKED BY: BJR  
DATE: 11-15-19  
JOB NUMBER: 19BR-64

SHEET CONTENTS:  
ELECTRICAL  
SHEET SPECIFICATIONS







**1** SECOND FLOOR ELECTRICAL PLAN  
 SCALE: 3/8"=1'-0"  
 SCALE WHEN DRAWINGS ARE PRINTED FULL SIZE OF 22"x34"



BRISTOL BAY BUD COMPANY - THE PHARM  
 2439 S. RIDGECREST ROAD  
 WASILLA, ALASKA 99654

REVISIONS:

DRAWN BY: BJR  
 CHECKED BY: BJR  
 DATE: 11-15-19  
 JOB NUMBER: 19BR-64

SHEET CONTENTS:  
 ELECTRICAL  
 SECOND FLOOR  
 ELECTRICAL PLAN



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## MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

[www.matsugov.us](http://www.matsugov.us)

April 17, 2020

Heather Allen on behalf of,  
Bristol Bay Bud Company  
PO Box 825  
Dillingham, AK 99576

SUBJECT: Conditional Use Permit Application – Request for Required Information  
LOCATION: 2439 S. Ridgecrest Road (Tax ID: 17N02W20B005)

Dear Ms. Allen,

Borough staff has reviewed the application material and the site plan(s) submitted on April 7, 2020 for a Conditional Use Permit to operate a marijuana cultivation facility under MSB 17.60 on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request:

1. Please identify all the land uses (residential, commercial, vacant, etc.) within 1000' of the proposed use. I have included a blank map for your convenience.
2. The application material contains information on the wastewater disposal plan, but does not contain information on how you will dispose of any marijuana waste that is generated. Provide details on how marijuana waste will be disposed of at the proposed facility.
3. Storage and disposal of fertilizers, pesticides, herbicides, and any other hazardous chemicals associated with the cultivation of marijuana shall comply with all local, state, and federal laws. Provide details on your method of storage and if your plan will comply with all local, state, and federal laws.
4. What is the square footage of the proposed cultivation facility? How many square feet will be used for cultivation?
5. Do you have a site plan for the layout of the interior of the building? If so, please provide.
6. The "As-Built Plot" at a scale of 1/128 is too small for staff to be able to accurately process. The "hand drawn map" orientation does not appear to be accurate and the map is not to



233 Airport Rd~PO Box 825  
Dillingham, AK 99576

2435 S. Ridgecrest Rd  
Wasilla, AK 99623

April 23, 2020

Joseph Metzger  
Matanuska-Susitna Borough  
Planning and Land Use Department  
Development Services Division  
350 East Dahlia Ave.  
Palmer, AK 99645

Dear Mr. Metzger,

Following is the response of Bristol Bay Bud Company for the request for required information for the location at 2439 S. Ridgecrest Rd. This information should clear up all the required information that was requested:

1. This is found in page 1 of attached PDF titled Conditional Use Documents.
2. Any marijuana waste, as defined by 3 AAC 306.740(b), will be ground and mixed with an equal amount of other compostable or non-compostable material, rendering it unusable prior to disposal. Materials that will be mixed with the ground marijuana waste may include, but are not limited to, paper products, cardboard and food scraps. All marijuana waste will be logged in to METRC with the requisite three-day notice prior to rendering it unusable in accordance with 3 AAC 306.740(c). After the three-day waiting period, and after rendering the waste unusable as described above, the waste will be segregated and then transferred to the local landfill.
3. The storage and disposal of fertilizers, pesticides, herbicides, and any other hazardous chemicals associated with the cultivation of marijuana will comply with all local, state, and federal laws. All these items will be clearly labeled and stored in a climate controlled

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

Richard Allen  
907-843-2519  
[richard@bristolbaybudcompany.com](mailto:richard@bristolbaybudcompany.com)

Susan Isaacs  
907-843-0473  
[susan@bristolbaybudcompany.com](mailto:susan@bristolbaybudcompany.com)

Gorden Isaacs  
907-843-0474  
[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)



233 Airport Rd~PO Box 825  
Dillingham, AK 99576

2435 S. Ridgecrest Rd  
Wasilla, AK 99623

and secured area following the recommendations of the product's manufacturers. The SDS sheets for all these items will be in an SDS binder and easily accessed by anyone that needs them. There will be very minimal waste of any of these products.

4. The square footage of the proposed cultivation facility is 4540sqft, and the square footage used for cultivation is 1650sqft.
5. Architect drawings attached to this email in attached PDF titled Architect Drawings Cultivation.
6. Architect drawings attached to this email in attached PDF titled Architect Drawings Cultivation.
7. Application sent and paid for online on 04/23/2020. Pages 3-5 of attached PDF titled Conditional Use Documents.
8. The partners of Bristol Bay Bud Company's cultivation facility feel that the cultivation of marijuana on the property under review have no foreseen impact of the neighboring landowners and environment. Indoor cultivation will not change the physical, external appearance of the building or property. The property lines provide an existing and dense buffer that camouflages the facility. The necessary odor prevention is in place as described in the odor mitigation and ventilation plan. No non-domestic wastewater will be released. The owners and employees will handle all potentially hazardous chemicals as determined by the appropriate authorities. Bristol Bay Bud Company's standard

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

Richard Allen  
907-843-2519  
[richard@bristolbaybudcompany.com](mailto:richard@bristolbaybudcompany.com)

Susan Isaacs  
907-843-0473  
[susan@bristolbaybudcompany.com](mailto:susan@bristolbaybudcompany.com)

Gorden Isaacs  
907-843-0474  
[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)



233 Airport Rd~PO Box 825  
Dillingham, AK 99576

2435 S. Ridgecrest Rd  
Wasilla, AK 99623

cultivation will not be harmful to the public health, safety, convenience, or welfare of our community.

9. The partners of Bristol Bay Bud Company's cultivation facility feel that the cultivation of marijuana on the property under review have no foreseen impact of the neighboring landowners and environment. Indoor cultivation will not change the physical, external appearance of the building or property. The property lines provide an existing and dense buffer that camouflages the facility. The necessary odor prevention is in place as described in the odor mitigation and ventilation plan. No non-domestic wastewater will be released. The owners and employees will handle all potentially hazardous chemicals as determined by the appropriate authorities. Bristol Bay Bud Company's standard cultivation will not be harmful to the public health, safety, convenience, or welfare of our community. The cultivation facility will follow all local, state, and federal safety and health guidelines.
10. Copy of this is found on page 2 of the attached PDF titled Conditional Use Documents.
11. Estimated 5 – 10 employees will be employed.

Thank you for your time and help with this. Let us know if there is anything else that we need to clarify for the Borough.

Have a wonderful day!!!

Heather and Richard Allen  
Bristol Bay Bud Company

Heather Allen  
907-843-2518  
[heather@bristolbaybudcompany.com](mailto:heather@bristolbaybudcompany.com)

Richard Allen  
907-843-2519  
[richard@bristolbaybudcompany.com](mailto:richard@bristolbaybudcompany.com)

Susan Isaacs  
907-843-0473  
[susan@bristolbaybudcompany.com](mailto:susan@bristolbaybudcompany.com)

Gorden Isaacs  
907-843-0474  
[gorden@bristolbaybudcompany.com](mailto:gorden@bristolbaybudcompany.com)

scale. Provide updated site plans that are to scale using standard engineering intervals such as 1" =30', 1" =50' or similar as required by project size.

7. It does not appear that the property has a Borough Driveway permit. You should obtain a Borough driveway permit for access to the property. Application for a Borough Driveway permit can be submitted on the Borough website through eCommerce. Here is a link: <https://ecommerce.matsugov.us/Pages/default.aspx>.
8. In a narrative form, indicate how the proposed use is compatible with and will not materially detract from the value, character, and integrity of the surrounding area.
9. In narrative form, indicate how granting of the conditional use permit will not be harmful to the public health, safety, convenience, and welfare.
10. The application contains a "notification of fire and life safety hazards and order to correct", but does not contain a certificate from the Fire Marshall indicating that the propose structure is in compliance with the fire code. Typically, the Fire Marshall issues a "Plan Review" certificate for commercial structures. Provide staff a copy of the Plan Review or similar certificate from the Fire Marshall.
11. Do you have an estimate on the number of employees the business will employ?

**NOTICE: Our offices our currently closed to the public as a health precaution in response to the COVID-19 (Corona Virus) outbreak. Please submit all updated information electronically, or call to make other arrangements for submittal.**

Once an application has been determined to be complete, staff will begin the public notice process. Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-7862, or email: [joseph.metzger@matsugov.us](mailto:joseph.metzger@matsugov.us). Thank you for your time and consideration on this matter.

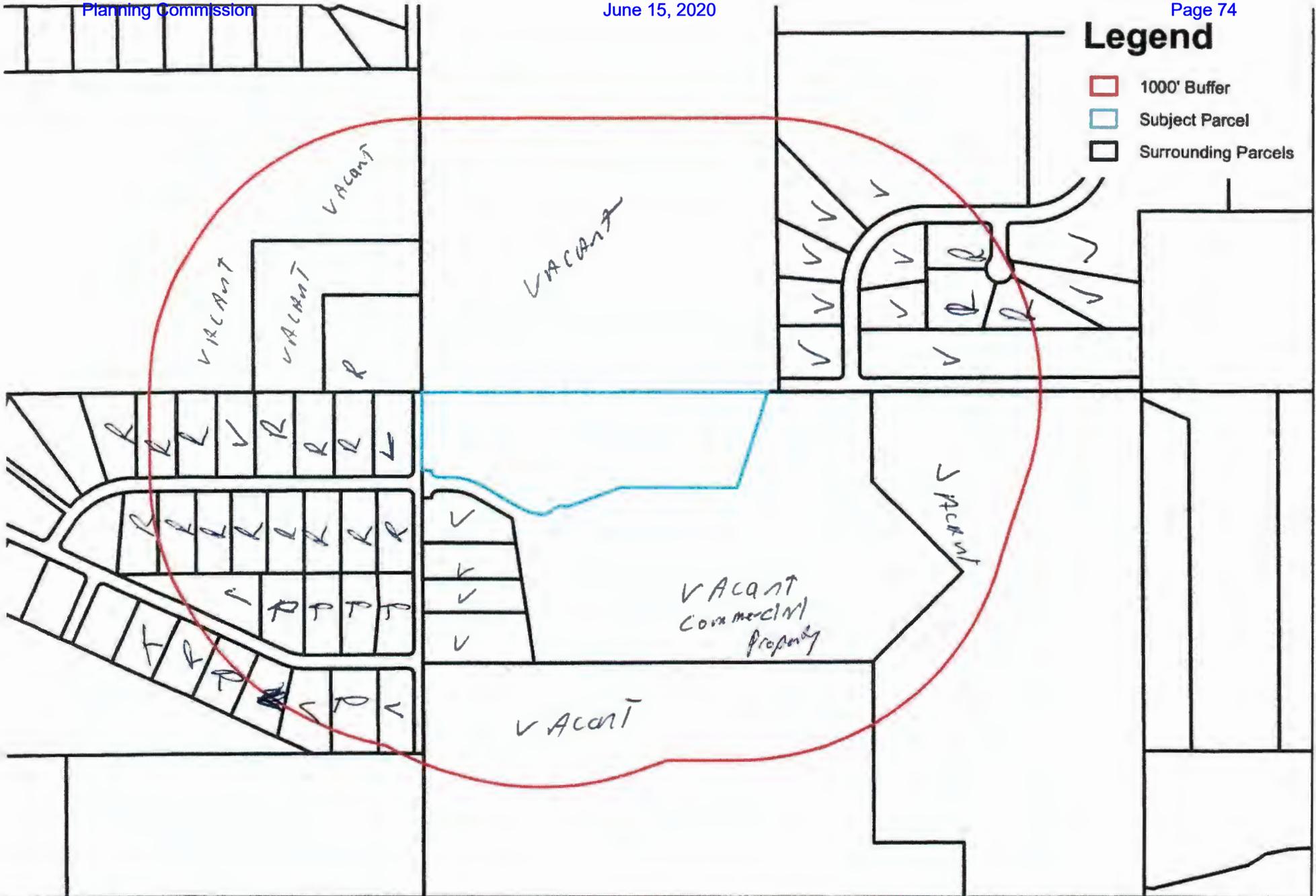
Respectfully,



Joe Metzger  
MSB Planner II  
907-861-7862

# Legend

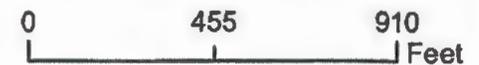
- 1000' Buffer
- Subject Parcel
- Surrounding Parcels



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Mahanika-Sustina Borough GIS Division at 907-861-7801.

Date: 4/16/2020

1 inch = 450 feet





THE STATE of ALASKA  
GOVERNOR MIKE HANLEY

Department of Commerce, Community,  
and Economic Development

Alaska Medical Marijuana Control Act

February 5, 2019

State Fire Marshal

Attn: Michelle Wagner, [michelle.wagner@matsugov.us](mailto:michelle.wagner@matsugov.us)  
Lloyd Nakano, [Lloyd.nakano@alaska.gov](mailto:Lloyd.nakano@alaska.gov)  
Pam Bowden, [pam.bowden@alaska.gov](mailto:pam.bowden@alaska.gov)

2019-086

License Number:	17452
License Type:	Standard Marijuana Cultivation Facility
Licensee:	Bristol Bay Bud Company, LLC
Doing Business As:	BRISTOL BAY BUD COMPANY
Physical Address:	2439 S. Ridgecrest Wasilla, AK 99623
Designated Licensee:	Heather Allen
Phone Number:	907-357-2518
Email Address:	<a href="mailto:hrgsenterprises.ak@gmail.com">hrgsenterprises.ak@gmail.com</a>

3 AAC 306.300(a)(2)(B), 3 AAC 306.400(b)(2)(B), 3 AAC 306.500(b)(2)(B), and 3 AAC 306.605(b)(2)(B) require that an applicant for a marijuana establishment license operate in compliance with each applicable public health, fire, safety, and tax code and ordinance of the state and the local government in which the applicant's proposed licensed premises are located.

This letter serves to provide written notice and request for compliance status from the above referenced entities regarding the above application (see attached application documents for more information). **Please complete and return this form to the AMCO office at the email below.**

REVIEWER: Jacob Boothby  DEC  Fire Marshal  
CMSFD/F&LSD  
DATE: 3/31/2020 PHONE: (907) 861-8030  
 Compliant  Non-compliant

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_

If you have any questions, please send them to [marijuana.licensing@alaska.gov](mailto:marijuana.licensing@alaska.gov)

Sincerely,

Erika McConnell, Director



**MATANUSKA-SUSITNA BOROUGH**

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645

(907) 861-7822 Fax (907) 861-8158

E-mail: PermitCenter@matsugov.us

**Driveway Permit Application**

Permit Fee \$200 (\$150 Refundable if completed within 3 years) PERMIT NO. \_\_\_\_\_

Property Owner: (Name) Garden R: Susan E Isaacs		Applicant/Agent: (Name)	
Mailing Address PO Box 563		Mailing Address	
City Dillingham	State AK	Zip Code 99576	City State Zip Code
Phone 907 8430474	Cell (optional) 84304731	Fax (optional)	Phone Cell (optional) Fax (optional)
E-mail (optional) suse2008@gmail.com		E-mail (optional)	
Site Address: 2439 S RIDGECREST Road		Driveway Location Will Be Marked With: EXISTING	
Property Tax ID #: 217 NCAW20B005 TOWNSHIP 17N Range 2W Section 20 1/2 B5		Expected Completion Date DONE	Driveway Surface Type GRAVEL
Applying for Access Onto: W. Rosehill Circle		IF ACCESS IS ONTO A PAVED ROAD, APRON LENGTH TO BE 2' MINIMUM	

**OFFICE USE ONLY**

Driveway Inspector Approval Date:	Tax Map:	TRS	RSA
Right-of-Way Coordinator Approval Date:	/ /		
Is Culvert Needed? <input type="checkbox"/> Yes <input type="checkbox"/> No	Distances:		
Culvert Length: Size:	Left:	Width:	Right:
Culvert Type:	Ditch Depth:		

Special Provisions Upon Approval:	Inspection #'s

The Permittee certifies that he/she is the owner, lessee, or authorized agent of the property, that the conditions, restrictions and regulations of the borough will be complied with and that he/she will maintain the driveway in accordance with the provisions and standards attached to this permit, and any applicable code. I hereby certify that the information submitted on this application is complete and accurate to the best of my knowledge and that I am the applicant or agent of the same as stated in the attached documentation. By signing this permit I acknowledge and agree to accept the Driveway Standards and Provisions attached to this permit..

PERMITEE: Susan E Isaacs  
Signature of Permittee

DATE: 4/22/2020

PERMIT GRANTED BY: \_\_\_\_\_  
Borough Representative

DATE: \_\_\_\_\_



## Matanuska Susitna Borough

350 E. Dahlia Ave., Palmer, AK 99645  
 p: 907.861.7801  
[www.matsugov.us](http://www.matsugov.us)

**Order Number :** ORD-6581-38816-20200423

**Order Placed On :** 4/23/2020 1:02:39 PM

**Payment Status :** Paid

**Name :** Heather Allen , hrgsenterprises.ak@gmail.com

**Billing Address :**

PO BOX 1437, Dillingham, Alaska, 99576, United States

**Sub total :** \$200.00

**Shipping Cost :** \$0.00

**Total :** \$200.00

Product Title	Details	Price Charged	Quantity	Line Item Total
MatSu Driveway Permit		\$200.00	1	\$200.00



# Mat-Su Borough Ecommerce Order Confirmation

Thank you for your recent order from the [Mat-Su Borough](#).

**Click here to view [your services](#). Use this link to print/view licenses, permits, etc.**

## Order Details

Name: Heather Allen  
 Email: [hrgsenterprises.ak@gmail.com](mailto:hrgsenterprises.ak@gmail.com)  
 Company:

Billing Address: PO BOX 1437, Dillingham, Alaska, 99576, United States  
 Order Number: ORD-6581-38816-20200423  
 Order Placed On: Thursday, April 23, 2020 1:02 PM  
 Payment Status: Paid

Product	Details	Price	Quantity	Total
MatSu Driveway Permit	Not downloadable or shippable product.	\$200.00	1	\$200.00

Order Subtotal: \$200.00  
**Total: \$200.00**

**INTRODUCTION FOR PUBLIC HEARING  
QUASI-JUDICIAL**

**Resolution No. PC 20-20**

**Arctic Hydroponics  
47265 S. Brookestar's Circle**

(Page 79)

**INTRODUCTION FOR PUBLIC HEARING**





MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822 • Fax (907) 861-8158
Email: permitcenter@matsugov.us

RECEIVED
JAN 17 2020

MATANUSKA-SUSITNA BOROUGH
DEVELOPMENT SERVICES

CONDITIONAL USE PERMIT FOR
MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,000 for Marijuana Retail Facility
\$1,000 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
Odor Mitigation and Ventilation Plan – 17.60.160 (B)
Hazardous Chemicals Information – 17.60.160 (C)
Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 22N, Range: 4W, Section: 1, Meridian: A4
MSB Tax ID# 22N04W01A004
SUBDIVISION: BLOCK(S): LOT(S):
STREET ADDRESS: 47255 Brakstark circle
FACILITY / BUSINESS NAME: Arctic Hydroponics LLC

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner: Kenneth Champ
Name of Agent / Contact for application: Same
Mailing: 189 E Nelson Ave #143, Wasilla, Alaska 99654
Phone: Hm Fax
Wk Cell 907-715-6333
E-mail: Kenny-Champ@yahoo.com

<b>Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:</b>	<b>Attached</b>
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	✓
Signage – Existing and Proposed.	None
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	✓
Buffering – Fences, vegetation, topography, berms, and any landscaping	✓
Drainage	✓
Vehicular and pedestrian circulation patterns.	✓
Exterior site lighting.	✓
Location and dimensions of parking areas to be provided	✓
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	✓

<b>Map – Attach a detailed, to scale, vicinity map clearly showing the following information:</b>	<b>Attached</b>
Identify all existing land uses within 1,000 feet.	✓
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	✓

<b>In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:</b>	<b>Attached</b>
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	#1
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	#2
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	#3
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	#4
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	#5
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> <li>• Increased property line and right-of-way buffers</li> <li>• Planted berms and landscaping</li> <li>• Site and building design features which contribute to the character of the surrounding area</li> </ul>	#6
Describe how this use is compatible with the character of the surrounding area.	#7
Current status of State License application process – 17.60.150 (D) (1)	Approved

<b>17.60.170 Standards for Marijuana Retail Facilities:</b>	<b>Attached</b>
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> <li>• The proximity of the proposed use to existing businesses;</li> <li>• The proximity of parcels developed with residential uses;</li> <li>• Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and</li> <li>• Proposed hours of operations.</li> </ul>	
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	

<b>Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:</b>	<b>Attached</b>
Dimensions of all structures.	
Interior floor plans (specific location of the use or uses to be made of the development).	
Net floor area square footage calculations.	

**OWNER'S STATEMENT:** I am owner of the following property:

MSB Tax account #(s) 22.N04.W01A004 and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

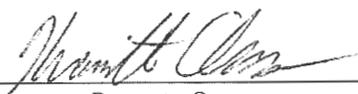
I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

      Kenneth Champ      1-16-2020  
 Signature: Property Owner      Printed Name      Date

\_\_\_\_\_  
 Signature: Agent      Printed Name      Date

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CUP Attachment

- #1. Yes, this structure is not visible from any road. It is also built to code and will be approved by the fire Marshall. Also this structure will increase the property value which will have an effect on surrounding property's.
- #2. No, this business has no harmful emissions. No pesticides will be used. Also there is no public around for over 1.5 miles.
- #3. Yes, the facility is over 170' from the nearest lot line, and over 300' to the next lot lines.
- #4. Yes.
- #5. As for odor see attached (Odor Control) As for noise there are generators in a coner to eliminate any noise. I have been running generators outside for 2 years (24/7) without any complaints.
- #6. The structure has increased distance to all property lines. The structure also has trees all around it so it fits into the character of the surrounding area.
- #7. This structure is compatible with the surrounding area and has no harmful effects.

CUP Attachment

- #8. Hazardous Chemicals: Any and all chemicals being used will be stored and or disposed of in accordance with each manufacturer's recommendations. This also includes all nutrients,
- #9. The number of employees will change, starting out there will be 1. As time goes on there will be more but no more than 10 employees.
- #10. Exterior lighting: All exterior lights will be Led with a range of 75' circle. All lights will be mounted between 10' to 16' high.

Received on 4-13-2020  
By Mark Whisenhunt

**From:** [Mark Whisenhunt](#)  
**To:** ["kenny\\_champ@yahoo.com"](mailto:kenny_champ@yahoo.com)  
**Subject:** RE: Arctic Hydroponics: RFAI 3-10-2020  
**Date:** Thursday, April 30, 2020 11:22:00 AM

---

Received. Thank you, Kenny.

Respectfully,

Mark Whisenhunt  
Planner II  
Matanuska-Susitna Borough  
Office: (907) 861-8527  
[mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us)

**From:** [kenny\\_champ@yahoo.com](mailto:kenny_champ@yahoo.com) <[kenny\\_champ@yahoo.com](mailto:kenny_champ@yahoo.com)>  
**Sent:** Thursday, April 30, 2020 11:23 AM  
**To:** Mark Whisenhunt <[Mark.Whisenhunt@matsugov.us](mailto:Mark.Whisenhunt@matsugov.us)>  
**Subject:** Re: Arctic Hydroponics: RFAI 3-10-2020

[**EXTERNAL EMAIL** - CAUTION: Do not open unexpected attachments or links.]  
Hello mark. Sorry this took so long but i just learned i sent it to the wrong person. As for the chemicals and nutrients they will be locked in a cabinet inside the facility.

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Alaska Marijuana Control Board

# Form MJ-01: Marijuana Establishment Operating Plan

## Section 2 – Control Plan for Persons Under the Age of 21

2.1. Describe how the marijuana establishment will prevent persons under the age of 21 from gaining access to any portion of the licensed premises and marijuana items:

All visitors to the facility will need to demonstrate via appropriate identification that they are over 21 years of age before being allowed to access the facility. Anyone without identification and/or under the age of 21 may not enter the facility. Valid identification includes: state or federal driver license, passport, or any other form of identification deemed appropriate by state law or regulation. Signage stating that no one under 21 years of age is permitted will be displayed.

*Received on 4-13-2020*

*By Mark Whisenhunt*

## Section 3 – Security

Restricted Access Areas (3 AAC 306.710):

3.1. Describe how you will prevent unescorted members of the public from entering restricted access areas:

A coded keypad is in place for security on the doors to limit access. It is the applicant's preference that all visitors will call ahead and establish an appointment time before visiting the facility. All outside doors to the facility will remain locked at all times, and all restricted access areas will be secure and under surveillance, so entry to the facility by an unescorted visitor will not be possible, and anyone entering a restricted access area will be on camera. Video surveillance will record all entries, exits, and rooms with the facility. Upon arrival, an employee escort will request identification from the visitor, confirm that the visitor is over 21 years of age, enter information in the visitor log, and issue a visitor badge to the visitor. Each visitor will be escorted by an employee, who will remain with the visitor for the duration of their visit. No employee will escort more than five visitors at a time. The visitor policy shall apply to all facility visitors including, but not limited to, contractors, wholesale purchase customers, and delivery/transportation drivers.

3.2. Describe your recordkeeping and processes for admitting visitors into and escorting them through restricted access areas:

Upon arrival, visitors will be screened and issued a visitor badge. An employee escort will request identification from the visitor, complete the visitors log, and issue a visitor badge. Information on the visitor log includes name, date of birth, current date and time in/out, email address, phone number, purpose for visit, and the employee escort name. Visitors are required to wear badge at all times. The employee escort is required to remain with the visitor and is responsible for recording the time the visitor leaves and retrieving the visitor badge. Copies of the visitor log will be made regularly and maintained with the company's books and records.

*All employees will be educated on the security protocol. They will also be educated on the operating plan as well.*

AMCO



Alaska Marijuana Control Board

Form MJ-04: Marijuana Cultivation Facility Operating Plan Supplemental

4.8. Describe the marijuana cultivation facility's irrigation and waste water systems to be used:

All watering operations pellets, potting soil, coca coir and rock wool medium-based grows will be by hand via a pumped nutrient solution from a mixing/storage tank. Runoff will be minimal but collected in a reservoir located in each room and either disposed of per DEC regulation or treated and reused. All watering operations in rock wool/coca coir-based media grows will recirculate till its replaced, at which time the waste will be disposed of per DEC regulation. Normal evaporation will occur. Any additional waste water that may exist will be collected and disposed of in accordance hazardous waste produced will be disposed of at the Hazardous Waste Collection Center (HWCC) located at the valley regional land fill. Since this cultivation will be producing < 220 pounds of hazardous waste per month, they are classified as a Conditionally Exempt Small Quantity Generator (CESQG). They will be disposed of at the local landfill as set forth above pursuant to their regulations or reused again.

Section 5 - Waste Disposal

Review the requirements under 3 AAC 306.740.

You must be able to certify the statement below. Read the following and then sign your initials in the box to the right: Initials

5.1. The marijuana cultivation facility shall give the board at least three days written notice required under 3 AAC 306.740(c) before making marijuana waste unusable and disposing of it.

Handwritten initials in a box

5.2. Describe how you will store, manage, and dispose of any solid or liquid marijuana waste, including wastewater generated during marijuana cultivation, in compliance with any applicable laws. Include details about the material(s) you will mix with ground marijuana waste and the processes that you will use to make the marijuana waste unusable for any purpose for which it was grown:

Marijuana waste will be stored in a refuge collection container(s) within the licensed facility grow area. When the time comes for disposal, after giving AMCO at least three days written notice before rendering the marijuana unusable and disposing of it, all marijuana waste will be ground and mixed with paper, food waste, or other products in order to produce a 50/50 ratio and made unusable. Once this is done the material will be disposed of via the local landfill, but again only after giving AMCO three days written notice of intent.

Runoff will be minimal but collected in a reservoir and either disposed of per DEC regulation or treated and reused and normal evaporation will occur as well. All watering operations in pellet- and rock wool medium-based grows will recirculate within the unit until it is replaced, at which time the waste water ill be disposed of per DEC regulation.

Any additional waste water that may exist will be collected and disposed of in accordance with regulations. Hazardous waste produced will be disposed of at the Hazardous Waste Collection Center (HWCC) located at the Valley Regional Landfill. Since this cultivation will be producing < 220 pounds of hazardous waste per month, they are classified as a Conditionally Exempt Small Quantity Generator (CESQG). They will be disposed of at the local landfill as set forth above pursuant to their regulations or reused again.

AMCC



Alaska Marijuana Control Board

Form MJ-04: Marijuana Cultivation Facility Operating Plan Supplemental

Section 6 – Odor Control

Received on 4-13-2020

By Mark Whisenhunt

Review the requirements under 3 AAC 306.430.

Answer "Yes" or "No" to the following question:

Yes No

6.1. Have you received an exemption from your local government for the odor control requirement set forth in 3 AAC 306.430(c)(2)?

Yes: [ ] No: [x]

If "Yes", you must be able to certify the statement below. Read the following and then sign your initials in the box:

Initials

I am attaching to this form documentation of my odor control exemption from the local government.

[ ]

If "No" to question 6.1., describe the odor control method(s) to be used and how the marijuana cultivation facility will ensure that any marijuana at the facility does not emit an odor that is detectable by the public from outside the facility:

Canister style, activated carbon filters will be utilized in conjunction with ducted fans within the proposed cultivation facility to prevent any marijuana odor from being detected by the public. This will keep all smell/odor from being detected outside of the facility. Ozone generators may also be used if determined to be necessary. This facility has no buildings or homes within 1 square mile.

Filters will be cleaned or replaced according to manufacturer's recommendations.

Section 7 – Testing Procedure and Protocols

Review the requirements under 3 AAC 306.455 and 3 AAC 306.465.

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box:

Initials

7.1. I understand and agree that the board or director will, from time to time, require the marijuana cultivation facility to provide samples of the growing medium, soil amendments, fertilizers, crop production aids, pesticides, or water for random compliance checks.

[Signature]

7.2. I will ensure that any individual responsible for collecting random, homogenous samples for required laboratory testing under 3 AAC 306.455 will prepare the necessary accompanying signed statement, provide the signed statement to the marijuana testing facility, and maintain a copy as a business record under 3 AAC 306.755.

[Signature]

7.3. Describe the testing procedures and protocols the marijuana cultivation facility will follow:

Upon notification that the board or the director require samples for random compliance checks of the proposed facility, a licensee or an authorized agent of the proposed facility will notify and independent testing laboratory to send a representative to collect the required samples. This way a chain of custody is established, and the possibility of unintentional contamination due to improper sample collection practices is minimized.

All marijuana product batches will be tested for a battery of state required impurities and/or contaminants by a state licensed lab in accordance with 3 ACC 306.455. The facility will collect random samples from homogeneous batches of individual strains of bud or flower in the amount required by the selected testing facility. the marijuana will be segregated and quarantined in up to five (5) pound lots and kept there until the testing has been completed and the marijuana has been cleared and pass the lab.

We will further select homogeneous samples from our cultivation facility for random testing during our growing cycles in order to ensure the highest of quality of standards are met.

AMCO

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THE STATE  
of **ALASKA**  
GOVERNOR MICHAEL J. DUNLEAVY

Department of Commerce, Community,  
and Economic Development

ALCOHOL AND MARIJUANA CONTROL OFFICE  
550 West 7<sup>th</sup> Avenue, Suite 1600  
Anchorage, AK 99501  
Main: 907.269.0350

November 26, 2019

Arctic Hydroponics, LLC  
DBA Arctic Hydroponics, LLC

Via: [kenny\\_champ@yahoo.com](mailto:kenny_champ@yahoo.com)

Re: Arctic Hydroponics, LLC #19279

Dear Arctic Hydroponics, LLC:

At the November 13-15, 2019, meeting of the Marijuana Control Board in Anchorage, Alaska, the board voted to approve your new standard marijuana cultivation facility application with delegation to the director. Delegation means that the board has authorized me to issue the license once all outstanding approvals are received.

Attached are post-approval instructions and the pre-inspection checklist, which provide information on your next steps. Please note that the pre-inspection checklist is informational. You will be provided with an individualized checklist at the appropriate time.

Please contact [marijuana.licensing@alaska.gov](mailto:marijuana.licensing@alaska.gov) with any questions.

Sincerely,

A handwritten signature in black ink that reads "Mikal Martin".

Mikal Martin  
Records and Licensing Supervisor

For  
Glen Klinkhart,  
Interim Director

cc: License File  
Matanuska-Susitna Borough

Received on 4-13-2020  
By Mark Whisenhunt



THE STATE  
of ALASKA  
GOVERNOR MICHAEL I. DUNLAVY

Department of Commerce, Community,  
and Economic Development

Alcohol and Marijuana Control Office

550 West 7th Avenue, Suite 1400  
Anchorage, AK 99501  
Main: 907.269.0350

October 16, 2019

State Fire Marshal

Attn: Michelle Wagner, [michelle.wagner@matsugov.us](mailto:michelle.wagner@matsugov.us)  
Lloyd Nakano, [Lloyd.nakano@alaska.gov](mailto:Lloyd.nakano@alaska.gov)  
Pam Bowden, [pam.bowden@alaska.gov](mailto:pam.bowden@alaska.gov)

2019ABC 1088

License Number:	19279
License Type:	Standard Marijuana Cultivation Facility
Licensee:	Arctic Hydroponics LLC
Doing Business As:	ARCTIC HYDROPONICS LLC
Physical Address:	47256 South Brokestar's Circle Suite A Willow, AK 99688
Designated Licensee:	Kenneth Champ
Phone Number:	907-715-6333
Email Address:	kenny_champ@yahoo.com

3 AAC 306.300(a)(2)(B), 3 AAC 306.400(b)(2)(B), 3 AAC 306.500(b)(2)(B), and 3 AAC 306.605(b)(2)(B) require that an applicant for a marijuana establishment license operate in compliance with each applicable public health, fire, safety, and tax code and ordinance of the state and the local government in which the applicant's proposed licensed premises are located.

This letter serves to provide written notice and request for compliance status from the above referenced entities regarding the above application (see attached application documents for more information). Please complete and return this form to the AMCO office at the email below.

REVIEWER: Q Medina  DEC  Fire Marshal

DATE: 4/6/20 PHONE: 907-269-5485

Compliant  Non-compliant

COMMENTS: Project has been reviewed for fire and life safety. 2nd Floor has been deleted from scope of work.

If you have any questions, please send them to [marijuana.licensing@alaska.gov](mailto:marijuana.licensing@alaska.gov)

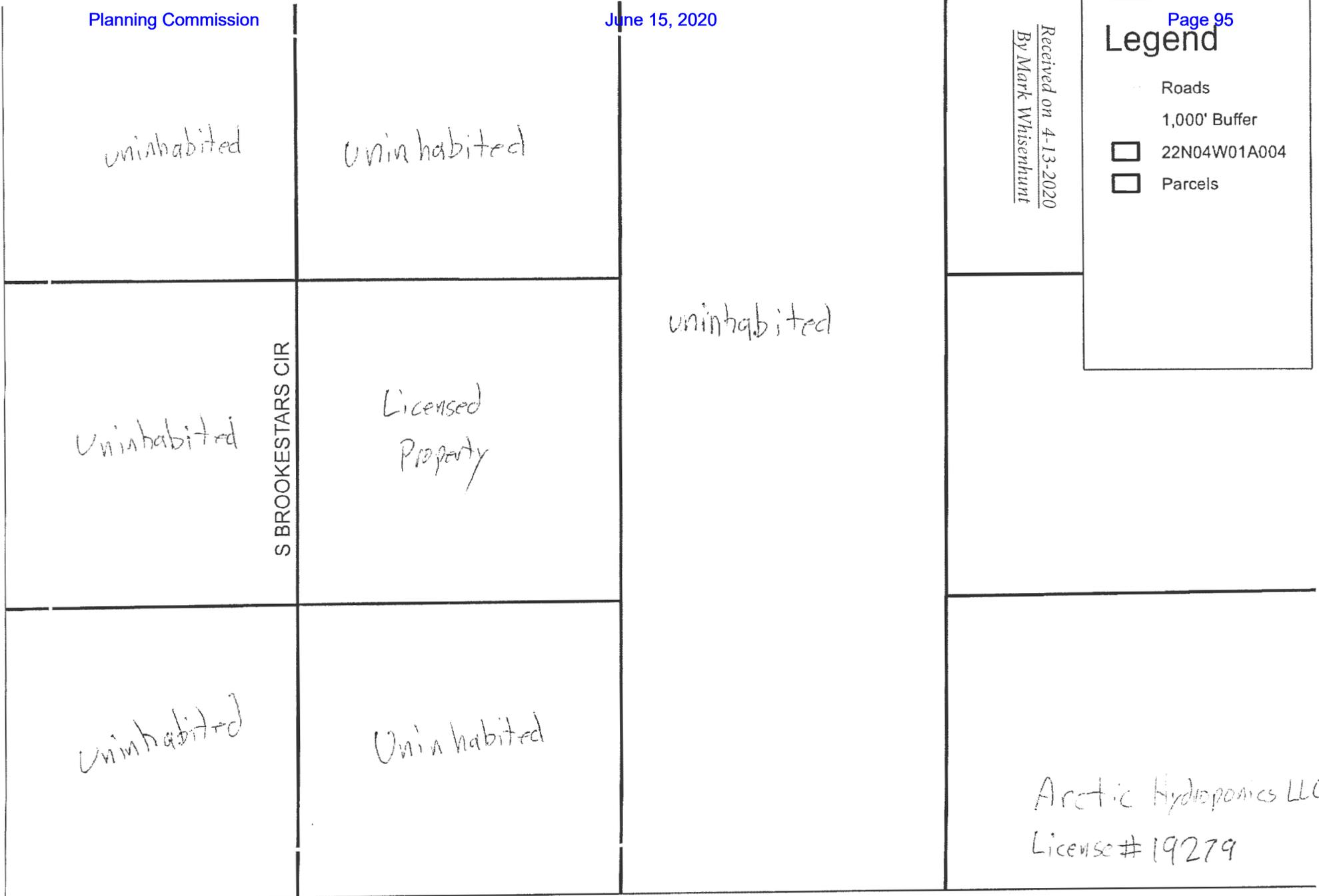
Sincerely,

Received on 4-13-2020  
By Mark Whisenhunt

Received on 4-13-2020  
By Mark Whisenhunt

### Legend

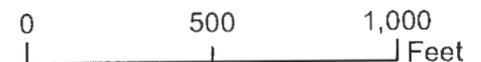
-  Roads
-  1,000' Buffer
-  22N04W01A004
-  Parcels



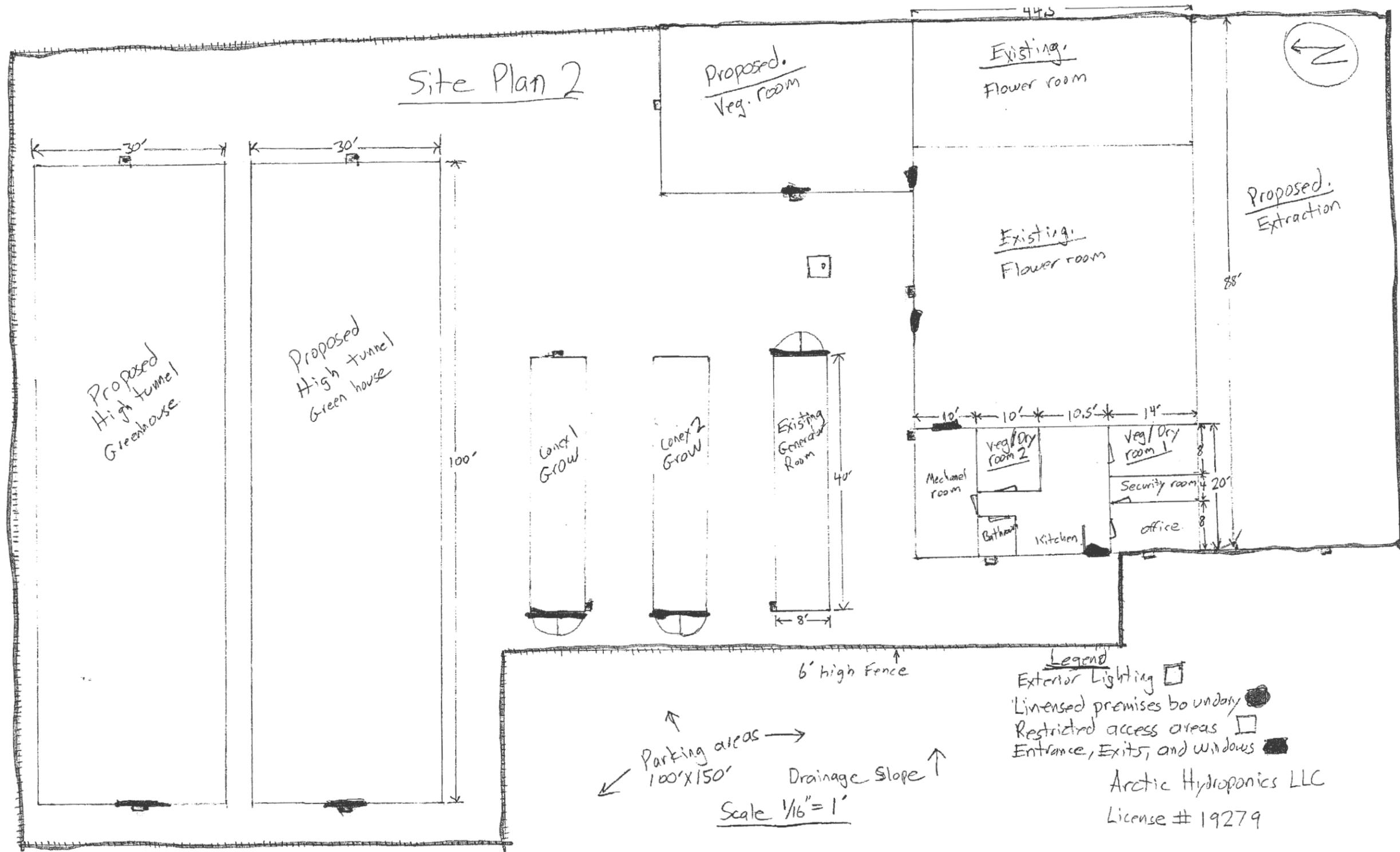
This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-661-7801.

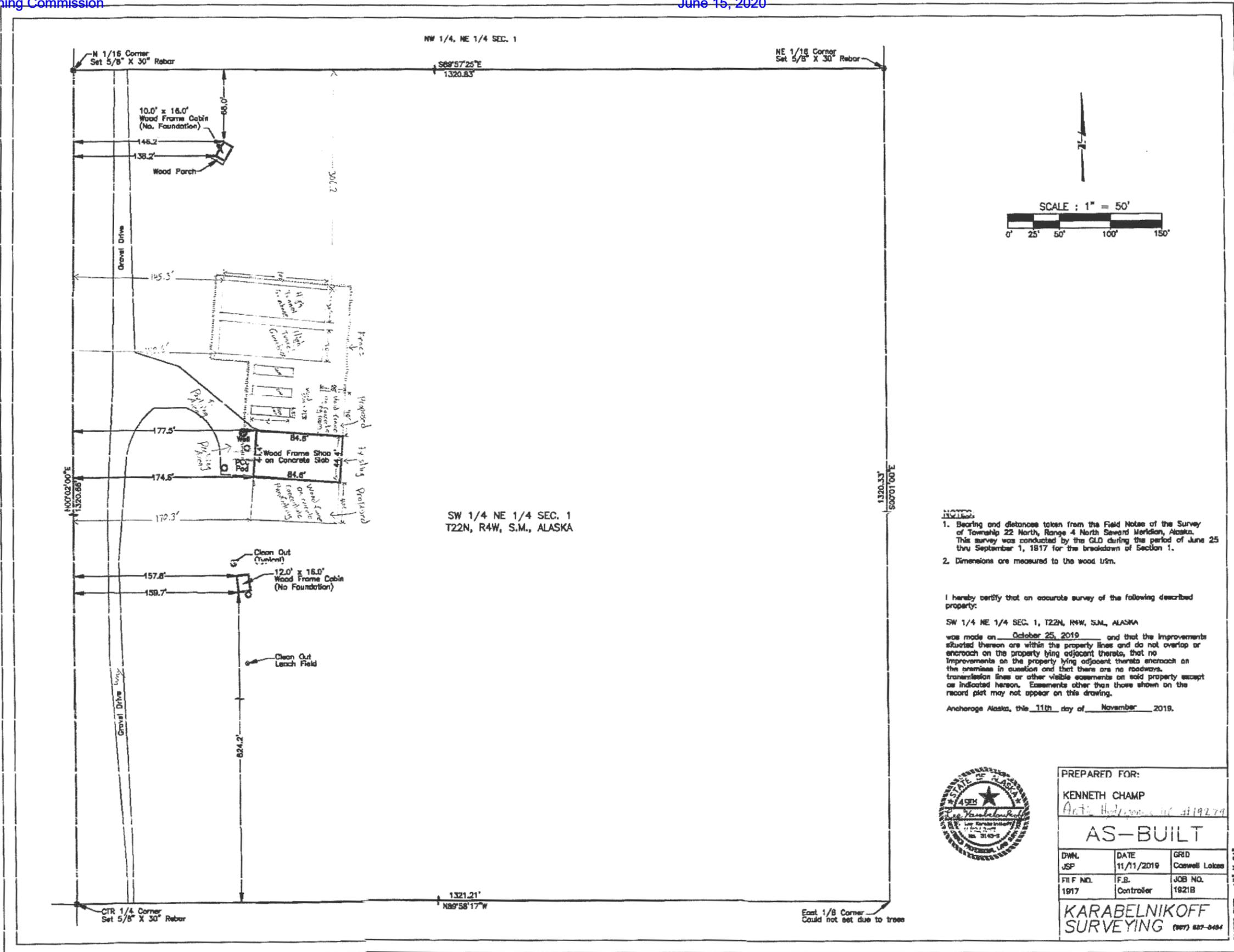
Date: 3/10/2020  
2017 Aerial Imagery

1 inch = 500 feet



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- NOTES:
- Bearing and distances taken from the Field Notes of the Survey of Township 22 North, Range 4 North Seward Meridian, Alaska. This survey was conducted by the G.L.D. during the period of June 25 thru September 1, 1917 for the breakdown of Section 1.
  - Dimensions are measured to the wood trim.

I hereby certify that an accurate survey of the following described property:

SW 1/4 NE 1/4 SEC. 1, T22N, R4W, S.M., ALASKA

was made on October 25, 2019 and that the improvements situated thereon are within the property lines and do not overlap or encroach on the property lying adjacent thereto, that no improvements on the property lying adjacent thereto encroach on the premises in question and that there are no roadways, transmission lines or other visible easements on said property except as indicated hereon. Easements other than those shown on the record plat may not appear on this drawing.

Anchorage Alaska, this 11th day of November 2019.



PREPARED FOR:

KENNETH CHAMP  
*Arctic Hydroponics Inc #19279*

**AS-BUILT**

DRAWN JSP	DATE 11/11/2019	GRID Conwell Lokas
FILE NO. 1917	F.S. Controller	JOB NO. 1821B

**KARABELNIKOFF SURVEYING** (907) 827-8484

SHEET SIZE: 18" X 24"

**INTRODUCTION FOR PUBLIC HEARING  
QUASI-JUDICIAL**

**Resolution No. PC 20-21**

**MSB Land Management Division  
Central Landfill Gravel**

(Page 99)

**INTRODUCTION FOR PUBLIC HEARING**





# MATANUSKA-SUSITNA BOROUGH

## Planning and Land Use Department

### Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us) **Matanuska-Susitna Borough  
Development Services**

### APPLICATION FOR A CONDITIONAL USE PERMIT FOR **MAY 22 2020** EARTH MATERIALS EXTRACTION – MSB 17.30

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed. **Received**

THIS APPLICATION IS FOR MATERIALS EXTRACTION THAT **DOES NOT** OCCUR WITHIN FOUR FEET OF THE SEASONAL HIGH WATER TABLE. IF YOUR PLAN INCLUDES EXTRACTION WITHIN FOUR FEET OF THE SEASONAL HIGH WATER TABLE YOU MUST COMPLETE THE APPLICATION SPECIFIC TO THAT PURPOSE.

**Application fee must be attached, check one:**

- \_\_\_\_\_ \$500 for Administrative Permit (Less than two years **or** less than 7,000cy annually)
- \_\_\_\_\_ \$1,000 for Conditional Use Permit (More than two years **and** more than 7,000cy annually)

*Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.*

**Subject Property:** Township: 17N, Range: 01E, Section: 1 & 2, Meridian: S  
 MSB Tax ID# 17N01E02D021 & 17N01E01D005  
 SUBDIVISION: \_\_\_\_\_ BLOCK(S): \_\_\_\_\_, LOT(S): \_\_\_\_\_  
 STREET ADDRESS: 1201 N. 49th State St., Palmer, AK 99645  
 FACILITY / BUSINESS NAME: Central Landfill

**Ownership:** A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached?  Yes  No  N/A

**Name of Property Owner**  
 Matanuska-Susitna Borough, Land Management  
 Mailing: 350 E. Dahlia Ave.  
Palmer, AK 99645  
 Phone: Hm \_\_\_\_\_ Fax \_\_\_\_\_  
 Wk 861-7869 Cell \_\_\_\_\_  
 E-mail lmb@matsugov.us

**Name of Agent / Contact for application**  
 George Hoden, Land Management Specialist  
 Mailing: 350 E. Dahlia Ave.  
Palmer, AK 99645  
 Phone: Hm \_\_\_\_\_ Fax \_\_\_\_\_  
 Wk 861-8489 Cell \_\_\_\_\_  
 E-mail george.hoden@matsugov.us

**Description** What type(s) of material is being extracted? Pit Run

Total acreage area of all parcels on which the activity will occur: 163 total acres (120 in IMD)

Total acreage area of earth material extraction activity: 19 total acres (4 in IMD)

Total cubic yards extraction per year: 215,800 CY Phase 2A through 9/2020, another 191,500 CY Phase 2B through 9/2021

Total projected cubic yards to be extracted: 407,300 CY 2020-2021

What is the estimated final year extraction will occur? 2021 unless there are project delays

**Required information**

1. Attach a plan of sufficient detail to demonstrate compliance with the requirements of MSB 17.28.050 and MSB 17.28.060.

<b>Plan of Operation</b>	<b>Attached</b>
Provide seasonal start and end dates	x
Provide days of the week operations will take place.	x
Provide hours of operation.	x
Estimated end date of extraction	x
Estimated end date of reclamation	x
Describe all other uses occurring on the site	x
Describe methods used to prevent problems on adjacent properties, such as lateral support (steep slopes), water quality, drainage, flooding, dust control and maintenance of roads; how will the operation monitor the seasonal high water table to stay at least four feet above it	x
Provide quantity estimates and topographical information such as cross section drawings depicting depth of excavation, slopes and estimated final grade	x

2. Submit a site plan. Drawings must be detailed and **drawn to scale**. Drawings under seal of an engineer or surveyor are recommended but not required.

<b>SITE PLAN REQUIREMENTS</b>	<b>Attached</b>
Identify location of permanent and semi-permanent structures on the site for verification of setback requirements. Include wells and septic systems.	X
Depict buffer areas, driveways, dedicated public access easements, and noise buffers (such as fences, berms or retained vegetated areas), and drainage control such as ditches, settling ponds etc.	x
Identify wetlands and waterbodies on site and within one mile	x
Identify existing surrounding land uses within one mile	x
Identify surrounding property ownership (i.e. public vs. private) within one mile of exterior boundaries	X
Show entire area intended for gravel/material extraction activity and the boundary of the lot(s) containing the operation. Identify areas used for past and future phases of the activity. Identify phases of proposed mining activities including a map showing the area to be mined, a description of the topography and vegetation, approximate time sequence for mining at particular locations, and general anticipated location of semi-permanent equipment such as conveyor belts, crushers, dredges, batch plants, etc.	x

Road and access plan that includes anticipated routes and traffic volumes. If the level of activity exceeds the minimum levels specified in MSB 17.61.090, traffic standards, a traffic control plan consistent with state regulations may be required	X
Visual screening measures that include a detailed description of the type of visual screening to be utilized. Visual screening may include, but is not limited to, berms, natural vegetation, solid fences, walls, evergreen hedges or other means as approved by the commission	X
Noise mitigation measures that include a description of measures to be taken by the applicant to mitigate or lessen noise impacts to surrounding properties. Measures shall include, but not be limited to, hours of operation of noise-producing equipment, erecting noise barriers (i.e., berms a minimum of 10 feet in height) between noise-producing equipment and adjacent uses, location of noise-producing equipment (i.e., below grade in excavated pit areas), and measures to utilize equipment with noise reduction features	X
Proposed lighting plan	x
Other (as required by MSB Planning Department)	

3. Submit a reclamation plan including the following:

Reclamation Plan	Attached
Provided timeline for reclamation at particular locations and that is in compliance with MSB 17.28.067	X
Provide copy of reclamation financial assurance filed with the State of Alaska (If exempt, provide qualifying documents for exemption)	X

4. Submit documentation of compliance with borough, state and federal laws:

COMPLIANCE WITH BOROUGH, STATE AND FEDERAL LAWS	Applied for (list file #)	Attached (list file #) or N/A
Mining license as required by the Alaska State Department of Revenue, pursuant to A.S.42.65		EX. 6
Mining permit as required by the Alaska State Department of Natural Resources (ADNR) if extraction activities are to take place on state land		EX. 6
Reclamation plan as required by ADNR, pursuant to A.S. 27.19		EX. 5
Notice of intent (NOI) for construction general permit or multi-sector general permit and storm water pollution prevention plan, and other associated permits or plans required by the Environmental Protection Agency (EPA) pursuant to the National Pollutant Discharge Elimination System (NPDES) requirements		X
United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act, 33 U.S.C. 1344, if material extraction activity is to take place within wetlands, lakes and streams.		N/A
Other (Such as, driveway / access permits. List as appropriate.)		

**OWNER'S STATEMENT:** I am owner or authorized agent of the following property:

MSB Tax account #(s) 17N01E02D021 and, I hereby apply for approval of conditional use permit for earth material extraction activities on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.28, MSB 17.30 and with all other applicable borough, state and federal laws, including but not limited to, air quality, water quality, and use and storage of hazardous materials, waste and explosives, per MSB 17.30.055.

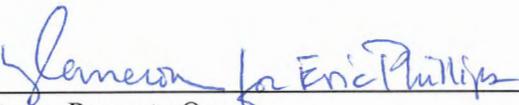
I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorizations may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public’s health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to operators on this property, and to the buyer when I sell the land. Additionally, I agree to comply with 17.30.120 Transfer of Conditional Use Permit, in the event this permit is transferred to a subsequent property owner.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

	Eric Phillips	Nancy Cameron	5/22/2020
Signature: Property Owner	Printed Name		Date

George Hoden	<small>Digitally signed by George Hoden Date: 2020.05.08 11:25:12 -08'00'</small>	George Hoden	5/8/2020
Signature: Agent		Printed Name	Date

**EARTH MATERIAL EXTRACTION APPLICATION**

**MATANUSKA-SUSITNA BOROUGH**

**CENTRAL LANDFILL**

**NEW C AND D CELL**



**MATANUSKA-SUSITNA BOROUGH  
LAND AND RESOURCE MANAGEMENT DIVISION AND  
SOLID WASTE DIVISION**

**NEW C AND D CELLS  
PROPOSED GRAVEL MINING PLAN OF OPERATIONS  
AND SITE PLAN REQUIREMENTS**

The following information is an attachment to the Matanuska-Susitna Borough (MSB) application for Earth Materials Extractions activities that do not occur within four feet of the water table under MSB 17.30, Conditional Use Permit (CUP).

**1. Plan of Operation**

The Matanuska-Susitna Borough Central Landfill is located approximately 0.5 mile south on N 49<sup>th</sup> State Street from the intersection with the E. Palmer Wasilla Highway. This Proposed Gravel Mining Plan (Plan) details the activities and dates of operation for excavation of the future landfill C and D (Construction and Demolition) Cell.

Site Plans for the future landfill cell are provided in Appendix A and depict the proposed operation area, depth of excavation, slopes, and estimated final grade. A vicinity map, site map, the landowners within one-mile, wetlands and waterbodies within one mile, and other features are shown in Exhibits 1-6.

The current Plan includes a future borrow source located within the current landfill property boundary. The maximum area proposed for gravel extraction within the larger landfill area is approximately 19 acres. Of these 19 acres, approximately 15 acres are located on Tax Parcel ID 17N01E02D021. The remaining 4 acres to be mined are located at Tax Parcel ID 17N01E01D005 within the Central Landfill Interim Materials District (IMD). The remaining landfill property contains landfill facilities (landfill gas area, open and closed landfill cells and access roads), undeveloped land designated for future use as landfill cells, and undeveloped land utilized for the Crevasse Moraine Trail System. Property surrounding the landfill is residential to the north and west. The land south and west of the landfill is undeveloped land containing lakes and wetland areas.

The goal of the gravel extraction activities is to extract Phases 2a and 2b of the C and D Cell Project which amounts to approximately 407,300 cubic yards of material for beneficial use onsite as cover material and/or sale. The property is owned by the Matanuska-Susitna Borough (MSB). Modifications to the Plan will be submitted to the Land and Resource Management Division (MSB-LRMD), as needed, by the Contractor authorized to develop the site prior to the commencement of any mining activities. The project is expected to last two years, but may need to be extended if delays occur. Full development of the borrow source is anticipated to be complete by 2021. No reclamation of the mined area is required prior to use as landfill cells. Final reclamation will be concurrent with closure of the landfill cells. Cell closure dates are described in the Central Landfill Development Plan (CH2M HILL, October 2014).

Extraction operations will be at the Contractor's discretion and are not seasonally dependent. Hours of operation are expected to be Monday through Saturday from 8:00 a.m. to 5:00 p.m. These hours of operation are the same as the hours of operation for the landfill itself. The landfill is open on Sunday from 8:00 am to 5:00 pm, however, no excavation or hauling in conjunction with this plan will be allowed on Sundays. Existing access roads will be used for earth extraction, as shown in the attached Site Plans. The Site Plan indicates four different phases of development. This application is for all phases of development indicated on these drawings.

A development plan will be prepared by the Contractor, based on project needs and request for access and/or use made to the MSB-LRMD. If a modification of the site plan or development plan is required, a modified plan will be submitted to MSB-LRMD to determine if an amendment to the permit will be required. No placement of structures, either permanent or semi-permanent, will be permitted within the operations area. All contract specifications or use agreements for authorized use of this site shall require the following to be submitted to the MSB-LRMD by the Contractor for review and approval prior to site development and/or material extraction.

The schedule for excavation and reclamation will be more thoroughly defined by the Contractor developing the site, and will be required in all contractor bid packages. Material extraction began in 2018 authorized by Administrative Permit A17602017003 and is expected to continue through 2021. No reclamation will be required. Following the excavation the mined cells will be prepared as necessary for expansion of the Central Landfill.

## **2. Site Plan Requirements**

There are no permanent or semi-permanent structures authorized within the excavation area. No crushers, asphalt plants, or batch plants are proposed with this plan. A screening plant is planned for use in this operation. Fine materials (less than  $\frac{3}{4}$ ") will be left on site and used as daily cover for landfill waste and other needs by the Borough.

### ***Sand and Gravel Extraction***

Total excavation of Phases 2a and 2b will be approximately 407,300 cubic yards of pit-run material and is expected to be excavated between 2020 and 2021. Phase 2a will be accessed by the route on the north side of the pit and will extract approximately 215,800 cubic yards by September 1, 2020. Phase 2b will be accessed by the same route and will extract 191,500 cubic yards by September 1, 2021.

Conventional bulldozers, track-mounted backhoes, rubber-tired loaders, and 10-12 cubic yard (CY) capacity dump trucks, and 18-30 CY capacity side or belly dump trucks will be used in the operation of the mine. Typically the hauling will be done using a 25 CY dump.

No blasting is anticipated to occur on site. The working depth will typically be 20-75 feet below original ground, as long as the depth of excavation remains a minimum of four feet above the ground water level. Ground water monitoring wells exist throughout the landfill property and mining activities will not encroach within four feet of the seasonal high ground water level.

Most of the material extracted will be leaving the site via haul truck. Truck haul routes are shown in Exhibit 2 – Site Map. A water truck and/or sweeper may be used for dust control as needed.

The primary staging, stockpiling, and operations area is situated within Phase 1 of the excavation and will be approximately 2 acres, to accommodate for maneuvering of trucks and excavation equipment. The operations area is not shown specifically on the Site Plans, but is located in the flat area in the northeast corner of the project area. Reject material will be stockpiled for future road operations in areas adjacent to the Construction and Demolition cell area.

The site was previously cleared of trees. A small area of excavation has been used south of the old C and D Cell and to the north of the new C and D Cell for cover material and daily landfill operational needs.

Organic overburden from the site will be stockpiled for use as cover material or sold. Stockpiles of this material will be located in the area designated as such on the attached Site Plans. Mined areas will be excavated as specified in Appendix A.

### **I. Structures**

A 25-foot setback is required from all property lines for structures, permanent or portable facilities, and equipment or material storage per MSB code (17.28.070(A)). There are no structures planned for use within the site boundaries. Any request from the contractor to erect such a structure will require an amendment to this permit.

### **II. Buffer areas and Driveways**

Buffers, driveways and public access easements are shown in Appendix A. Buffers for this parcel include a 50-foot buffer to avoid the 100-foot wide easement to the west. Beyond this easement there is an additional 600 feet of naturally vegetated land between the proposed project and the boundary of the Central Landfill. Land to the north is currently the active Central Landfill C and D Cell. The parcel to the east, which also contains the easternmost portion of the proposed future C and D Cell, is the Central Landfill IMD. All land to the south is owned and operated by the Central Landfill; however, the property boundary to the south of the proposed excavation area is also being buffered by approximately 125 feet of natural vegetation.

All traffic will ingress and egress the site via East Chanlyut Circle, onto N 49<sup>th</sup> State Street, which is a paved residential road.

### **III. Wetlands and Waterbodies**

No wetland areas are located in the area proposed for mining. Exhibit 3 shows all wetlands within a 1-mile radius of the parcel proposed for the mining site.

### **IV. Existing and Surrounding Land Uses**

Property surrounding the landfill is residential to the north and west. The land south and east of the landfill is undeveloped land containing lakes and wetland areas. It is expected that MSB lands are used by the public for recreational purposes including the Crevasse Moraine Trail system. Surrounding properties within a 1-mile radius are identified in Exhibit 3. A list of all neighboring property owners within this same radius is also provided with this exhibit.

### **V. Road and Access Plan**

All traffic will ingress and egress the site via an existing driveway off of East Chanlyut Circle then directly onto N 49<sup>th</sup> State Street, which is a paved residential road. Site access is shown in the attached Site Plans and in Exhibit 2 – Site Map.

Construction-related traffic may be expected to generate up to 40 trips maximum per hour, during the peak construction season. The Central Landfill Interim Materials District (IMD) authorizes the removal of earth materials from the neighboring parcel via the same ingress/egress route. However, extraction and removal activities associated with this IMD will not run simultaneously with activities associated with the proposed project. Once the Administrative Permit expires activity associated with the IMD will continue.

### **VI. Visual Screen Measures**

Residential areas and recreational trails are located in the vicinity of the proposed area of development. However, the boundaries of all excavated areas associated with this proposed mining site are bordered by land designated for landfill use. The landfill property, greater than 500 feet in every direction, will serve as a visual buffer for the project area. Neighboring residential parcels to the west and recreational parcels to the

south will additionally be buffered with naturally occurring vegetation.

#### **VII. Noise Mitigation**

Residential areas and recreational trails are located in the vicinity of the proposed area of development. Existing landfill cells and forested areas around the landfill will provide noise buffer to these receptors. Due to the natural topography of the land chosen specifically for the purpose of the next landfill C and D Cell, gravel extraction will take place within a natural hole. This below-grade excavation will also help to attenuate work area noise to acceptable levels consistent with the stipulations of MSB 17.28.060(A)(5). Additionally, haul trucks removing the material via 49<sup>th</sup> State Street will be required to have the appropriate mufflers installed to minimize noise pollution in the adjacent neighborhoods.

#### **VIII. Lighting Plan**

Most of the work will be conducted primarily during daylight hours without the need for artificial lighting. The contractor will be required to obtain approval from MSB for any artificial lighting. Lighting may be used to illuminate activities in the work area, if needed. All lighting will be focused away from nearby residential areas and will be directed only onto the work at hand. Exterior lighting must be located and shielded to direct light towards the ground, in order to minimize light spillage onto adjacent properties and upward in to the night sky. Illumination or other fixtures mounted higher than 20 feet or 150 watts or more must have downward directional shielding, in accordance with MSB 17.28.060(A)(6).

#### **IX. Dust Plan**

Road dust control is a concern of high priority. The Contractor involved in development of this mine site shall contain a specific bid item to provide watering for dust control.

Borough staff or their agent will monitor conditions throughout construction and direct the construction contractor to water the roadway and haul routes as needed to prevent dust from becoming a problem. It is also anticipated that measures to reduce any by-product dirt transport from the borrow site by vehicle tires will be implemented within the borrow pit.

#### **X. Stormwater Pollution Prevention Plan (SWPPP)**

The Central Landfill site contains all stormwater runoff and does not require a SWPPP for contractors excavating new landfill cells. Documentation related to this is included in Exhibit 6.

#### **XI. Remediation Plan**

No additional maintenance or requirements are anticipated to be necessary in the time between the completion of mining and start of landfill cell usage for construction and demolition waste.

#### **XII. Long-Term Plan**

This plan is specifically for the extraction of materials to make way for the future landfill cell for construction and demolition waste. The active C and D Cells are nearing their maximum capacity, and the necessity to acquire more room for future disposal is imperative. Excavation for the new C and D Cell, accounting for approximately 407,300 cubic yards of pit-run materials, is expected to take place through 2021. The Mat-Su

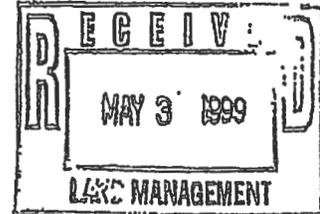
Borough Land and Resource Management Division in conjunction with the Mat-Su Borough Central Landfill are requesting this Conditional Use Permit to cover the activities associated with the expansion of the landfill.

**MATANUSKA-SUSITNA BOROUGH**

Borough Manager

350 E. Dahlia Avenue, Palmer, Alaska 99645-6488  
Phone (907) 745-9689 FAX (907) 745-9669

April 26, 1999

Jane Angvik, Director  
Division of Land  
3601 C Street, Suite 1122  
Anchorage, AK 99503-5947

RE: Reclamation MOU

Alaska Statute (27.19) requires DNR to administer mining reclamation on all state, federal, municipal and private land subject to mining operations which includes sand, gravel and other material.

The Borough has similar provisions to AS 27.19 in our ordinances. We feel it would much easier and efficient to administer these reclamation requirements on our own land. This would relieve some potential work load requirements from DNR and ensure that the Borough is in compliance with both state and Borough reclamation requirements.

Working with your staff, we have drafted the enclosed MOU dealing with the reclamation issue for material sites on Borough owned land.

There are two originals. After your review and signature please return one original to Ron Swanson, Community Development Director at the above address.

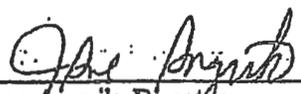
Thank you for your help and consideration on this issue.

Sincerely,

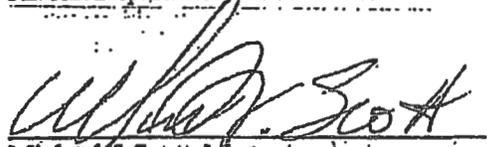
A handwritten signature in black ink, appearing to read "Michael J. Scott".  
Michael J. Scott  
Borough Manager

COOPERATIVE MANAGEMENT AGREEMENT BETWEEN  
 ALASKA DEPARTMENT OF NATURAL RESOURCES AND  
 MATANUSKA-SUSITNA BOROUGH FOR  
 MINING RECLAMATION ON BOROUGH-OWNED LAND

Under the authority of Alaska State Constitution Article X Section 13, AS 27.19.060, AS 29.35 and 11AAC-97.700, the Department of Natural Resources and the Matanuska-Susitna Borough hereby enter into a cooperative management agreement by which the Matanuska-Susitna Borough will implement state mining reclamation requirements (AS 25.19 and 11 AAC 97) for material sites owned by the Matanuska-Susitna Borough. The Department of Natural Resources and the Matanuska-Susitna Borough find that this agreement will promote uniform compliance with state reclamation requirements and those set by municipal ordinances, providing for more consistent and effective reclamation of borough-owned land and reducing government paperwork costs. The Department of Natural Resources further finds that this agreement is in the state's best interests.

  
 \_\_\_\_\_  
 Jane Angvik, Director  
 Division of Land  
 Alaska Department of Natural Resources

4/30/99  
 \_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Michael J. Scott, Manager  
 Matanuska-Susitna Borough

4/23/99  
 \_\_\_\_\_  
 Date

MINING LICENSE – A mining license is not required for the Central Landfill C&D Cells Pit.

On May 24, 2012, Governor Parnell signed legislation (HB 298) into Law. This legislation, with a retroactive effective date of January 1, 2012, exempts quarry rock, sand and gravel, and marketable earth mining operations from the mining license tax. Anyone who mines quarry rock, sand and gravel, and/or marketable earth exclusively is no longer required to obtain a mining license or file a mining license tax return for activities conducted on or after the effective date.

MINING PERMIT – A mining permit is not required for the Central Landfill Pit. A mining permit is required if extraction activities are to take place on State-owned lands. The Central Landfill C&D Cells Pit is located on Matanuska-Susitna Borough-owned lands.



## Matanuska-Susitna Borough

### Public Works Department

#### Solid Waste Division

350 East Dahlia Avenue - Palmer, Alaska 99645-6488

PHONE (907) 861-7604 FAX (907) 861-7609

E-MAIL: [brett.olson@matsugov.us](mailto:brett.olson@matsugov.us)

July 11, 2018

Alaska Department of Environmental Conservation  
Division of Water  
Storm Water Program  
555 Cordova Street  
Anchorage, AK 99501

Attn: Mr. William Ashton

**RE: Matanuska-Susitna Borough, Central Landfill, Multi-Sector General Permit**

On May 18<sup>th</sup>, 2018, Katrina Chambon of ADEC visited the Central Landfill (CLF) in Palmer to discuss the Multi-Sector General Permit (MSGP) and how it may apply to CLF. The purpose of this letter is to provide a reference for future ADEC Storm Water Program personnel regarding CLF and the MSGP. Further information was provided to William Ashton, ADEC Storm Water and Wetlands Engineer, on a June 1, 2018 phone call. Mr. Ashton provided confirmation that if stormwater is not discharged to either a Municipal Separate Storm Sewer System (MS4) or waters of the United States, MSGP coverage is not required.

Stormwater at CLF is contained on site and is not discharged to either a MS4 or waters of the United States. In an October 22<sup>nd</sup>, 2015 letter, the Army Corps of Engineers provided jurisdictional determination that a small wetland located on the property is not considered a body of water of the United States as the wetland is isolated, intrastate, non-navigable, and has no connection to interstate or foreign commerce. There are no other bodies of water at CLF. The jurisdictional determination is provided in Attachment A.

Stormwater that comes into contact with open municipal solid waste cells is collected through the landfill leachate collection system and treated as leachate. The leachate is hauled to Anchorage Water and Wastewater Utility's (AWWU) Turpin Street station, authorized by AWWU Industrial Discharge Permit #4. The leachate is treated at the Asplund Wastewater Treatment facility and not discharged to a MS4. In a June 14, 2018 email Mario Croce, AWWU Industrial Pretreatment Coordinator, confirmed that leachate disposed of at the Turpin St. facility is transferred to, and treated at the Asplund Wastewater Treatment facility and not through a MS4 system. Non-leachate stormwater at CLF infiltrates on-site. A copy of this email is provided as Attachment B.

MSB is currently constructing a new MSW cell, Cell 4. A component of the Cell 4 design is a stormwater diversion flap that runs horizontally through Cell 4. The stormwater diversion flap is designed to decrease leachate generation by separating the active and inactive portions of Cell 4. Stormwater will be collected in the inactive portion of the cell and will be pumped out of the cell and allowed to infiltrate on site. Stormwater that is collected in the active portion of Cell 4 will be collected in the leachate collection system and disposed of at the AWWU Turpin St. facility. This plan was provided to Jim Rypkema, ADEC Program Manager, Storm Water and Wetlands, in an April 13, 2018 email. Mr. Rypkema confirmed that this activity would not require MSGP coverage as the discharge is contained on-site. A copy of the email is provided as Attachment C. A site plan for the pumping operation is provided as Attachment D.

Should you have questions or comments regarding this letter please contact Macey Shapiro, Solid Waste Division Manager (907-861-7606) or myself (907-861-7604).

Sincerely,

A handwritten signature in blue ink, appearing to read "Brett Olson", with a long horizontal flourish extending to the right.

Brett Olson  
Solid Waste Environmental Section Supervisor

Attachments

Attachment A: 2015-10-22 Army Corps of Engineers jurisdictional determination letter.

Attachment B: 2018-06-14 MSB-AWWU email.

Attachment C: 2018-04-13 MSB-ADEC email.

Attachment D: Stormwater diversion flap site plan.

## Attachment A



**DEPARTMENT OF THE ARMY**  
ALASKA DISTRICT, U.S. ARMY CORPS OF ENGINEERS  
REGULATORY DIVISION  
P.O. BOX 6898  
JBER, AK 99506-0898

OCT 22 2015

Regulatory Division  
POA-2015-303

Matanuska-Susitna Borough  
Attention: Mr. Ryan Johnston  
350 East Dahlia Avenue  
Palmer, Alaska 99645

Dear Mr. Johnston:

This is in response to your July 28, 2015, letter regarding a jurisdictional determination for a parcel of land located within Section 12, T. 17 N., R. 01 E., Seward Meridian; USGS Quad Map Anchorage C-6; Latitude 61.5840° N., Longitude 149.1973° W.; Matanuska-Susitna Borough, Tax Parcel ID #17N01E12B006, Lot #B6; near Palmer, Alaska.

Based on our review of the information you provided and available to us, and an on-site assessment on September 1, 2015, we have determined that the subject parcel will not involve placement of dredged and/or fill material into waters of the U.S. under our regulatory jurisdiction. The wetlands and waters in your parcel are isolated, intrastate, non-navigable, and have no connection to interstate or foreign commerce. Therefore, pursuant to the federal guidance on the Solid Waste Agency of Northern Cook County v. U.S. Army Corps of Engineers, a DA permit is not required. A copy of the Approved Jurisdictional Determination form is available at: [www.poa.usace.army.mil/Missions/Regulatory/JurisdictionalDeterminations.aspx](http://www.poa.usace.army.mil/Missions/Regulatory/JurisdictionalDeterminations.aspx) under the above file number.

This jurisdictional determination does not establish any precedent with respect to any other jurisdictional determination under Section 404 of the Clean Water Act.

Your proposed project was reviewed pursuant to Section 404 of the Clean Water Act which requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including wetlands, prior to conducting the work (33 U.S.C. 1344).

For regulatory purposes, the Corps of Engineers defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

-2-

This approved jurisdictional determination is valid for a period of five (5) years from the date of this letter, unless new information supporting a revision is provided to us before the expiration date. Also, enclosed is a Notification of Administrative Appeals Options and Process and Request for Appeal form regarding this approved jurisdictional determination (see section labeled "Approved Jurisdictional Determination").

Nothing in this letter excuses you from compliance with other Federal, State, or local statutes, ordinances, or regulations.

Please contact me via email at [Matthew.L.Beattie@usace.army.mil](mailto:Matthew.L.Beattie@usace.army.mil), by mail at the address above, by phone at (907) 753-2791, or toll free from within Alaska at (800) 478-2712, if you have questions.

Sincerely,



Matthew L. Beattie  
Regulatory Specialist

Enclosures



Attachment A

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL**

Applicant: Matanuska-Susitna Borough		File Number: POA-2015-303	Date: <i>October 30, 2015</i>
Attached is:			See Section below
	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A	
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B	
	PERMIT DENIAL	C	
<b>X</b>	APPROVED JURISDICTIONAL DETERMINATION	D	
	PRELIMINARY JURISDICTIONAL DETERMINATION	E	

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at [http://www.usace.army.mil/CECW/Pages/reg\\_materials.aspx](http://www.usace.army.mil/CECW/Pages/reg_materials.aspx) or Corps regulations at 33 CFR Part 331.

**A: INITIAL PROFFERED PERMIT:** You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

**B: PROFFERED PERMIT:** You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

**C: PERMIT DENIAL:** You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

**D: APPROVED JURISDICTIONAL DETERMINATION:** You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

**E: PRELIMINARY JURISDICTIONAL DETERMINATION:** You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

Attachment A

**SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT**

**REASONS FOR APPEAL OR OBJECTIONS:** (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

**ADDITIONAL INFORMATION:** The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

**POINT OF CONTACT FOR QUESTIONS OR INFORMATION**

If you have questions regarding this decision and/or the appeal process you may contact:

**Matthew L. Beattie**  
 Alaska District Corps of Engineers  
 CEPOA-RD-S  
 P.O. Box 6898  
 JBER, AK 99506-0898  
 (907) 753-2791

If you only have questions regarding the appeal process you may also contact:

Regulatory Program Manager  
 U.S. Army Corps of Engineers, Pacific Ocean Division  
 CEPOD-PDC, Bldg 525  
 Fort Shafter, HI 96858-5440

**RIGHT OF ENTRY:** Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

\_\_\_\_\_  
 Signature of appellant or agent.

Date:

Telephone number:

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## Attachment B

**Brett Olson**

---

**To:** Croce, Mario A.  
**Subject:** RE: MSGP

**From:** Croce, Mario A. [mailto: Mario.Croce@awwu.biz]  
**Sent:** Thursday, June 14, 2018 7:22 PM  
**To:** Brett Olson <Brett.Olson@matsugov.us>  
**Subject:** RE: MSGP

Brett,

That is correct the leachate is transported to the Turpin receiving station is part of AWWU's collection system which leads to the wastewater treatment plant.

Also AWWU does not have a MS4 permit. I will be back in the office Monday



*Mario Croce*  
*Industrial Pretreatment Coordinator*  
*Anchorage Water & Wastewater Utility*  
*Direct: 907-751-2219*  
*Cell: 907-317-7361*  
*[Mario.Croce@awwu.biz](mailto:Mario.Croce@awwu.biz)*

**From:** Brett Olson  
**Sent:** Friday, June 08, 2018 4:22 PM  
**To:** 'Croce, Mario A.' <[Mario.Croce@awwu.biz](mailto:Mario.Croce@awwu.biz)>  
**Subject:** MSGP

Hi Mario,

As a follow up to our phone call from last week, I would like to confirm that leachate disposed of at the Turpin St. facility is treated at the Asplund WWTP and is not discharged through an AWWU-operated MS4 system.

**BRETT OLSON**  
SOLID WASTE - ENVIRONMENTAL SECTION SUPERVISOR  
MATANUSKA SUSITNA BOROUGH  
O: 907-861-7604  
C: 907-354-1689

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## Attachment C

**Brett Olson**

---

**From:** Rypkema, James (DEC) <james.rypkema@alaska.gov>  
**Sent:** Friday, April 13, 2018 9:40 AM  
**To:** Brett Olson  
**Subject:** Re: MSB Cell 4

From your description below, I don't think you need MSGP coverage for the discharge as it's contained on-site. You should consider though the potential for any BMPs to fail if the discharge were to make its way to a surface water or a jurisdictional wetland then MSGP coverage may be desired.

Sent via the Samsung Galaxy Note8, an AT&T 4G LTE smartphone

**Brett Olson**

---

**From:** Brett Olson  
**Sent:** Friday, April 13, 2018 9:01 AM  
**To:** 'Jim.Rypkema@alaska.gov'  
**Subject:** MSB Cell 4

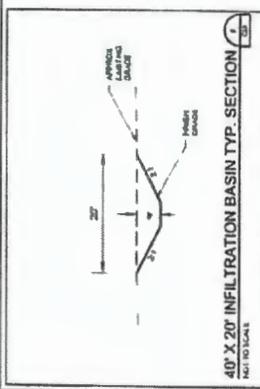
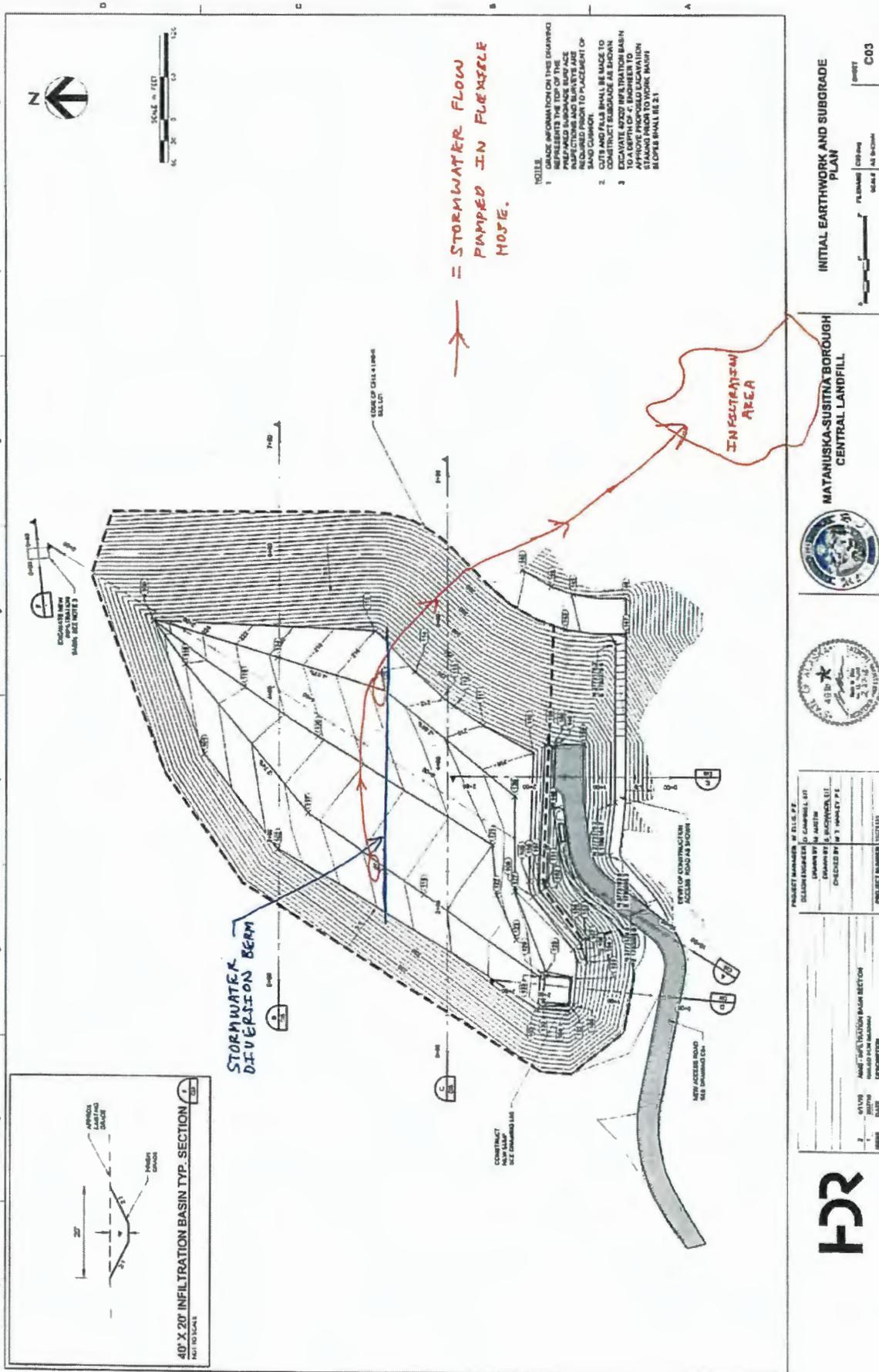
Hi Jim,

I work for the MSB Solid Waste Division, we are currently working on the design of our new landfill cell (Cell 4). Last week we met with DEC Solid Waste to discuss the project, they mentioned that we should reach out to you to in regards to a MSGP/SWPPP question. The design for Cell 4 includes a stormwater diversion flap to prevent stormwater in the unused portion of the landfill cell from coming in contact with any solid waste. The purpose of the stormwater diversion flap is to reduce leachate generation in the yet to be used portion of the landfill cell. The water will then be pumped out of the cell to and will dissipate through the soil completely onsite and not through either a body of water or a MS4. There is a question as to whether this would require a SWPPP, we do not believe so but would like to verify with your department before we begin the project this summer.

**BRETT OLSON**  
SOLID WASTE - ENVIRONMENTAL SECTION SUPERVISOR  
MATANUSKA SUSITNA BOROUGH  
O: 907-861-7604  
C: 907-354-1689

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Attachment D



- NOTICE**
1. THE INFORMATION ON THIS DRAWING REPRESENTS THE TOP OF THE PREPARED SUBGRADE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF SAND CUSHION.
  2. CUTS AND FILL SHALL BE MADE TO CONFORM TO THE SUBGRADE AS SHOWN.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE TO A DEPTH OF 4' BELOW THE APPROVE PROPOSED EXCAVATION TO VERIFY THE EXISTING BATHY METER SHALL BE 2.1'



PROJECT NUMBER	2019-103
DATE	06/15/20
BY	...
CHECKED BY	...
PROJECT MANAGER	...
DESIGNED BY	...
DRAWN BY	...
CHECKED BY	...



**MATANUSKA-SUSITNA BOROUGH  
CENTRAL LANDFILL**

**INITIAL EARTHWORK AND SUBGRADE  
PLAN**

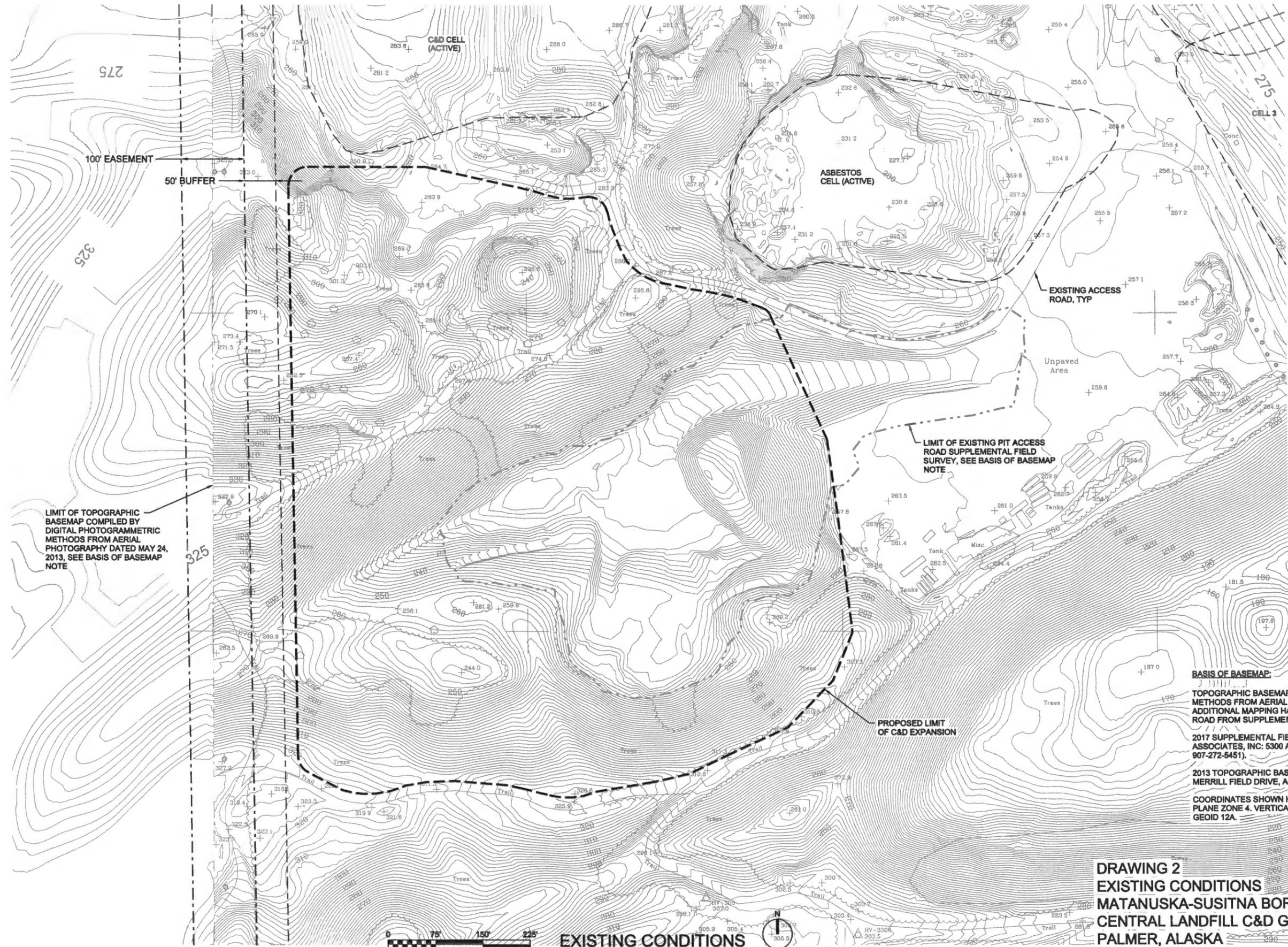
SCALE: 1/4" = 1'-0"

DATE: 06/15/20

PROJECT: C03

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LIMIT OF TOPOGRAPHIC BASEMAP COMPILED BY DIGITAL PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY DATED MAY 24, 2013, SEE BASIS OF BASEMAP NOTE

LIMIT OF EXISTING PIT ACCESS ROAD SUPPLEMENTAL FIELD SURVEY, SEE BASIS OF BASEMAP NOTE

**BASIS OF BASEMAP:**  
 TOPOGRAPHIC BASEMAP COMPILED BY DIGITAL PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY DATED MAY 24, 2013. ADDITIONAL MAPPING HAS BEEN ADDED FOR EXISTING PIT ACCESS ROAD FROM SUPPLEMENTAL FIELD SURVEY DATED MARCH 17, 2017.  
 2017 SUPPLEMENTAL FIELD SURVEY PREPARED BY LOUNSBURY & ASSOCIATES, INC: 5300 A STREET, ANCHORAGE, AK 99518 (PH: 907-272-5451).  
 2013 TOPOGRAPHIC BASEMAP PREPARED BY QUANTUM SPATIAL: 2014 MERRILL FIELD DRIVE, ANCHORAGE, AK 99501 (PH: 907-272-4495).  
 COORDINATES SHOWN HEREON ARE BASED ON NAD83 ALASKA STATE PLANE ZONE 4. VERTICAL ELEVATIONS ARE BASED ON NAVD88 USING GEOID 12A.

**DRAWING 2  
 EXISTING CONDITIONS  
 MATANUSKA-SUSITNA BOROUGH  
 CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN  
 PALMER, ALASKA**



**EXISTING CONDITIONS**



**GRAVEL MINING SEQUENCING:**

STEP 1: MINE GRAVEL TO EXPAND EXISTING PHASE 1 LOW AREA. PUSH OVERBURDEN FROM THIS GRAVEL MINING AREA INTO THE WASTE PLACEMENT STEP 1 EXISTING LOW AREA.

STEP 2: MINE GRAVEL FROM REMAINDER OF PHASE 1 AREA AND SIDE SLOPES TO LIMITS SHOWN. OVERBURDEN FROM THIS GRAVEL MINING AREA TO BE PLACED PER INSTRUCTIONS FROM MSB CONSTRUCTION MANAGER.

STEP 3: MINE GRAVEL OUT OF PHASE 2 AREA.

**WASTE PLACEMENT SEQUENCING:**

STEP 1: PUSH OVERBURDEN FROM GRAVEL MINING STEP 1 AREA INTO THIS WASTE PLACEMENT EXISTING LOW AREA. FILL PHASE 1 BOTTOM AREA AS EXISTING GRAVEL IS REMOVED.

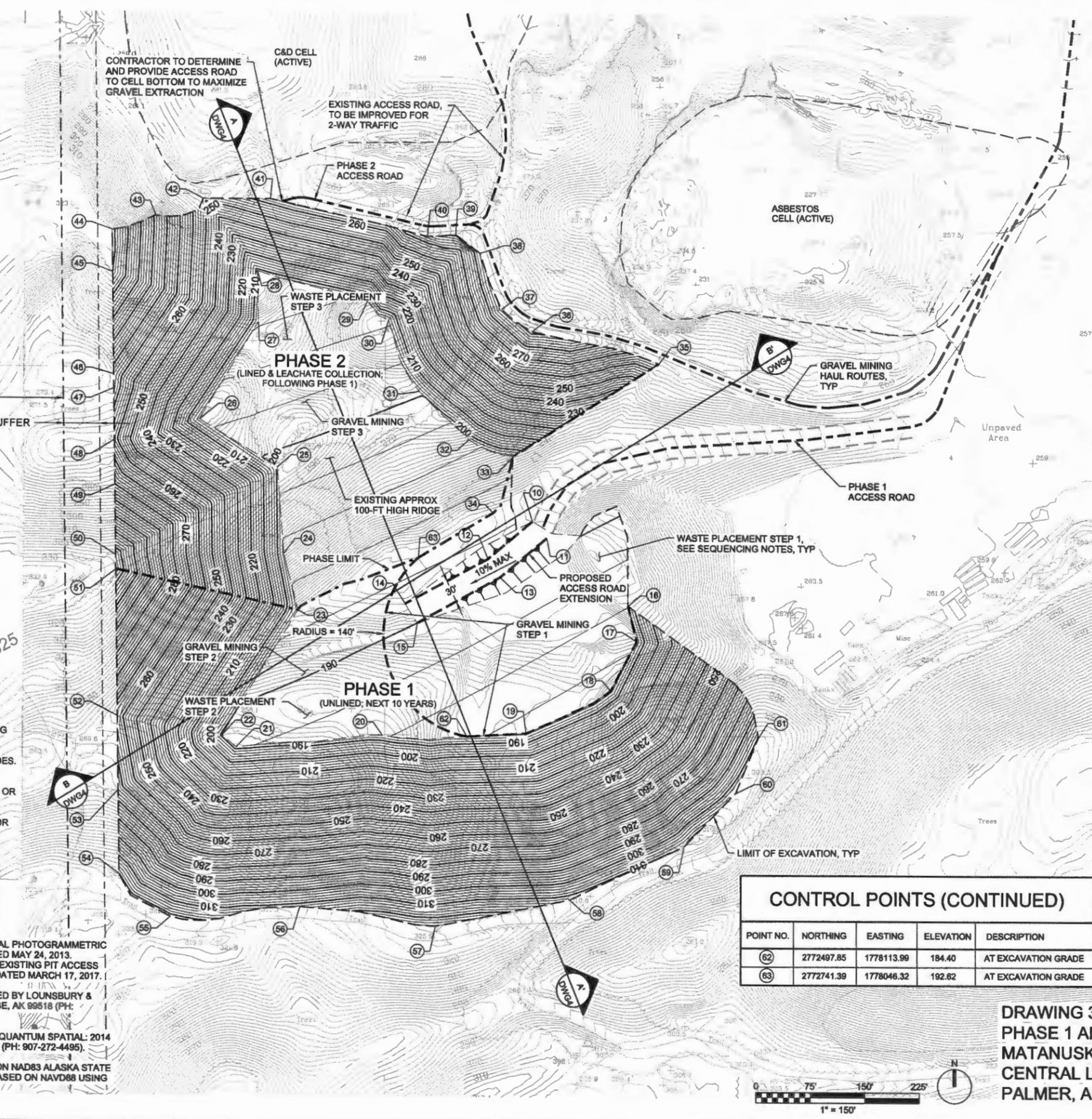
STEP 2: FILL REMAINDER OF PHASE 1 AREA FOLLOWING COMPLETION OF PHASE 1 MINING.

STEP 3: FILL PHASE 2 AREAS FOLLOWING COMPLETION OF MINING.

EXCAVATION SUMMARY	
	VOLUME (CY)
PHASE 1	450,000
PHASE 2	335,000

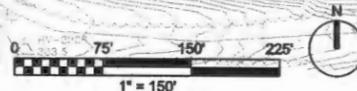
- NOTES:**
1. QUANTITIES PROVIDED ARE FOR ESTIMATING PURPOSES ONLY.
  2. CONTOURS SHOWN ARE EXCAVATION GRADES.
  3. EXCAVATION VOLUME IS IN-PLACE VOLUME AND DOES NOT ACCOUNT FOR SOIL SHRINK OR SWELL.
  4. EXCAVATION VOLUME ACCOUNTS FOR MINOR FILL AREAS SHOWN.

**BASIS OF BASEMAP:**  
 TOPOGRAPHIC BASEMAP COMPILED BY DIGITAL PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY DATED MAY 24, 2013. ADDITIONAL MAPPING HAS BEEN ADDED FOR EXISTING PIT ACCESS ROAD FROM SUPPLEMENTAL FIELD SURVEY DATED MARCH 17, 2017.  
 2017 SUPPLEMENTAL FIELD SURVEY PREPARED BY LOUNSBURY & ASSOCIATES, INC: 5300 A STREET, ANCHORAGE, AK 99518 (PH: 907-272-6461).  
 2013 TOPOGRAPHIC BASEMAP PREPARED BY QUANTUM SPATIAL: 2014 MERRILL FIELD DRIVE, ANCHORAGE, AK 99501 (PH: 907-272-4495).  
 COORDINATES SHOWN HEREON ARE BASED ON NAD83 ALASKA STATE PLANE ZONE 4. VERTICAL ELEVATIONS ARE BASED ON NAVD88 USING GEOID 12A.



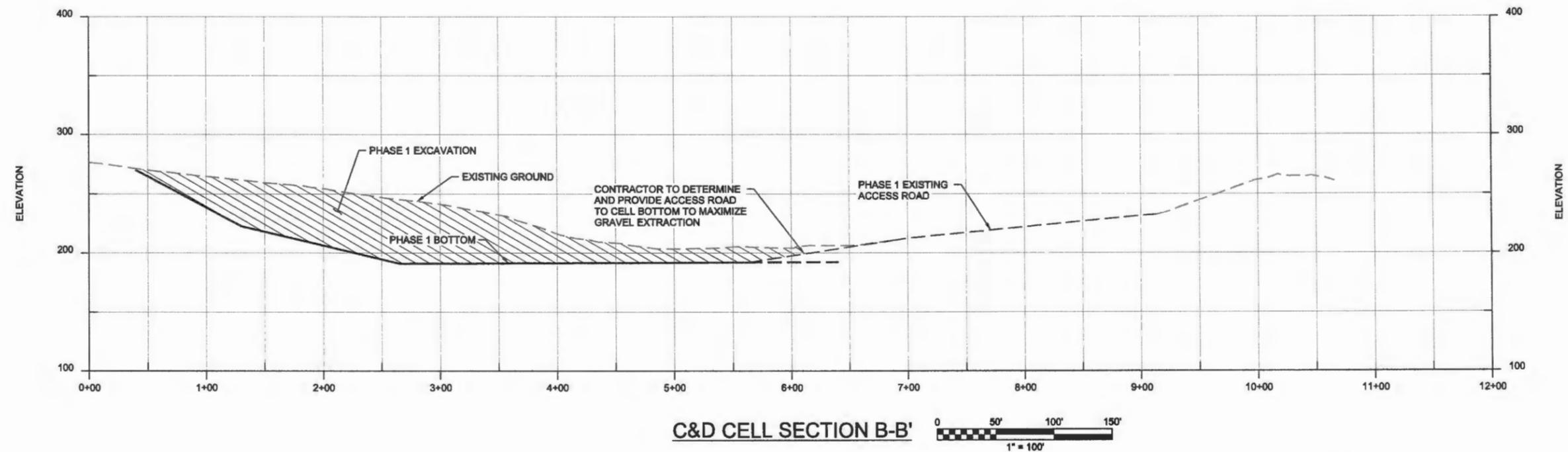
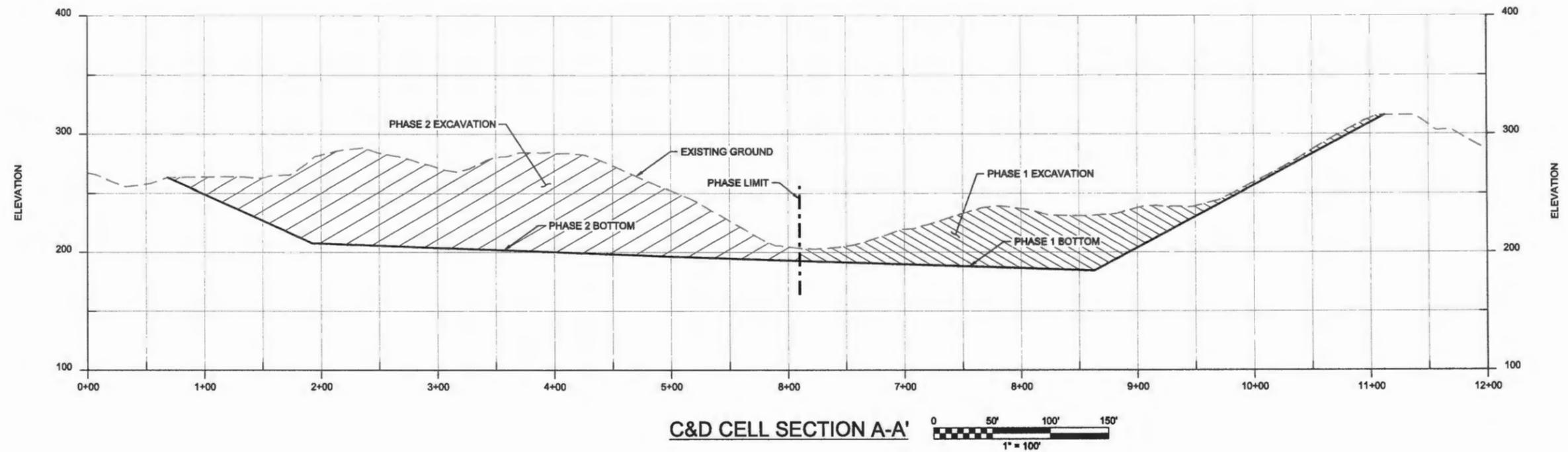
CONTROL POINTS				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
10	2772791.71	1778203.53	212.00	AT ROAD BREAKLINE
11	2772768.82	1778222.92	211.40	AT ROAD BREAKLINE
12	2772740.06	1778142.56	204.01	AT ROAD BREAKLINE
13	2772715.12	1778159.54	203.09	AT ROAD BREAKLINE
14	2772678.47	1778027.96	191.00	AT ROAD BREAKLINE
15	2772652.06	1778044.78	190.00	AT ROAD BREAKLINE
16	2772678.70	1778334.74	186.05	AT EXCAVATION GRADE
17	2772628.07	1778347.05	184.37	AT EXCAVATION GRADE
18	2772560.51	1778311.07	182.87	AT EXCAVATION GRADE
19	2772502.29	1778195.13	183.23	AT EXCAVATION GRADE
20	2772498.83	1777997.03	186.20	AT EXCAVATION GRADE
21	2772482.13	1777795.36	188.26	AT EXCAVATION GRADE
22	2772498.23	1777776.12	189.04	AT EXCAVATION GRADE
23	2772668.92	1777880.21	192.85	AT EXCAVATION GRADE
24	2772746.45	1777880.36	195.34	AT EXCAVATION GRADE
25	2772864.69	1777851.85	199.23	AT EXCAVATION GRADE
26	2772929.26	1777743.72	202.80	AT EXCAVATION GRADE
27	2773062.22	1777824.87	206.19	AT EXCAVATION GRADE
28	2773132.00	1777823.54	208.74	AT EXCAVATION GRADE
29	2773091.81	1777975.22	205.58	AT EXCAVATION GRADE
30	2773068.27	1778004.89	204.33	AT EXCAVATION GRADE
31	2772968.85	1778047.17	200.29	AT EXCAVATION GRADE
32	2772903.35	1778115.90	196.68	AT EXCAVATION GRADE
33	2772881.10	1778176.80	194.83	AT EXCAVATION GRADE
34	2772803.11	1778149.65	192.95	AT EXCAVATION GRADE
35	2773007.86	1778377.19	266.00	AT EXCAVATION GRADE
36	2773051.30	1778202.31	291.87	AT EXCAVATION GRADE
37	2773081.58	1778180.85	289.16	AT EXCAVATION GRADE
38	2773157.84	1778130.74	284.20	AT EXCAVATION GRADE
39	2773182.43	1778097.04	280.75	AT EXCAVATION GRADE
40	2773178.84	1778057.48	275.20	AT EXCAVATION GRADE
41	2773228.85	1777840.63	283.84	AT EXCAVATION GRADE
42	2773228.85	1777748.12	252.00	AT EXCAVATION GRADE
43	2773208.49	1777882.44	288.87	AT EXCAVATION GRADE
44	2773186.70	1777822.70	322.00	AT EXCAVATION GRADE
45	2773129.80	1777823.49	320.00	AT EXCAVATION GRADE
46	2772989.99	1777825.41	278.00	AT EXCAVATION GRADE
47	2772971.00	1777825.67	274.82	AT EXCAVATION GRADE
48	2772900.87	1777828.84	282.00	AT EXCAVATION GRADE
49	2772839.25	1777827.48	280.00	AT EXCAVATION GRADE
50	2772743.27	1777828.80	324.00	AT EXCAVATION GRADE
51	2772723.43	1777829.07	326.00	AT EXCAVATION GRADE
52	2772524.29	1777831.81	284.00	AT EXCAVATION GRADE
53	2772422.53	1777833.21	274.00	AT EXCAVATION GRADE
54	2772307.84	1777834.79	320.00	AT EXCAVATION GRADE
55	2772250.10	1777704.98	321.84	AT EXCAVATION GRADE
56	2772264.57	1777883.38	312.38	AT EXCAVATION GRADE
57	2772236.84	1778070.20	326.39	AT EXCAVATION GRADE
58	2772275.81	1778254.94	312.00	AT EXCAVATION GRADE
59	2772348.86	1778412.37	309.84	AT EXCAVATION GRADE
60	2772422.57	1778484.18	303.15	AT EXCAVATION GRADE
61	2772498.40	1778515.81	300.34	AT EXCAVATION GRADE

CONTROL POINTS (CONTINUED)				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
62	2772497.85	1778113.99	184.40	AT EXCAVATION GRADE
63	2772741.39	1778046.32	192.62	AT EXCAVATION GRADE



**DRAWING 3**  
 PHASE 1 AND 2 GRAVEL EXTRACTION  
 MATANUSKA-SUSITNA BOROUGH  
 CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN  
 PALMER, ALASKA





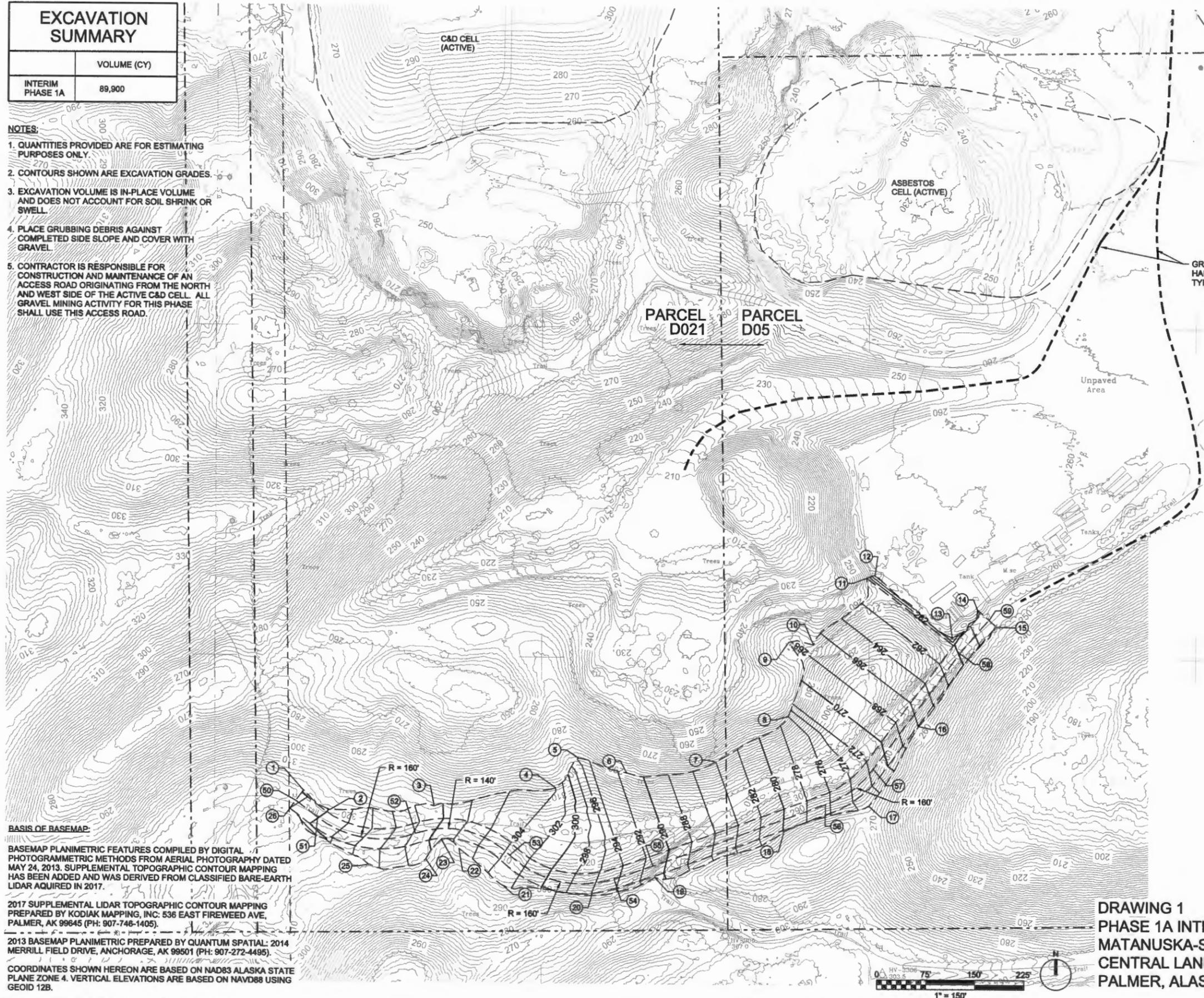
DRAWING 4  
 SECTIONS  
 MATANUSKA-SUSITNA BOROUGH  
 CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN  
 PALMER, ALASKA

EXCAVATION SUMMARY	
	VOLUME (CY)
INTERIM PHASE 1A	89,900

**NOTES:**

1. QUANTITIES PROVIDED ARE FOR ESTIMATING PURPOSES ONLY.
2. CONTOURS SHOWN ARE EXCAVATION GRADES.
3. EXCAVATION VOLUME IS IN-PLACE VOLUME AND DOES NOT ACCOUNT FOR SOIL SHRINK OR SWELL.
4. PLACE GRUBBING DEBRIS AGAINST COMPLETED SIDE SLOPE AND COVER WITH GRAVEL.
5. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF AN ACCESS ROAD ORIGINATING FROM THE NORTH AND WEST SIDE OF THE ACTIVE C&D CELL. ALL GRAVEL MINING ACTIVITY FOR THIS PHASE SHALL USE THIS ACCESS ROAD.

CONTROL POINTS			
POINT NO.	NORTHING	EASTING	ELEVATION
1	2772295.71	1777637.08	321.08
2	2772266.55	1777677.35	319.91
3	2772273.52	1777838.72	310.74
4	2772302.72	1778021.98	304.00
5	2772347.51	1778057.00	295.55
6	2772325.33	1778130.39	291.19
7	2772342.86	1778265.96	284.00
8	2772412.49	1778376.39	278.00
9	2772524.48	1778376.51	268.17
10	2772520.59	1778414.82	267.09
11	2772621.78	1778495.88	260.11
12	2772626.56	1778508.93	266.61
13	2772532.18	1778627.48	264.50
14	2772575.04	1778665.99	261.64
15	2772548.94	1778694.99	256.03
16	2772398.35	1778576.48	266.00
17	2772276.98	1778500.03	273.14
18	2772236.89	1778369.88	280.00
19	2772167.78	1778173.75	290.80
20	2772139.65	1778077.05	296.00
21	2772153.86	1777942.48	302.50
22	2772206.71	1777874.84	307.44
23	2772222.97	1777848.25	309.00
24	2772193.22	1777824.31	310.56
25	2772184.48	1777736.57	314.72
26	2772268.17	1777616.23	322.00
50	2772280.13	1777825.29	322.30
51	2772255.00	1777658.80	320.09
52	2772 231.57	1777808.33	311.74
53	2772198.83	1777952.37	303.52
54	2772165.06	1778111.34	294.49
55	2772164.60	1778170.64	291.18
56	2772279.09	1778432.98	276.43
57	2772333.08	1778506.57	271.53
58	2772508.92	1778639.38	259.87
59	2772558.97	1778683.64	256.33



**BASIS OF BASEMAP:**  
 BASEMAP PLANIMETRIC FEATURES COMPILED BY DIGITAL PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY DATED MAY 24, 2013. SUPPLEMENTAL TOPOGRAPHIC CONTOUR MAPPING HAS BEEN ADDED AND WAS DERIVED FROM CLASSIFIED BARE-EARTH LIDAR ACQUIRED IN 2017.  
 2017 SUPPLEMENTAL LIDAR TOPOGRAPHIC CONTOUR MAPPING PREPARED BY KODIAK MAPPING, INC. 536 EAST FIREWEED AVE. PALMER, AK 99645 (PH: 907-746-1405).  
 2013 BASEMAP PLANIMETRIC PREPARED BY QUANTUM SPATIAL: 2014 MERRILL FIELD DRIVE, ANCHORAGE, AK 99501 (PH: 907-272-4495).  
 COORDINATES SHOWN HEREON ARE BASED ON NAD83 ALASKA STATE PLANE ZONE 4. VERTICAL ELEVATIONS ARE BASED ON NAVD88 USING GEOID 12B.

**DRAWING 1**  
 PHASE 1A INTERIM GRAVEL EXTRACTION  
 MATANUSKA-SUSITNA BOROUGH  
 CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN  
 PALMER, ALASKA



EXCAVATION SUMMARY	
	VOLUME (CY)
PHASE 1A	253,800

**NOTES**

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5. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF AN ACCESS ROAD ORIGINATING FROM THE NORTH AND WEST SIDE OF THE ACTIVE C&D CELL. ALL GRAVEL MINING ACTIVITY FOR THIS PHASE SHALL USE THIS ACCESS ROAD.

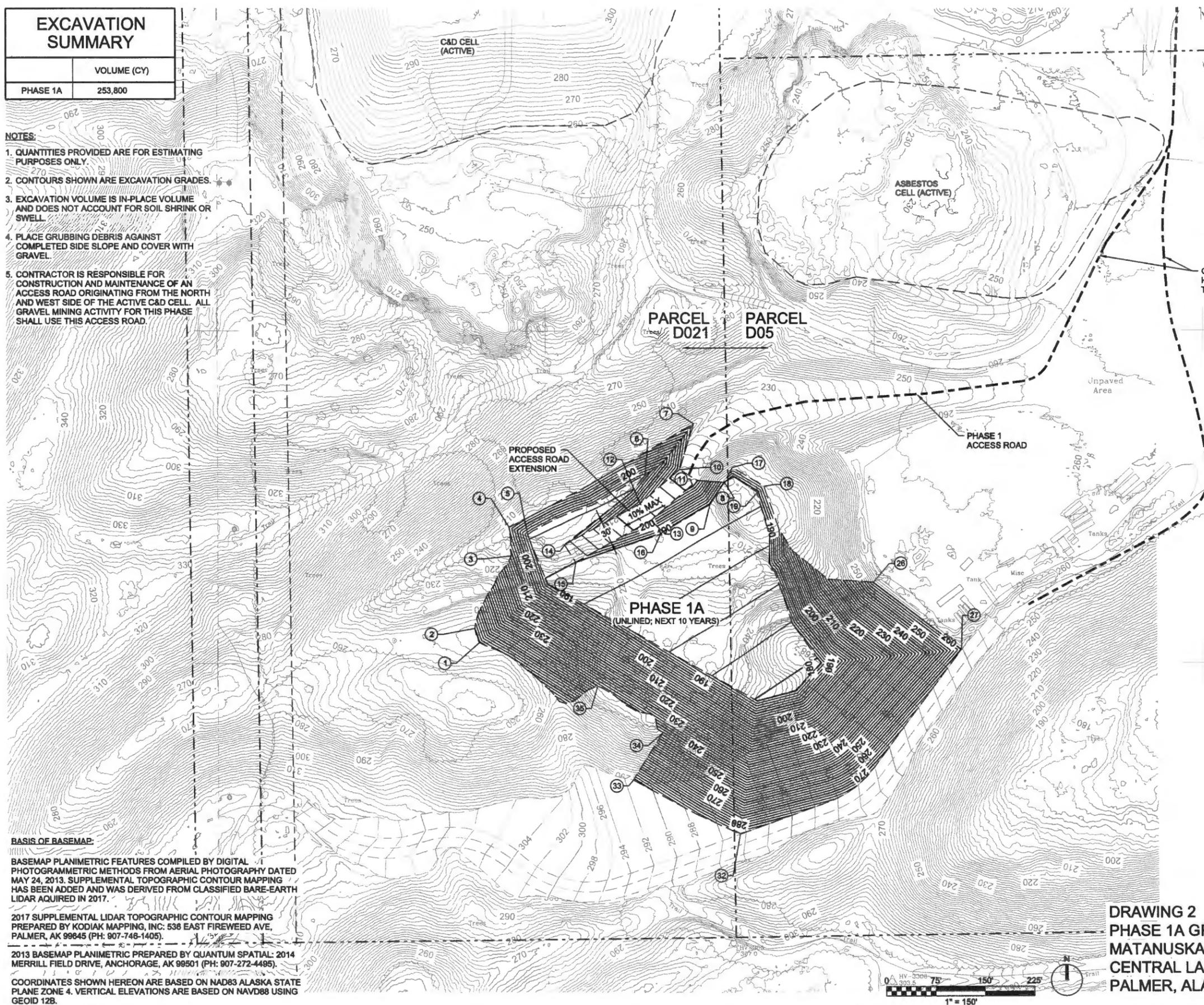
**BASIS OF BASEMAP:**

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2013 BASEMAP PLANIMETRIC PREPARED BY QUANTUM SPATIAL: 2014 MERRILL FIELD DRIVE, ANCHORAGE, AK 99501 (PH: 907-272-4485).

COORDINATES SHOWN HEREON ARE BASED ON NAD83 ALASKA STATE PLANE ZONE 4. VERTICAL ELEVATIONS ARE BASED ON NAVD88 USING GEOID 12B.



**CONTROL POINTS**

POINT NO.	NORTHING	EASTING	ELEVATION
1	2772531.84	1777898.08	280.28
2	2772552.90	1777891.70	259.83
3	2772661.86	1777947.05	211.01
4	2772704.81	1777843.89	206.02
5	2772693.57	1777971.85	192.23
6	2772781.82	1778150.24	192.31
7	2772860.56	1778225.30	218.00
8	2772772.36	1778170.81	189.99
9	2772738.55	1778248.58	189.36
10	2772791.71	1778203.53	212.00
11	2772768.82	1778222.92	211.40
12	2772740.06	1778142.56	204.01
13	2772715.12	1778159.54	203.09
14	2772878.47	1778027.96	191.00
15	2772652.08	1778044.78	190.00
16	2772694.87	1778173.87	189.31
17	2772786.56	1778330.35	198.00
18	2772766.56	1778330.35	198.00
19	2772892.47	1778338.94	186.47
26	2772821.78	1778465.88	280.11
27	2772520.82	1778629.57	280.11
32	2772243.88	1778291.42	284.52
33	2772325.33	1778130.39	291.19
34	2772396.73	1778175.90	244.09
35	2773186.70	1777622.70	239.87

**DRAWING 2**  
**PHASE 1A GRAVEL EXTRACTION**  
**MATANUSKA-SUSITNA BOROUGH**  
**CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN**  
**PALMER, ALASKA**



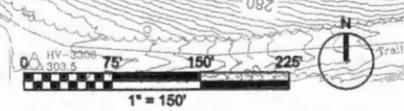
EXCAVATION SUMMARY	
	VOLUME (CY)
PHASE 1B	313,300

- NOTES:**
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  4. PLACE GRUBBING DEBRIS AGAINST COMPLETED SIDE SLOPE AND COVER WITH GRAVEL.
  5. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF AN ACCESS ROAD ORIGINATING FROM THE NORTH AND WEST SIDE OF THE ACTIVE C&D CELL. ALL GRAVEL MINING ACTIVITY FOR THIS PHASE SHALL USE THIS ACCESS ROAD.

CONTROL POINTS			
POINT NO.	NORTHING	EASTING	ELEVATION
1	2772723.43	1777629.07	326.00
2	2772667.73	1777871.64	216.00
3	2772704.61	1777943.89	206.02
4	2772693.57	1777871.85	192.23
5	2772619351	1777849.80	191.81
6	2772498.23	1777776.12	189.04
7	2772471.18	1777798.77	187.92
8	2772385.06	1778097.65	181.74
9	2772443.97	1778318.57	180.00
10	2772243.88	1778291.42	284.52
11	2772179.06	1778105.42	295.13
12	2772191.38	1777989.89	301.59
13	2772227.34	1777941.90	304.82
14	2772250.02	1777817.86	311.83
15	2772548.94	1777634.35	322.80



**BASIS OF BASEMAP:**  
 BASEMAP PLANIMETRIC FEATURES COMPILED BY DIGITAL PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY DATED MAY 24, 2013. SUPPLEMENTAL TOPOGRAPHIC CONTOUR MAPPING HAS BEEN ADDED AND WAS DERIVED FROM CLASSIFIED BARE-EARTH LIDAR ACQUIRED IN 2017.  
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 2013 BASEMAP PLANIMETRIC PREPARED BY QUANTUM SPATIAL: 2014 MERRILL FIELD DRIVE, ANCHORAGE, AK 99501 (PH: 907-272-4495).  
 COORDINATES SHOWN HEREON ARE BASED ON NAD83 ALASKA STATE PLANE ZONE 4. VERTICAL ELEVATIONS ARE BASED ON NAVD88 USING GEOID 12B.

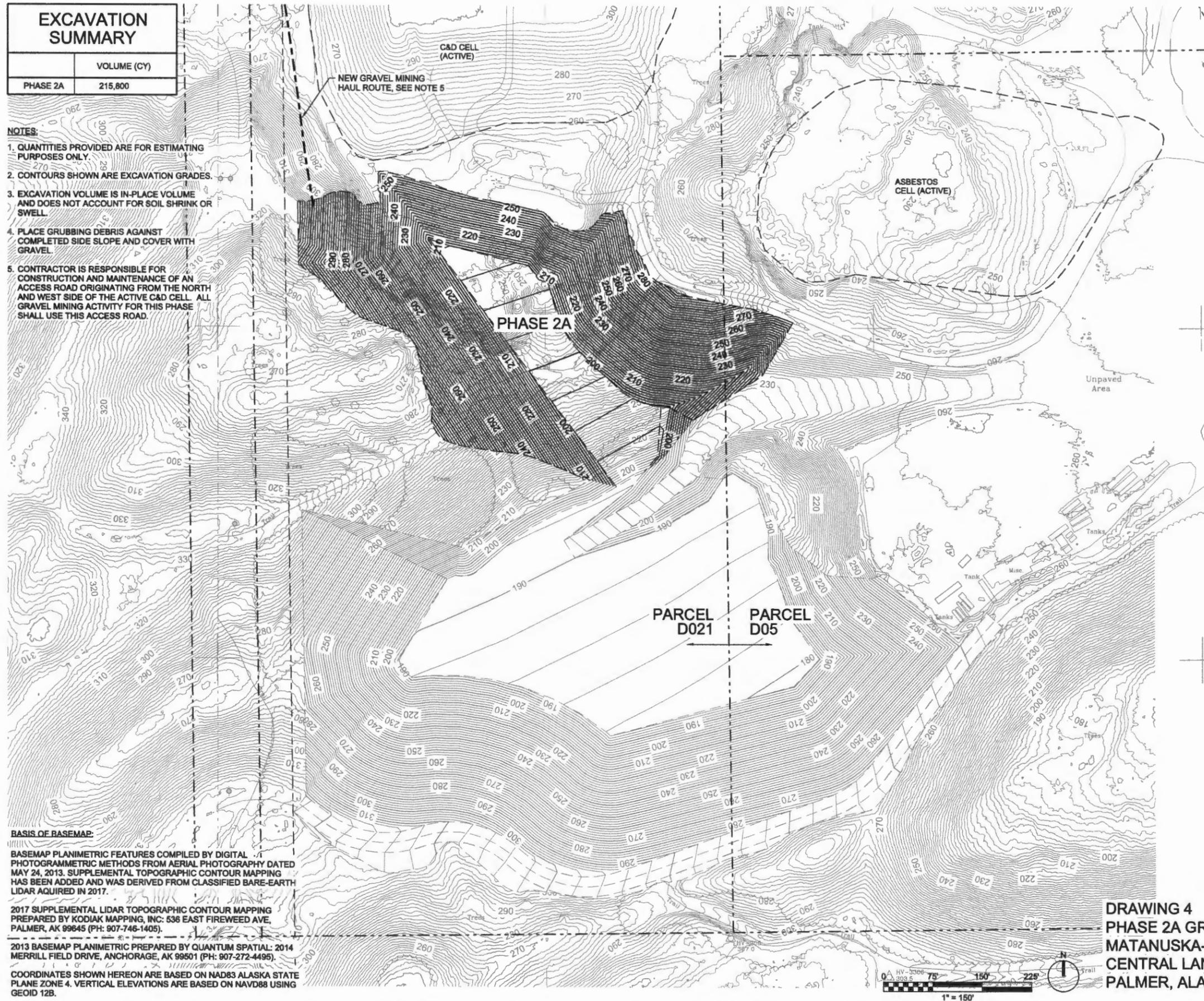


**DRAWING 3**  
 PHASE 1B GRAVEL EXTRACTION  
 MATANUSKA-SUSITNA BOROUGH  
 CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN  
 PALMER, ALASKA



EXCAVATION SUMMARY	
	VOLUME (CY)
PHASE 2A	215,800

- NOTES:**
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  4. PLACE GRUBBING DEBRIS AGAINST COMPLETED SIDE SLOPE AND COVER WITH GRAVEL.
  5. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF AN ACCESS ROAD ORIGINATING FROM THE NORTH AND WEST SIDE OF THE ACTIVE C&D CELL. ALL GRAVEL MINING ACTIVITY FOR THIS PHASE SHALL USE THIS ACCESS ROAD.



**BASIS OF BASEMAP:**

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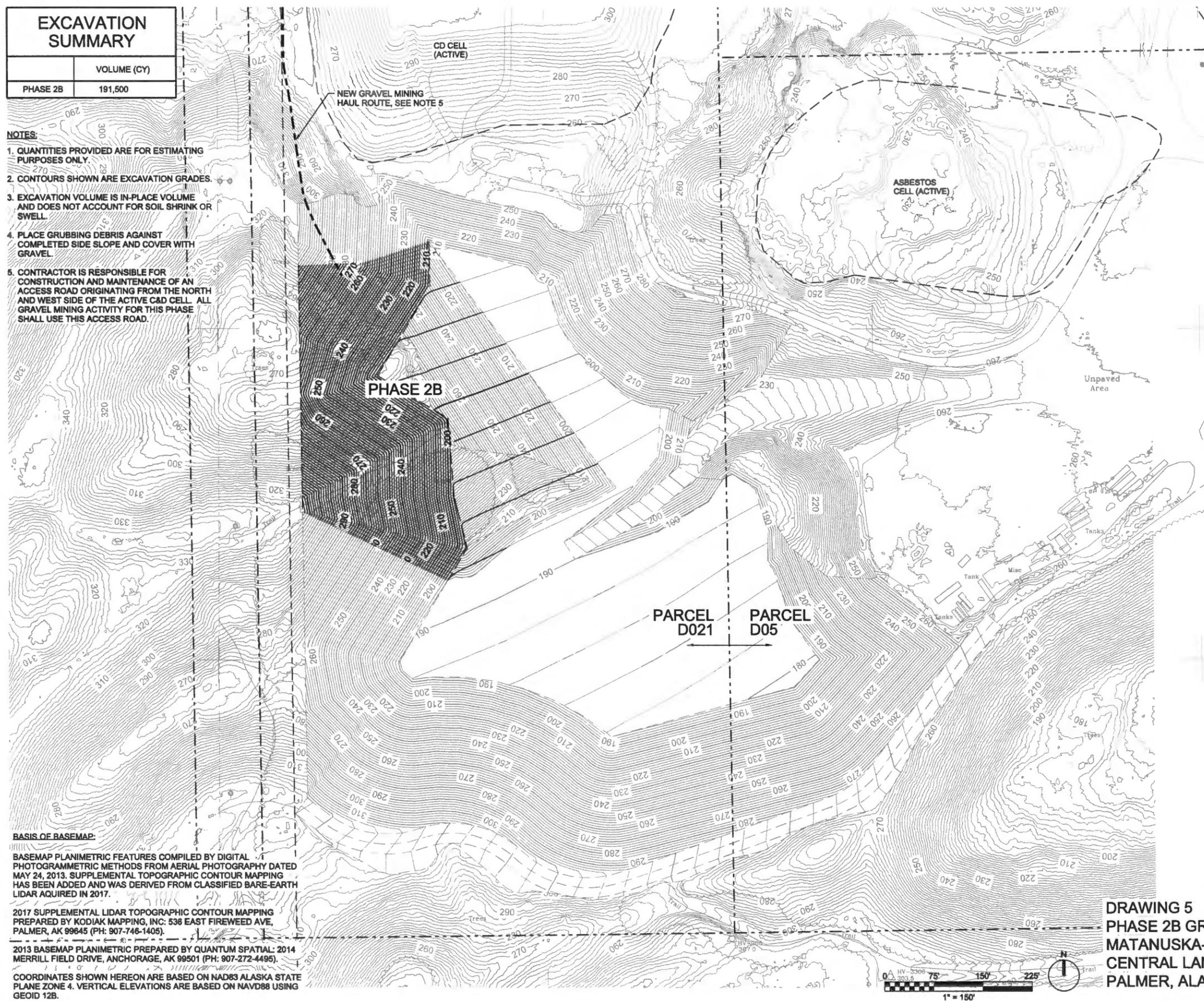
**DRAWING 4**  
PHASE 2A GRAVEL EXTRACTION  
MATANUSKA-SUSITNA BOROUGH  
CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN  
PALMER, ALASKA



EXCAVATION SUMMARY	
	VOLUME (CY)
PHASE 2B	191,500

NOTES:

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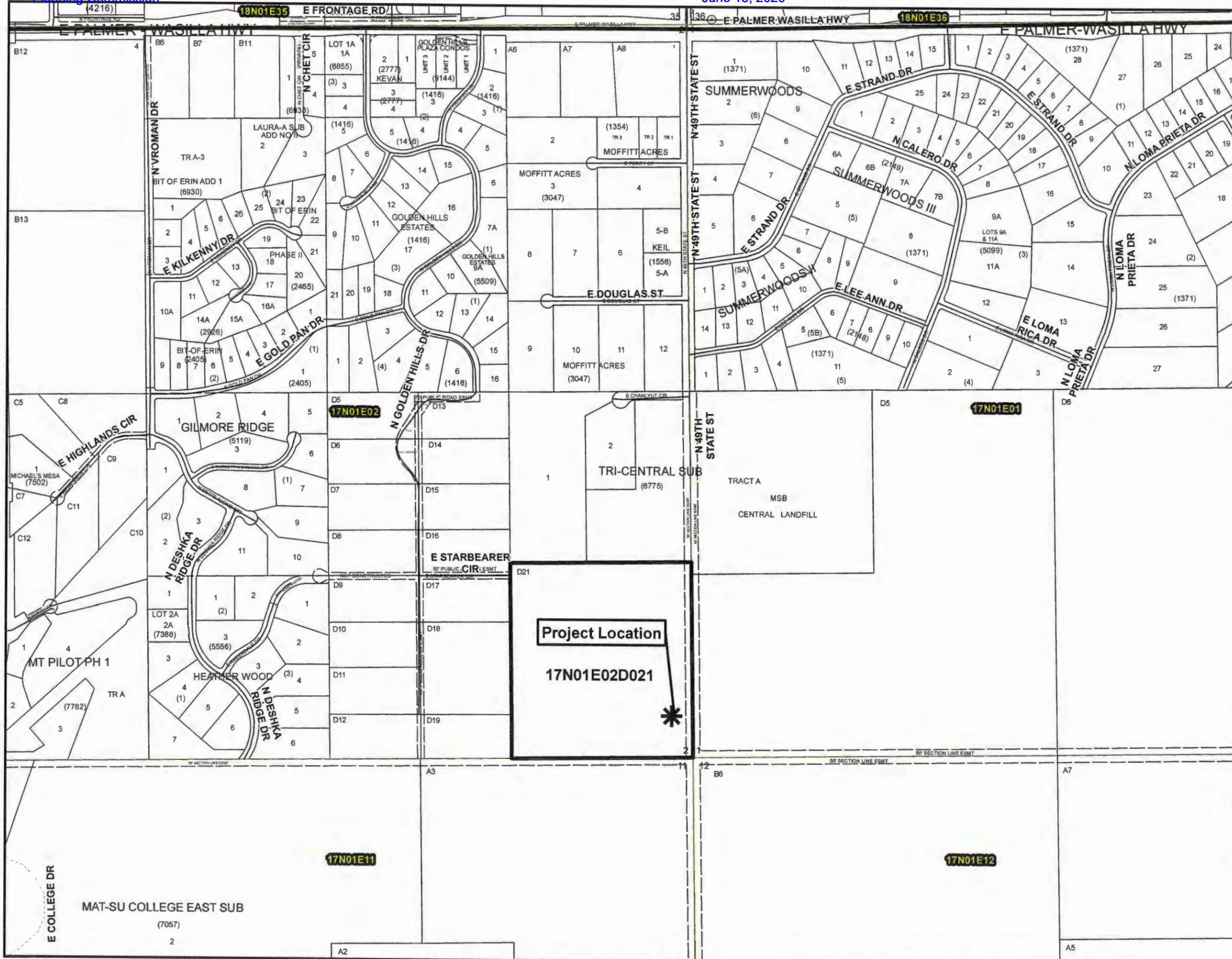
2017 SUPPLEMENTAL LIDAR TOPOGRAPHIC CONTOUR MAPPING PREPARED BY KODIAK MAPPING, INC: 536 EAST FIREWEED AVE, PALMER, AK 99645 (PH: 907-746-1405).

2013 BASEMAP PLANIMETRIC PREPARED BY QUANTUM SPATIAL: 2014 MERRILL FIELD DRIVE, ANCHORAGE, AK 99501 (PH: 907-272-4495).

COORDINATES SHOWN HEREON ARE BASED ON NAD83 ALASKA STATE PLANE ZONE 4. VERTICAL ELEVATIONS ARE BASED ON NAVD88 USING GEOID 12B.

**DRAWING 5**  
**PHASE 2B GRAVEL EXTRACTION**  
**MATANUSKA-SUSITNA BOROUGH**  
**CENTRAL LANDFILL C&D GRAVEL EXTRACTION PLAN**  
**PALMER, ALASKA**





Matanuska - Susitna Borough  
Land and Resource  
Management Division

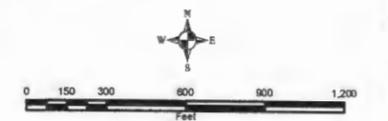
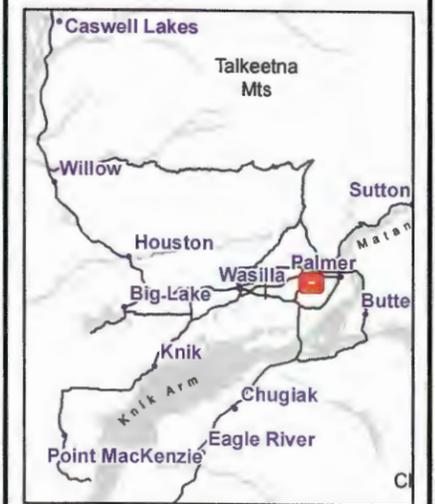


Central Landfill  
Material Extraction

CUP Application  
Vicinity Map Exhibit 1

Construction and  
Demolition Cell

 Subject Parcel D021



Date: May 2020  
Sources: MSB GIS, MSS LRMD, AK DOT  
Projection: NAD 83 AK ST PLN Z4  
Location: MSB  
Author: MSB LRMD

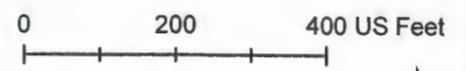


### Exhibit 2: Site Map

- Interim Materials District
- Access Route
- Phase 1A
- Phase 1B
- Phase 2A
- Phase 2B
- Contours - 25ft
- Contours - 5ft
- Contours Extent
- Central Landfill Parcels
- C and D Cells

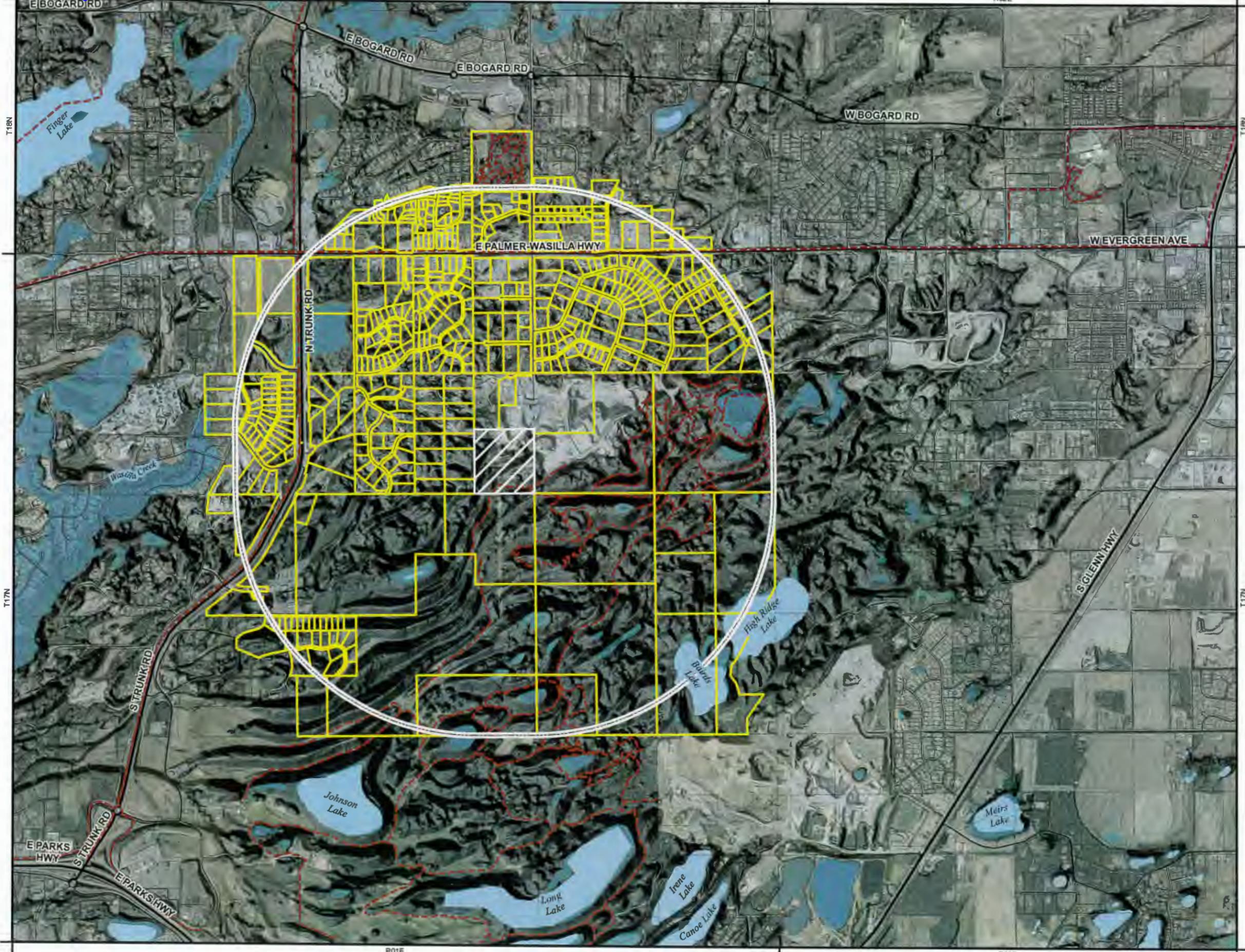


Imagery Sources:  
 19-110 Landfill C and D Ortho  
 2019 Borough Aerial Imagery



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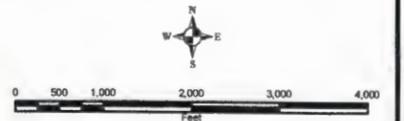
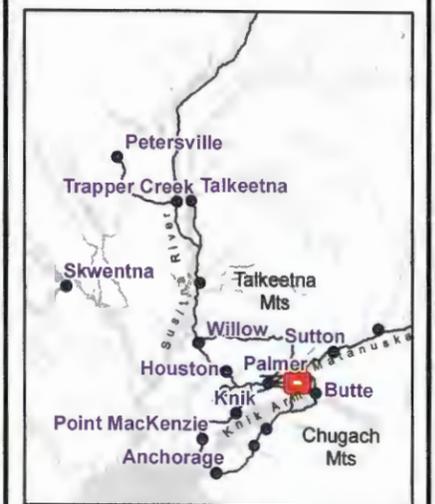


**Matanuska - Susitna Borough  
Land and Resource  
Management Division**



**Matanuska-Susitna Borough  
Central Landfill IMD  
Wetland and Properties Map  
MSB #007049**

- MSB TRAILS
- CENTRAL LANDFILL PARCEL
- 1 MILE RADIUS
- PARCELS WITHIN 1 MILE
- WETLANDS



Date: May, 2017  
Sources: MSB GIS, MSB LRMD, AK DOT  
Projection: NAD 83 AK ST PLN Z4  
Location: MSB  
Author: MSB LRMD

## **AGENCY & STAFF REPORTS**

### **Lake Management Plan Amendments Presentation**

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## **AGENCY & STAFF REPORTS**



SUMMARY OF ORDINANCE 20-065 LAKE MANAGEMENT PLAN AMENDMENTS

CURRENT PROCESS		PROPOSED NEW PROCESS	
<p>Title 15 – Planning</p> <p>All Plans live here. They contain goals/recommendations but are not enforceable regulations</p>	<p>41 Existing individual Lake Plans live here (15.24.030(C)). No Borough-Wide Lake Mgmt. Plan</p> <p>Every time property owners want a new plan or to amend existing regulations, they must go through a lengthy process of first amending or creating a plan.</p> <p><b>Current Process to amend existing or initiate a new lake plan: (15.24.031)</b></p> <ul style="list-style-type: none"> <li>• Submit written request</li> <li>• Planning provides them with a list of property owners, they must obtain signatures of owners of at least 50% of parcels within 600 feet of the shoreline.</li> <li>• If they submit a valid petition, it goes to a ballot.</li> <li>• Ballot is provided to all property owners within 600 feet of the shoreline. If a majority of ballots returned are in favor, it goes to the next step.</li> <li>• Public Notification</li> <li>• Public Meetings (at least 3)</li> <li>• Staff conducts research and drafts plan and regulations based on public input from the meetings and assembly guidelines (approx. 2-3 months)</li> <li>• One more meeting at least</li> <li>• Public review</li> <li>• 2 planning commission meetings (plan and regulations go thru together)</li> <li>• 2 assembly meetings (plan and regulations go thru together)</li> </ul> <p><b>This process will move to Title 17, with a simpler process, minus the public meetings and requirement for staff to create a new plan, shown in yellow.</b></p>	<p>Title 15 – Planning</p>	<p>The <b>NEW</b> MSB Borough-Wide Lake Management Plan will live here (15.24.030(C)). It will eliminate the need to update or create any new individual plans. Adoption of this plan will NOT implement any new regulations.</p> <p><b>Existing Lake Plans will remain here</b>, but from this point forward, any regulations will be added/deleted/ changed by a simpler process. Only the regulations in Title 17 Zoning will be changed, by a petition process, shown below.</p>
<p>Title 17 – Zoning</p> <p>All zoning regulations live here. Enforceable zoning regulations are one way to “implement” the goals in the plans.</p>	<p>This is where some of the goals and recommendations in the plan are implemented, or made into enforceable regulations.</p> <p>Existing regulations for all lakes are in 17.58 and 17.59.</p>	<p>Title 17 - Zoning</p>	<p><b>Proposed New Process to amend existing or initiate new lake regulations (moved from 15.24.031, to 17.59). Existing regulations for lakes will remain unchanged):</b></p> <ul style="list-style-type: none"> <li>• Submit written request</li> <li>• Planning provides them with a list of property owners, they must obtain signatures of owners of at least 50% of parcels within 600 feet of the shoreline.</li> <li>• If they submit a valid petition, it goes to a ballot.</li> <li>• Ballot is provided to all property owners within 600 feet of the shoreline. If a majority of ballots returned are in favor, it goes to the next step.</li> <li>• Public Notification</li> <li>• 2 planning commission meetings (only changes to regulations)</li> <li>• 2 assembly meetings (only changes to regulations)</li> </ul>

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**AGENCY & STAFF REPORTS**  
Wetlands Management Presentation

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**AGENCY & STAFF REPORTS**





# MATANUSKA-SUSITNA BOROUGH

## Planning and Land Use Department

### Planning Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7833

<http://www.matsugov.us> • [planning@matsugov.us](mailto:planning@matsugov.us)

**Date:** 3 June 2020

**Re:** Wetland Background Links for Planning Commission Meeting on June 15<sup>th</sup>

Here are critical background materials for understanding wetlands as a context for considering a local wetlands management ordinance for the Matanuska-Susitna Borough. I would advise PC members to scan these materials prior to the June 15 PC meeting, and complete a full reading of them by August. These materials will provide useful background for further discussion of wetland management options in the MSB. Thank you.

**1. MSB Wetlands Web Page-** <https://www.matsugov.us/environment/wetlands>

This page gives a brief overview of wetlands in the MSB, including a GIS map showing where wetlands can be found here.

**2. MSB Wetland Management Plan-** <https://www.matsugov.us/plans/wetlands-management-plan>

This 2012 adopted MSB plan is a thorough and readable background plan on what wetlands are and how they add to the quality of life here. It also correlates MSB wetland management options with other adopted MSB plans.

**3. 19 March 2019 Special MSB Assembly meeting on wetlands-**

<https://matanuska.legistar.com/MeetingDetail.aspx?ID=674423&GUID=BB8D2C79-4ECB-44AD-8C8F-6094C2C15B74>

This 2.5 hour special meeting included five professional presentations on wetland mitigation issues in the MSB. The recorded video can be watched and the presentations downloaded for viewing.

*Providing Outstanding Borough Services to the Matanuska-Susitna Community*

***Ted Eischeid, Planner II***

*Supporting Environmental Planning and the MSB Fish & Wildlife Commission.*

[Ted.eischeid@matsugov.us](mailto:Ted.eischeid@matsugov.us) Ph. 907.861-8606, Cell 795-6281

**4. 6 August 2019 Regular Assembly Action on RS 19-074-**

<https://matanuska.legistar.com/LegislationDetail.aspx?ID=4074156&GUID=E5BD7FA9-1EC9-453B-AF4B-740F320FBAA7>

The MSB Assembly passed this resolution registering their support for exploring supplemental wetland mitigation for large projects that that require United USACE approval. The packet for this resolution includes a concurring resolution from the MSB Fish and Wildlife Commission (FWC 19-03) dated 5/16/2019, and IM 2019-138.

**5. USACE Brochure: Mitigation in Alaska for Regulatory Permitted Activities-**

<https://www.poa.usace.army.mil/portals/34/docs/regulatory/Mitigation%20Brochure.pdf>

This describes the type of permits that the USACE issues and the mitigation sequence and actions.

**6. American Planning Association Policy Guide on Wetlands-**

<https://www.planning.org/policy/guides/adopted/wetlands.htm>

This document provides a history of and overview for wetland management from a planning perspective.

**7. M. Gracz Study: Wetland Loss Assessment by Wetland Type and Watershed in an Expanded Core Area of the Matanuska-Susitna Borough-**

<https://kenaiwatershed.org/wp-content/uploads/2020/03/MatSuWetlandLoss2018.pdf>

2018 study documenting wetland losses by type and extent in the MSB.

**PUBLIC HEARING  
QUASI-JUDICIAL**

**Resolution No. PC 20-17**

**Jane Weltzin & Country Cannabis, LLC**  
2323 S. Trunk Road, Suite #3

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**PUBLIC HEARING**



# **STAFF REPORT**



# MATANUSKA-SUSITNA BOROUGH

**Planning and Land Use Department**

**Development Services Division**

350 East Dahlia Avenue • Palmer, AK 99645

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www.matsugov.us

## DEVELOPMENT SERVICES DIVISION STAFF REPORT

**Date:** June 3, 2020

**File Number:** 176020200004

**Applicant:** Jana Weltzin, on behalf of Country Cannabis, LLC

**Property Owner:** Douglas Olson

**Request:** Planning Commission Resolution 20-17  
 Conditional Use Permit for the operation of a marijuana retail facility in accordance with MSB Chapter 17.60 – Conditional Uses

**Location:** 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A); within Township 17 North, Range 1 East, Section 16, Seward Meridian

**Size of Facility:** 1,860 Square Feet

**Reviewed By:** Eileen Probasco, Planning & Land Use Director  
 Alex Strawn, Development Services Manager

**Staff:** Mark Whisenhunt, Planner II *(Signature)*

**Staff Recommendation:** Approval with conditions

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### EXECUTIVE SUMMARY

A conditional use permit application has been submitted for the operation of a marijuana retail facility. The applicant is proposing to operate the facility in a commercial structure approximately 1,860 square feet in size. MSB 17.60.030 requires a conditional use permit for the operation of a marijuana retail facility. Unless this type of use is maintained under and in accordance with a lawfully issued permit, a marijuana retail facility is declared to be a public nuisance. Operation of such a land use without a permit is prohibited.

## LAND USE

### Existing Land Use:

The subject parcel is approximately .88 acres in size and contains two historical colony barns. The barns have been remodeled and used commercially since at least 2005. Several different types of commercial businesses have been located at this property such as, a midwifery, specialty clothing store, coffee/sandwich shop, and more.

### Surrounding Land Uses:

The subject property is located approximately 200 feet southwest of the South Trunk Road and East Fireweed Road intersection (roundabout). It is located on top of a ridge and surrounded by the South Trunk Road right-of-way on three sides. Residential homes are located at the base of the ridge to the southeast. South Trunk Road fronts the property to the northwest. More commercial businesses are beyond Trunk Road to the north. The Parks Highway and its frontage roads are to the north and northeast.

## REVIEW OF APPLICABLE CRITERIA AND FINDINGS

### MSB 17.03 – Public Notification

On May 19, 2020 notices were mailed to all property owners within a 600-foot radius of the use. A total of 16 notices were mailed. The permit application notification was published in the May 20, 2020 issue of the *Frontiersman*. The application material was posted on the Borough web site for public review on May 15, 2020. The proposed use is within the Gateway Community Council (GCC) boundary and a notice was sent to the Council on May 19, 2020. Staff received one comment in opposition to the proposed use.

On March 31, 2020, Timothy Breeden the Treasurer of the Gateway Community Council, contacted our office in reference to the proposed use. He noted that he was organizing a “virtual” (online) meeting for the Community Council to conduct business. The meeting was held on April 29, 2020. On May 12, 2020 Mr. Breeden sent an email summarizing the meeting and noted the Council did not take action or a position on the proposed use. The referenced email accompanies this report.

## CORE AREA PERMIT IS NOT REQUIRED

### Section 17.61.020 Intent

*(A) This ordinance is intended to promote the positive effects of development while insuring the public health, safety, order, prosperity and general welfare of the core area by establishing a review process for commercial and industrial land use activities with the following impacts:*

*(1) Any commercial or industrial use that generates noise beyond the boundaries of the lot line of the site on which it is located in excess of the levels permitted by MSB 17.61.080;*

### Findings of Fact:

1. The proposed retail facility will be wholly contained within the commercial structure approximately 1,860 square feet in size.

2. There is no industrial equipment or processes that generate noise associated with the proposed use.

**Conclusion of Law:** The use will not exceed sound levels set forth in MSB 17.61.080 and noise levels exceeding the levels in MSB 17.61.080 are prohibited. As such, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(1)).

---

*(2) Any commercial or industrial use that generates traffic in excess of 100 vehicles during the morning or afternoon peak hour, or more than a total of 750 vehicles per day (measured from 12 a.m. to 12 p.m.).*

**Findings of Fact:**

1. ITE Trip Generation 10<sup>th</sup> Edition indicates a “Marijuana Dispensary” 1000 square feet in size is expected to produce 29.93 trips per peak PM hour. The structure that will contain the proposed marijuana retail facility is approximately 1,860 square feet and based on these calculations is expected to produce approximately 56 trips per peak PM hour.
2. ITE Trip Generation 10<sup>th</sup> Edition indicates a “Marijuana Dispensary” 1000 square feet in size is expected to produce 259.31 trips per day. The structure that will contain the proposed marijuana retail facility is approximately 1,860 square feet and based on these calculations is expected to produce approximately 483 trips per day.

**Conclusion of Law:** Based on the above findings, since the use will not exceed 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles a day, as specified in MSB 17.61.090, Traffic Standards, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(2)).

---

*(3) Any commercial or industrial use involving processing, manufacturing, or storage of hazardous substances over thresholds established by federal or state community right-to-know laws and regulations (40 CFR 370, AS 29.35.500), any use which generates combustible dust produced in sufficient quantity to produce an explosion or combustion hazard, any use involving the storage and handling of combustible fiber in quantities greater than 100 cubic feet (2.8 m<sup>3</sup>), and any use which involves generation or management of more than 2,200 pounds of hazardous waste per month as defined by federal regulations (40 CFR 261, 262). Note that these facilities would also be subject to significant federal/state regulatory requirements. Among other obligations, facilities that exceed community right-to-know thresholds are required to submit annual reports to the state and to the local emergency planning committee (LEPC), and facilities that exceed hazardous waste limits are required to notify the environmental protection agency and comply with requirements for waste storage and disposal.*

**Finding of Fact:**

1. The proposed use will not be processing, manufacturing, or storing hazardous substances identified in MSB 17.61.020(A)(3).

**Conclusion of Law:** Since the proposed use will not be processing, manufacturing, or storing hazardous substances beyond the thresholds identified in MSB 17.61.020(A)(3), a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(3)).

---

(4) *Any use that generates contaminated water runoff or other discharges that are likely to violate state water quality standards or negatively impact groundwater or surface water quality beyond adjacent property lines.*

**Finding of Fact:**

1. The proposed use is commercial retail in nature and will not generate contaminated water runoff.

**Conclusion of Law:** The proposed use will not generate contaminated water runoff or other discharges that are likely to violate state water quality standards or negatively impact groundwater or surface water quality beyond adjacent property lines. As such, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(4)).

---

**Section 17.60.100 General Standards**

(A) *A conditional use may be approved only if it meets with the requirements of this section in addition to any other standards required by this chapter:*

(B) *In granting a conditional use permit, the planning commission must make the following findings:*

(1) *the conditional use will preserve or not detract from the value, character, and integrity of the surrounding area;*

**Findings of Fact:**

1. The proposed retail facility will be wholly contained within a commercial structure approximately 1,860 square feet in size.
2. The proposed use will be located in one of two colony barns located on the property, which have been remodeled to accommodate commercial uses.
3. The subject property has been used commercially since at least 2005.
4. The subject property is located approximately 200 feet southwest of the South Trunk Road and East Fireweed Road intersection (roundabout). It is located on top of a ridge and surrounded by the South Trunk Road right-of-way on three sides. Residential homes are located at the base of the ridge to the southeast. South Trunk Road fronts the property to the northwest. More commercial businesses are beyond Trunk Road to the north. The Parks Highway and its frontage roads are to the north and northeast.
5. The property is located in the Core Area; however, there are no other specific zoning designations for this parcel.
6. The proposed use accesses South Trunk Road from an existing, Borough permitted driveway.
7. The closest residential structure is located to the southeast and is approximately 140 feet away from the proposed use.
8. The application material indicates an illuminated sign will be installed on the north side of the proposed facility and will not interfere with any of the residential homes in the area.
9. The proposed hours of operation are 8:00 a.m. until 12:00 a.m., daily.

10. According to the application material, the proposed use is located approximately 51 feet from the South Trunk Road right-of-way to the northwest, approximately 171 feet to the southwest, approximately 59 feet to the northeast, and approximately 40 feet to the property line to the southeast.
11. According to the application material, lighting associated with the proposed use will be shielded and downward directional to minimize unwanted from leaving the subject property.
12. Consumption of marijuana is prohibited at the site.
13. Persons under the age of 21 are prohibited from entering the facility.
14. According to the application material, loitering will not be allowed.

**Discussion:** Staff recommends a condition that hours of operation shall not exceed 8:00 a.m. until 12:00 a.m., daily.

**Conclusion of Law:** Based on the above findings, the proposed use, with conditions, will not detract from the value, character and integrity of the surrounding area (MSB 17.60.100(B)(1)).

---

*(2) that granting the conditional use permit will not be harmful to the public health, safety, convenience, and welfare;*

**Findings of Fact:**

1. The closest school (Machetanz Elementary School) is approximately 9,800 feet away from the proposed use.
2. Consumption of marijuana is prohibited at the site.
3. Persons under the age of 21 are prohibited from entering the facility.
4. The proposed use accesses South Trunk Road from an existing, Borough permitted driveway.
5. South Trunk Road is considered a minor arterial road and is capable of safely accommodating high volumes of traffic.
6. According to the application material, the use has a security plan in place, which includes education of employees on all security measures.
7. Security cameras, motion detectors, and lighting are used to monitor all activities at the facility.
8. The application material indicates an illuminated sign will be installed on the north side of the proposed facility and will not interfere with any of the residential homes in the area.
9. The Mat-Su Borough Central Mat-Su Fire Department has issued Plan Review #2020-093, for the commercial structure.
10. The commercial structure is in full compliance with the applicable State of Alaska fire code.

**Conclusion of Law:** Based on the above findings, and with conditions, the proposed use will not be harmful to the public health, safety, convenience and welfare (MSB 17.60.100(B)(2)).

---

(3) *that sufficient setback, lot area, buffers, or other safeguards are being provided to meet the conditions listed in subsections (B)(1) through (3) of this section; and*

**Findings of Fact:**

1. According to the application material, the proposed use is located approximately 51 feet from the South Trunk Road right-of-way to the northwest, approximately 171 feet to the southwest, approximately 59 feet to the northeast, and approximately 40 feet to the property line to the southeast.
2. The commercial structure meets all applicable setback requirements required by MSB 17.55 – Setbacks and Screening Easements.
3. The closest school (Machetanz Elementary School) is approximately 9,800 feet away from the proposed use.
4. The proposed use accesses South Trunk Road from an existing, Borough permitted driveway.
5. South Trunk Road is considered a minor arterial road and is capable of safely accommodating high volumes of traffic.
6. According to the application material, the use has a security plan in place, which includes education of employees on all security measures.
7. Security cameras, motion detectors, and lighting are used to monitor all activities at the facility.
8. The Mat-Su Borough Central Mat-Su Fire Department has issued Plan Review #2020-093, for the commercial structure.
9. The commercial structure is in full compliance with the applicable State of Alaska fire code.

**Conclusion of Law:** Based on the above findings and with conditions, sufficient setbacks, lot area, buffers and other safeguards are being provided (MSB 17.60.100(B)(3)).

---

(4) *the conditional use fulfills all other requirements of this chapter pertaining to the conditional use in this section.*

**Finding of Fact:**

1. All of the required site plans and operational information have been provided by the applicant.

**Conclusion of Law:** The application material has met all of the requirements of this chapter (MSB 17.60.100(B)(4)).

---

**Section 17.60.150 General Standards for Marijuana Related Facilities**

(A) *In addition to the standards set forth by MSB 17.60.100, the planning commission shall weigh factors which contribute or detract from the development of a safe, convenient, and attractive community, including, but not limited to:*

- (1) *any potential negative effect upon other properties in the area due to such factors as noise and odor.*

**Findings of Fact:**

1. The proposed retail facility will be wholly contained within a commercial structure approximately 1,860 square feet in size.
2. There is no industrial equipment or processes that generate noise associated with the use.
3. According to the application material, odor control measures such as, using sealed containers and pre-package products will be in place.
4. Consumption of marijuana is prohibited at the site.
5. According to the application material, loitering will not be allowed.

**Conclusion of Law:** Based on the above findings, the proposed use will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).

---

- (2) *the effectiveness of measures to reduce negative effects upon adjacent properties by:*
  - (a) *increased property line and right-of-way buffers;*
  - (b) *planted berms and landscaping;*
  - (c) *site and building design features which contribute to the character of the surrounding area.*

**Findings of Fact:**

1. The proposed retail facility will be wholly contained within a commercial structure approximately 1,860 square feet in size.
2. The proposed use will be located in one of two colony barns located on the property, which have been remodeled to accommodate commercial uses.
3. The subject property has been used commercially since at least 2005.
4. The Mat-Su Borough Central Mat-Su Fire Department has issued Plan Review #2020-093, for the commercial structure.
5. The commercial structure is in full compliance with the applicable State of Alaska fire code.
6. According to the application material, the proposed use is located approximately 51 feet from the South Trunk Road right-of-way to the northwest, approximately 171 feet to the southwest, approximately 59 feet to the northeast, and approximately 40 feet to the property line to the southeast.
7. According to the application material, lighting associated with the proposed use will be shielded and downward directional to minimize unwanted from leaving the subject property.
8. The structure meets all applicable setback requirements required by MSB 17.55 – Setbacks and Screening Easements.

**Conclusion of Law:** Based on the above findings and with conditions, measures are in place to reduce negative affects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).

---

(3) *whether the use is compatible with the character of the surrounding area.*

**Findings of Fact:**

1. The proposed retail facility will be wholly contained within a commercial structure approximately 1,860 square feet in size.
2. The proposed use will be located in one of two colony barns located on the property, which have been remodeled to accommodate commercial uses.
3. The subject property has been used commercially since at least 2005.
4. The subject property is located approximately 200 feet southwest of the South Trunk Road and East Fireweed Road intersection (roundabout). It is located on top of a ridge and surrounded by the South Trunk Road right-of-way on three sides. Residential homes are located at the base of the ridge to the southeast. South Trunk Road fronts the property to the northwest. More commercial businesses are beyond Trunk Road to the north. The Parks Highway and its frontage roads are to the north and northeast.
5. The Mat-Su Borough Central Mat-Su Fire Department has issued Plan Review #2020-093, for the commercial structure.
6. The commercial structure is in full compliance with the applicable State of Alaska fire code.
7. The proposed use accesses South Trunk Road from an existing, Borough permitted driveway.
8. South Trunk Road is considered a minor arterial road and is capable of safely accommodating high volumes of traffic.
9. The closest residential structure is located to the southeast and is approximately 140 feet away from the proposed use.
10. According to the application material, the proposed use is located approximately 51 feet from the South Trunk Road right-of-way to the northwest, approximately 171 feet to the southwest, approximately 59 feet to the northeast, and approximately 40 feet to the property line to the southeast.
11. The structure meets all applicable setback requirements required by MSB 17.55 – Setbacks and Screening Easements.
12. According to the application material, lighting associated with the proposed use will be shielded and downward directional to minimize unwanted from leaving the subject property.
13. The proposed hours of operation are 8:00 a.m. until 12:00 a.m., daily.
14. Consumption of marijuana is prohibited at the site.
15. According to the application material, loitering will not be allowed.

**Conclusion of Law:** Based on the above findings and with conditions, the proposed use is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).

---

*(B) At the time of their establishment, marijuana related conditional uses shall meet the following requirements and not be located within:*

*(1) One thousand feet of school grounds;*

*(C) Separation distances referenced in subsection (B) of this section are measured in a direct line between the closest point of the facility within which the marijuana facility is located, and the closest point on the lot or parcel of land upon which any of the above itemized uses are located.*

**Finding of Fact:**

1. The closest school (Machetanz Elementary School) is approximately 9,800 feet away from the proposed use.

**Conclusion of Law:** Based on the above finding, the proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).

---

*(D) Prior to final approval of the permit the applicant shall provide written documentation demonstrating that:*

*(1) all applicable licenses have been obtained as required by 3 AAC 306.005.*

**Findings of Fact:**

1. During the April 2-3, 2020 State of Alaska Marijuana Control Board meeting, the Board voted to approve Country Cannabis Retail Marijuana Store License #24049 with delegation.
2. A copy of the delegated approval for the applicant's marijuana retail facility has been provided to the MSB Development Services Division.

**Conclusion of Law:** Based on the above findings, the applicant has provided a copy of the documents demonstrating all applicable licenses pertaining to 3 AAC 306.005 have been obtained (MSB 17.60.150(D)(1)).

---

*(2) from the fire marshal having jurisdiction, that the proposed conditional use is in full compliance with applicable fire code, including but not limited to AS 18.70.010 through 18.70.160, Fire Protection, and 13 AAC 50.025 through 50.080, Fire Code.*

**Findings of Fact:**

1. The Mat-Su Borough Central Mat-Su Fire Department has issued Plan Review #2020-093, for the commercial structure.
2. The commercial structure is in full compliance with the applicable State of Alaska fire code.
3. The applicant has provided a copy of the approved Plan Review #2020-093.

**Conclusion of Law:** Based on the above findings, the proposed use is in full compliance with all applicable fire code (MSB 17.60.150(D)(2)).

---

**Section 17.60.170 Standards for Marijuana Retail Facilities**

*(A) Marijuana retail facilities shall only be approved upon finding by the commission that the proposed facility is located on a parcel that is appropriate for commercial use. At a minimum, the commission shall consider:*

- (1) proximity of the proposed use to existing businesses;*
- (2) proximity to parcels developed for residential use; and*
- (3) whether roads associated with the proposed use have been, or will be, appropriate for commercial use.*

**Findings of Fact:**

1. The proposed use accesses South Trunk Road from an existing, Borough permitted driveway.
2. South Trunk Road is considered a minor arterial road and is capable of safely accommodating high volumes of traffic.
3. The proposed use will be located in one of two colony barns located on the property, which have been remodeled to accommodate commercial uses.
4. The subject property has been used commercially since at least 2005.
5. The subject property is located approximately 200 feet southwest of the South Trunk Road and East Fireweed Road intersection (roundabout). It is located on top of a ridge and surrounded by the South Trunk Road right-of-way on three sides. Residential homes are located at the base of the ridge to the southeast. South Trunk Road fronts the property to the northwest. More commercial businesses are beyond Trunk Road to the north. The Parks Highway and its frontage roads are to the north and northeast.
6. The proposed operating hours are 8:00 a.m. until 12:00 a.m., daily.
7. According to the application material, the proposed use is located approximately 51 feet from the South Trunk Road right-of-way to the northwest, approximately 171 feet to the southwest, approximately 59 feet to the northeast, and approximately 40 feet to the property line to the southeast.
8. The closest residential structure is located to the southeast and is approximately 140 feet away from the proposed use.

**Conclusion of Law:** Based on the above findings, the proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).

---

*(B) The minimum number of parking spaces for retail facilities shall be one space per 350 square feet of net floor area. Each parking space shall be at least: 20 feet in length, ten feet wide, and have a vertical clearance of at least seven feet.*

**Findings of Fact:**

1. The proposed use is approximately 1,860 square feet in size.
2. A marijuana retail facility 1,860 square feet in size is required to provide six parking spaces with one ADA compliant space.
3. Twelve (12) customer parking spaces are being provided.
4. Each space is 20 feet in length and ten feet wide.

5. There are no vertical clearance limitations on site.

**Conclusion of Law:** Based on the above findings, the proposed use meets the minimum number of parking space for retail facilities (MSB 17.60.170(B)).

---

*(C) Parking spaces shall be provided to comply with current Americans with Disabilities Act guidelines.*

**Findings of Fact:**

1. A marijuana retail facility 1,860 square feet in size is required to provide six parking spaces with one ADA compliant space.
2. ADA guidelines require one van accessible parking space, 11 feet wide with a five-foot wide parking isle, for every 1 to 25 spaces.
3. Twelve (12) customer parking spaces will be provided.
4. According to the site plan, one van accessible parking space, 11 feet wide with a five-foot wide parking isle is being provided.

**Discussion:** Striping for the ADA access isle has not been painted as of May 28, 2020. Staff recommends a condition requiring the access isle be painted as indicated in the site plan, and compliant with current ADA guidelines, within one year of the date of decision.

**Conclusion of Law:** Based on the above findings and with conditions, the proposed use complies with current ADA parking space guidelines (MSB 17.60.170(C)).

---

## STAFF RECOMMENDATIONS

Staff recommends approval of the conditional use permit to operate a Marijuana Retail Facility, 1,860 square feet in size, at 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A). The proposed use meets all of the standards in MSB 17.60.100, 17.60.150, and 17.60.170. Staff recommends approval of this permit with the following conditions:

1. The operation shall comply with all applicable state and local regulations.
2. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the Conditional Use Permit shall be required prior to any expansion of the conditional use.
3. Borough staff shall be permitted to enter premises subject to this permit to monitor compliance with permit requirements. Such access will at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as necessary to monitor compliance. Denial of access to Borough staff shall be a violation of this Conditional Use Permit.
4. The ADA parking access isle shall be painted, and shall be compliant with the current ADA guidelines, within one year of the date of decision.
5. The hours of operation shall not exceed 8:00 a.m. – 12:00 a.m., daily.
6. On-site consumption of marijuana and marijuana products is prohibited.

If the Planning Commission chooses to deny this modification, findings for denial must be prepared by the Commission.

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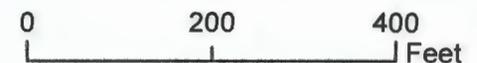
- Country Cannabis
- Parcels



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-961-7801.

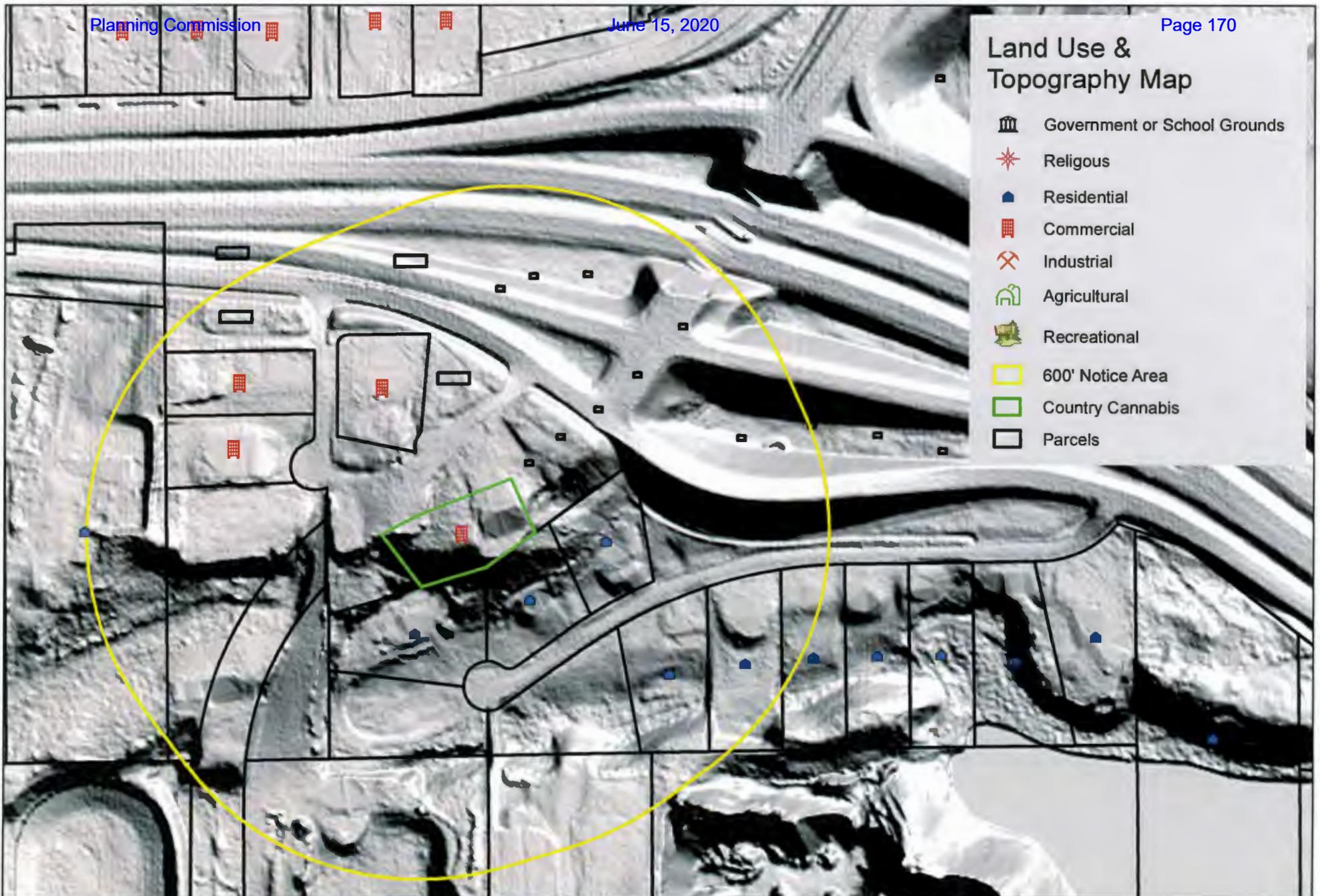
June 3, 2020  
By: MSB Development Services

1 inch = 200 feet



# Land Use & Topography Map

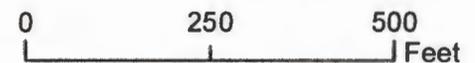
-  Government or School Grounds
-  Religious
-  Residential
-  Commercial
-  Industrial
-  Agricultural
-  Recreational
-  600' Notice Area
-  Country Cannabis
-  Parcels



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June 3, 2020  
By: MSB Development Services

1 inch = 250 feet



**Mark Whisenhunt**

---

**From:** Mark Whisenhunt  
**Sent:** Friday, May 15, 2020 2:06 PM  
**To:** 'allen.kemplen@alaska.gov'; 'tucker.hurn@alaska.gov'; 'melanie.nichols@alaska.gov'; 'kyler.hylton@alaska.gov'; 'mearow@matanuska.com'; 'row@mtasolutions.com'; 'row@enstarnaturalgas.com'; 'ospdesign@gci.com'; 'firecode@matsugov.us'; Jill Irsik; Eric Phillips; Jude Bilafer; Cindy Corey; Terry Dolan; Jim Jenson; Jamie Taylor; Charlyn Spannagel; Karol Riese; Theresa Taranto; Andy Dean; John Aschenbrenner; George McKee; 'GatewayCommunityCouncil@gmail.com'; 'stan.gillespie@gmail.com'; 'Timothy Breeden'  
**Subject:** Request for Review: Country Cannabis CUP

Date: May 15, 2020  
To: Various Governmental Agencies  
From: Mark Whisenhunt, Planner II  
Subject: Request for Review and Comments Governmental Agencies  
Project: Conditional Use Permits for a marijuana retail facility.  
Location: 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A);  
within Township 17 North, Range 1 East, Section 16, Seward Meridian  
Applicant: Jana Weltzin, on behalf of Country Cannabis, LLC

An application for a conditional use permit under MSB 17.60 – Conditional Uses, has been submitted for the operation of a marijuana retail facility. The Planning Commission will conduct a public hearing for this request on June 15, 2020.

Application material may be viewed online at [www.matsugov.us](http://www.matsugov.us) by clicking on “All Public Notices & Announcements.” Application material may also be reviewed at the Borough Permit Center. A direct link to the application material is here:

<https://www.matsugov.us/publicnotice/country-cannabis-marijuana-retail-facility-conditional-use-permit>

Written comments are due on or before **June 1, 2020** and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Respectfully,

Mark Whisenhunt  
Planner II  
Matanuska-Susitna Borough  
Office: (907) 861-8527  
[mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us)

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# Matanuska-Susitna Borough

www.matsugov.us

## MATANUSKA-SUSITNA BOROUGH NOTICE OF PUBLIC MEETINGS

All meetings of recognized boards, committees, and commissions of the Borough are open to the public and are held at Borough offices, 350 E. Dahlia Ave., Palmer, AK, unless specified otherwise. Three or more Assembly Members may be present at advertised public meetings of federal, state, and local governments or other entities. Please note if you attend a public meeting in person it is highly recommended that you wear a mask and please observe social distancing of 6 feet. Meetings are scheduled as follows:

BOARD	DATE	TIME	LOCATION
Abbreviated Plat (For Telephonic Public Participation - Microsoft Teams +1 907 290-7880 or (844) 643-2217)	05/20/20	8:30 am	Assembly Chambers Conference ID: 568 741 906#
Assembly Special Meeting Re: Budget Deliberations & Possible Adoption (To Provide Public Comment Telephonically Call 1-833-949-2500)	05/26/20	6:00 pm	Assembly Chambers
Assembly Special Meeting Re: Budget Deliberations And Possible Adoption (To Provide Public Comment Telephonically Call 1-833-949-2500)	05/28/20	6:00 pm	Assembly Chambers
Assembly Special Meeting Re: Budget Deliberations And Possible Adoption (To Provide Public Comment Telephonically Call 1-833-949-2500)	06/01/20	6:00 pm	Assembly Chambers
Assembly Regular Meeting (To Provide Public Comment Telephonically Call 1-833-949-2500)	06/02/20	6:00 pm	Assembly Chambers
Abbreviated Plat (For Telephonic Public Participation - Microsoft Teams + 1 907 290-7880 or (844) 643-2217)	06/03/20	8:30 am	Assembly Chambers Conference ID: 726 853 768#

If you would like further information on any of these meetings or are interested in serving on any of the advisory boards, please call the Borough Clerk's Office at 861-8683, Monday through Friday, 8 a.m. to 5 p.m. The Borough's website address is: <https://www.matsugov.us/publicmeetings>

Disabled persons needing reasonable accommodation in order to participate at a Borough Board/Commission meeting should contact the Borough ADA Coordinator at 861-9432 at least one week in advance of the meeting.

The Planning Team meetings scheduled are: (Planning teams consist of Planning staff and members of the public who are appointed by the Planning Commission to work on community comprehensive plans and special land use districts, and community planning meetings.)

None

The Community Council meetings scheduled are: (Community Councils are not agencies or subgroups of the Borough)

Trapper Creek Community Council	05/21/20	6:30 pm	Trapper Creek Community Center
Tanaina Community Council General Meeting	05/26/20	7:00 pm	Zoom ID: 469 585 660 Password: 014997
North Lakes Community Council	05/28/20	7:00 pm	Boys & Girls Club
Fishhook Community Council	06/01/20	6:00 pm	St. Herman's Orthodox Church
Willow Area Community Council	06/03/20	7:00 pm	Willow Community Center

Publish Date: May 20, 2020 05-22-20

## MATANUSKA-SUSITNA BOROUGH PUBLIC NOTICE

Type: Felton Street Extension (MSB007549) Tax ID: 18N02E32C017

The Matanuska-Susitna Borough Capital Projects Department proposes to extend Felton Street from the Palmer-Wasilla Highway to W. Bogard Road at the traffic light. The street extension will follow along the east boundary of Palmer High School and the Borough has been working with Palmer High School administration regarding relocation of trails used by the high school and other related impacts to assure the minimum amount of disruption and maximum benefit is achieved during construction to completion. State funding was recently awarded for construction of the project as part of the long range transportation plan calling for connectivity between the two arterial roads. The project is expected to start shortly after July 15, 2020 with clearing and prep work. Anticipated completion of construction is December 31, 2021.

Supporting material is available electronically during normal business hours through the Land Management Division or visit the Public Notice Section on the borough's web page [www.matsugov.us](http://www.matsugov.us). Public comment is invited on this request. If you have any comments please mail or deliver them to the Borough offices at the address indicated above, no later than June 5, 2020. If you have questions about this request: call Nancy Cameron at 861-7848 between 8:00-5:00 or you can send an e-mail to: [LMB@matsugov.us](mailto:LMB@matsugov.us) (please refer to Felton Street Extension MSB007549 when submitting comments).

Publish Date: May 20, 2020 05-11-20

### ELECTION OFFICIALS WANTED

Are you interested in serving as an Election Official?  
Don't delay, submit your application today!

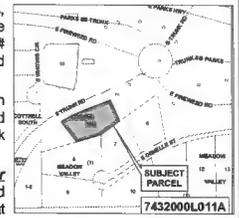
The Borough Clerk's Office is recruiting workers for the November 3, 2020, Regular Borough Election. If you are interested in applying to serve as an election worker, you must complete and submit an application. Applications are available online at [www.matsugov.us/elections](http://www.matsugov.us/elections) or contact the Borough Clerk's Office at 861-8683. In order to serve, you must be a registered voter of the Borough. Training and compensation are provided.

## PUBLIC HEARINGS

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, June 15, 2020, at 6:00 p.m. in the Borough Assembly Chambers located at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend.

**Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough Website. The public is encouraged to check the Borough Website prior to attending the public hearing for any changes to the meeting schedule or method.**

An application for a conditional use permit under MSB 17.60 - Conditional Uses, has been submitted by Jana Weltzin, on behalf of Country Cannabis, LLC, for the operation of a marijuana retail facility at 2323 S. Trunk Road, Suite#3 (Tax ID# 743200LO11A); within Township 17 North, Range 1 East, Section 16, Seward Meridian.



Application material may be viewed online at [www.matsugov.us](http://www.matsugov.us) by clicking on "All Public Notices & Announcements." Application material may also be viewed at the Borough Permit Center. For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527.

The public may provide verbal testimony in person at the meeting or telephonically by calling 1-833-949-2500. Once you call in, you will be asked by the call in studio moderator your Name, phone number, address, and what case you would like to speak on. When it is your turn to speak under public testimony, you will be unmuted by the studio moderator. You will be muted until the case you wish to speak on is presented. Once you are unmuted please state your name for the record, and provide your comments. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to [mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us). In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: [www.matsugov.us](http://www.matsugov.us), in the Borough Clerk's office, and at various libraries within the borough.

Written comments are due on or before June 1, 2020 and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Publish Date: May 20, 2020 05-20-20

## FY2021/2022 HUMAN SERVICES COMMUNITY MATCHING GRANT PROGRAM FUNDING OPPORTUNITY FOR NON-PROFIT AGENCIES

Due to COVID-19 this application process has been extended - Proposals must be submitted no later than 5:00PM, FRIDAY, JUNE 1, 2020.

Beginning on March 9, 2020, the Matanuska-Susitna Borough will be soliciting applications from non-profit agencies for the FY2021/2022 Human Services Community Matching Grant Program. Funding of the borough Human Services Community Matching Grant program is based on the availability of state funding. The Borough will not know how much funding, or if funding will be available until the end of June 2020, or later.

The goal of the HSMG program is to provide high quality, cost efficient and community-driven health and human services to residents of the Matanuska-Susitna Borough. Grant funds may only be used for services which are necessary to prevent or alleviate serious mental or physical hardship.

The amount that may be requested for this program is limited to \$50,000 per agency, per year. Applicants should be prepared to accept fewer dollars than requested, and should keep in mind that if the state does not fund the program then no sub-grants will be awarded.

All grant funds must be expended before June 30, 2021. Recipients must agree to comply with all state, local, and federal requirements for the use of Human Services Community Matching Grant funds. All year one grant funds must be expended before June 30, 2021. The FY2021/2022 application will be an electronic submission using forms located on the Human Services Community Matching Grant Project Page.

Copy this link to your browser.

<https://www.matsugov.us/projects/human-services-community-matching-grant-program>

For additional information please contact Pamela Graham, Planner I; Phone: (907) 861-8525; E-mail: [Pam.Graham@matsugov.us](mailto:Pam.Graham@matsugov.us)

Publish Date: May 20, 2020 05-10-20

## MATANUSKA-SUSITNA BOROUGH PUBLIC NOTICE

Type: Easement (MSB007580) Tax ID: 52874B02L001

The Matanuska-Susitna Borough (MSB), Capital Projects Department, is overseeing installation of a payment kiosk in the West Butte Trail parking lot off E. Mothershead Lane across from the trailhead. The kiosk will allow patrons to pay for trail use parking fees with a debit/credit card and a utility easement will be recorded to show the location of the utility servicing the kiosk. A vicinity map showing the approximate location of the kiosk and easement area is attached for reference.

Supporting material is available for public inspection during normal business hours on the 2<sup>nd</sup> floor of the Matanuska-Susitna Borough building in the Land Management Division. Public comment is invited on this request. If you have any comments please mail or deliver them to the borough offices at the address indicated above, no later than June 12, 2020. If you have questions about this request: call Nancy Cameron at 861-7848 between 8:00-5:00 or you can send an e-mail to: [LMB@matsugov.us](mailto:LMB@matsugov.us) (PLEASE REFER TO BUTTE TRAILHEAD KIOSK - MSB007580 WHEN SUBMITTING COMMENTS).

Publish Date: May 20, 22, 2020 05-21-20



Vern Hutter, Mayor  
861-8682  
[vern.hutter@matsugov.us](mailto:vern.hutter@matsugov.us)

Tim Hale, #1  
590-6243  
[TimHaleDistrict1@gmail.com](mailto:TimHaleDistrict1@gmail.com)

Stephanie Nowers, #2  
831-6299  
[StephanieNowersDistrict2@gmail.com](mailto:StephanieNowersDistrict2@gmail.com)

George McKee, #3  
373-3630  
[george.mckee@matsugov.us](mailto:george.mckee@matsugov.us)

Ted Leonard, #4  
373-2860  
[tedleonarddistrict4@gmail.com](mailto:tedleonarddistrict4@gmail.com)

Dan Mayfield, #5  
692-7406  
[dan.mayfield@matsugov.us](mailto:dan.mayfield@matsugov.us)

Jesse Sumner, #6  
715-7388  
[jesse.sumnerdistrict6@gmail.com](mailto:jesse.sumnerdistrict6@gmail.com)

Tamara Boeve, #7  
354-6744  
[tamboevedistrict7@gmail.com](mailto:tamboevedistrict7@gmail.com)



# Certificate of Bulk Mailing – Domestic

## Fee for Certificate

Up to 1,000 pieces (1 certificate for total number)

For each additional 1,000 pieces, or fraction thereof

Duplicate Copy

Use  
Current  
Price List  
(Notice 123)

Postage: Mailers must affix meter, PC Postage<sup>®</sup>, or (uncanceled) postage stamps here in payment of total fee due.

Acceptance employee must cancel affixed (by round-date) at the time of

If payment of total fee due is being paid by Permit Imprint, include the *PostalOne!*<sup>®</sup> Transaction Number here: \_\_\_\_\_



Number of Identical Weight Pieces	Class of Mail	Postage for Each Mailpiece Paid	Number of Pieces to the Pound
16	1st	<input type="checkbox"/> Verified	96

Total Number of Pounds	Total Postage Paid for Mailpieces	Fee Paid
5.902	8-	8.55

Mailed For	Mailed By
Dev Services	Nikki

## Postmaster's Certification

It is hereby certified that the number of mailpieces presented and the associated postage and fee were verified. This certificate does not provide evidence that a piece was mailed to a particular address.

*P-D*

(Postmaster or Designee)



Planning Commission

Mark W.  
June 15, 2020

Dev Services  
Page 175

52539B01L003 1  
ALASKA STATE OF  
DEPT OF TRANS & PUB FAC  
PO BOX 196900  
ANCHORAGE, AK 99519-6900

52539B01L006 2  
ALLEN MICHAEL L  
7255 E DENELLE ST  
PALMER, AK 99645

54928000L002-2 3  
ARCTIC DEVCO INC  
PO BOX 3489  
PALMER, AK 99645-3489

52539B01L010 4  
COLBERG SIGURD E & MARY F  
7091 E MATANUSKA SPUR  
PALMER AK 99645

56083000T002 5  
CROSS COUNTRY CHURCH  
PO BOX 874376  
WASILLA AK 99687

117N01E15C014 6  
GOODMAN N ROY FAM TR  
7140 E MATANUSKA SPUR RD  
PALMER AK 99645

52539B01L012 7  
GOSNELL NORMA JEAN TRUST TRE  
7300 E DENELLE ST  
PALMER, AK 99645

51385000L002 8  
HATTENBURG RUSSEL  
PO BOX 442  
PALMER AK 99645-0442

54928000L001 9  
LONG INVESTMENTS LLC  
3030 S CHARMING VALLEY LOOP  
PALMER AK 99645

52539B01L007 10  
MANELICK DAVID A  
MANELICK JORDAN A  
7235 E DENELLE ST  
PALMER AK 99645

57432000L011A 11  
OLSON DOUGLAS L  
1150 N GOLDEN HILLS DR  
PALMER, AK 99645

52814000L015 12  
STEVENS ENTERPRISES LLC  
3100 N LAZY EIGHT CT  
WASILLA AK 99654

52539B01L008 13  
STOCKER RONALD W & V A  
7205 E DENELLE ST  
PALMER, AK 99645

52539B01L011 14  
VANDYKE DALE  
13536 CHARMLEY CIR  
EAGLE RIVER AK 99577-6824

52539B01L013 15  
WIGGINS SHIRLEY C  
PMB 12  
7362 W PARKS HWY  
WASILLA AK 99623-9300

16  
GATEWAY COMMUNITY COUNCIL  
PO Box 578  
PALMER, AK 99645

tara0609  
16  
5/19/2020 9:45:26 AM

Matanuska-Susitna Borough  
 Development Services Division  
 350 E. Dahlia Avenue  
 Palmer, Alaska 99645

tara0609  
 16  
 5/19/2020 9:45:26 AM

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

- Applications:** Conditional Use Permits for a marijuana retail facility
- MSB Code Section:** MSB 17.60 – Conditional Uses
- Applicant:** Jana Weltzin, on behalf of Country Cannabis, LLC
- Location:** 2323 S. Trunk Road (Tax ID# 7432000L011A);  
 within Township 17 North, Range 1 East, Section 16, Seward Meridian
- Request:** An application for a conditional use permit under MSB 17.60 – Conditional Uses, has been submitted for the operation of a marijuana retail facility.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **June 15, 2020 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. ***\*Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough Website. The public is encouraged to check the Borough Website prior to attending the public hearing for any changes to the meeting schedule or method.*** The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at [www.matsugov.us](http://www.matsugov.us) by clicking on “All Public Notices & Announcements.” Application material may also be viewed at the Borough Permit Center. For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. ***The public may provide verbal testimony in person at the meeting or telephonically by calling 1-833-949-2500.*** Once you call in, you will be asked by the call in studio moderator your Name, phone number, address, and what case you would like to speak on. When it is your turn to speak under public testimony, you will be unmuted by the studio moderator. You will be muted until the case you wish to speak on is presented. Once you are unmuted please state your name for the record, and provide your comments. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to [mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us). In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an “interested party.” See MSB 15.39.010 for the definition of “interested party.” The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: [www.matsugov.us](http://www.matsugov.us), in the Borough Clerk’s office, and at various libraries within the borough.

Written comments are due on or before **June 1, 2020** and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

**Name:** \_\_\_\_\_ **Mailing Address:** \_\_\_\_\_

**Location/Legal Description of your property:** \_\_\_\_\_

**Comments:** \_\_\_\_\_

*Note: Vicinity Map Located on Reverse Side*



THE STATE  
of **ALASKA**  
GOVERNOR MIKE DUNLEAVY

**Department of Commerce, Community,  
and Economic Development**

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600  
Anchorage, AK 99501  
Main: 907.269.0350

May 15, 2020

Country Cannabis, LLC  
DBA: Country Cannabis  
Via: [sarah@countrycannabisak.com](mailto:sarah@countrycannabisak.com)

Re: Country Cannabis #24049

Dear Country Cannabis, LLC:

At the April 2 - 3, 2020, meeting of the Marijuana Control Board in Anchorage, Alaska, the board voted to approve your new retail marijuana store application with delegation to the director. Delegation means that the board has authorized me to issue the license once all outstanding approvals are received.

Attached are post-approval instructions and the pre-inspection checklist, which provide information on your next steps. Please note that the pre-inspection checklist is informational. You will be provided with an individualized checklist at the appropriate time.

Please contact [marijuana.licensing@alaska.gov](mailto:marijuana.licensing@alaska.gov) with any questions.

Sincerely,

A handwritten signature in blue ink that reads "Carrie Craig".

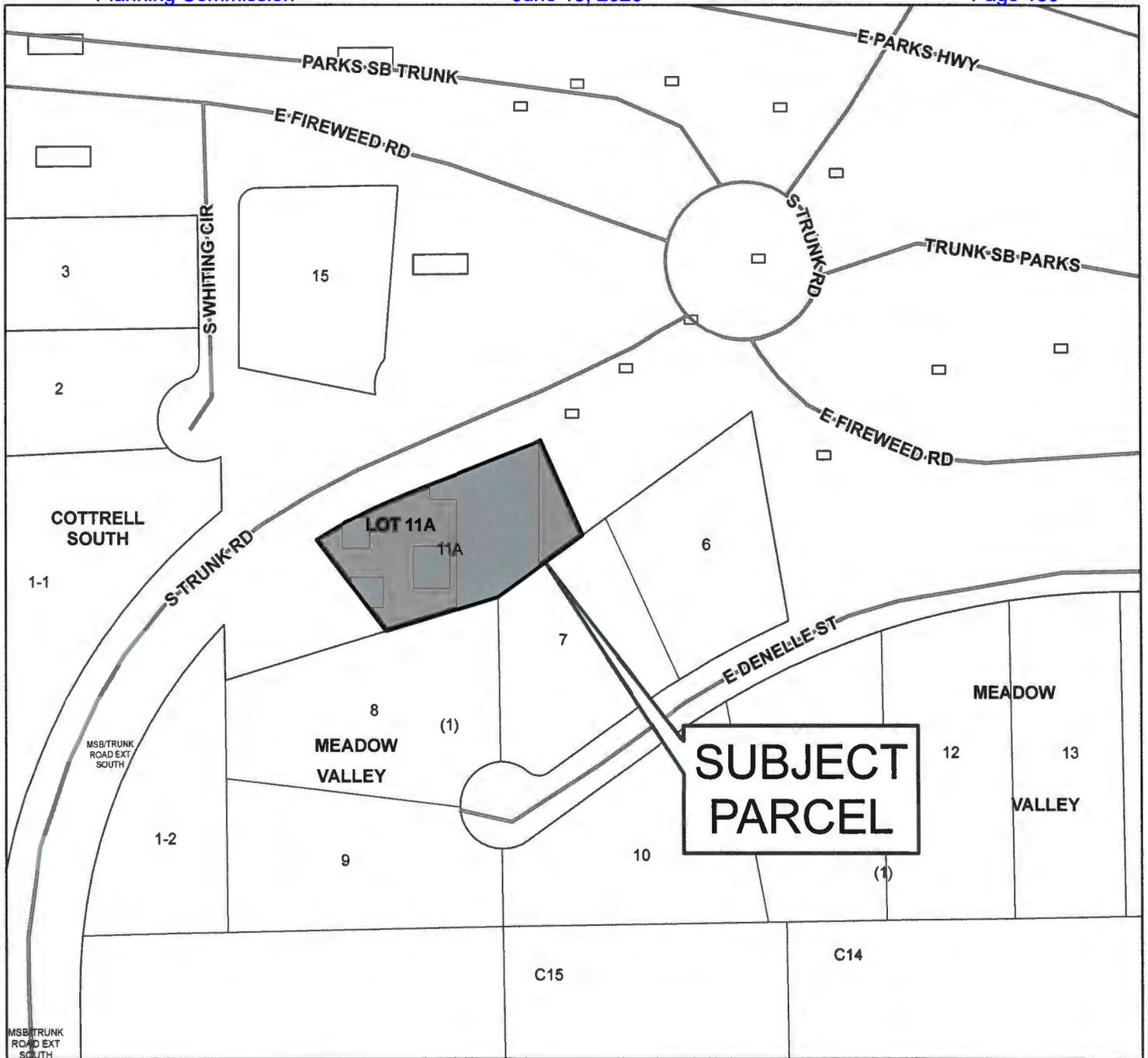
Carrie Craig  
Records and Licensing Supervisor

For  
Glen Klinkhart,  
Interim Director

cc: License File  
Matanuska-Susitna Borough

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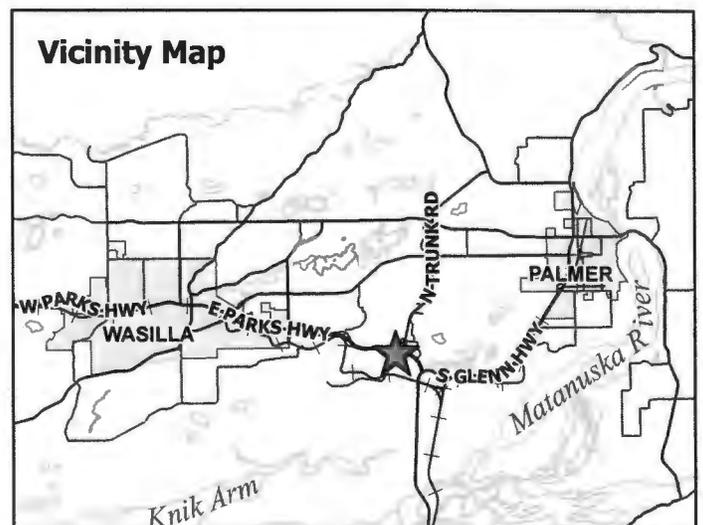
# **VICINITY MAP**



# 7432000L011A



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7601.



# **APPLICATION MATERIAL**



**MATANUSKA-SUSITNA BOROUGH**

**Planning and Land Use Department**

**Development Services Division**

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us)

**CONDITIONAL USE PERMIT FOR  
MARIJUANA RELATED FACILITIES – MSB 17.60**

*Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.*

**Application fee must be attached:**

- \$1,000 for Marijuana Retail Facility
- \$1,000 for Marijuana Cultivation Facility

**RECEIVED**

By Mark Whisenhunt at 1:46 pm, May 06, 2020

*Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.*

**Required Attachments for a Marijuana Cultivation Facility:**

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- Hazardous Chemicals Information – 17.60.160 (C)
- Security plan – 17.60.160 (D)

**Required Attachments for Both Retail and Cultivation Facilities:**

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

**Subject Property:** Township: \_\_\_\_\_, Range: \_\_\_\_\_, Section: \_\_\_\_\_, Meridian: \_\_\_\_\_

MSB Tax ID# 7432000L011A

SUBDIVISION: Meadow VLY ADD 1 RSB L/11 BLOCK(S): \_\_\_\_\_, LOT(S): 11, 12 & 13A

STREET ADDRESS: 2323 S Trunk Road, Palmer, Alaska 99645, Suite 3

FACILITY / BUSINESS NAME: Country Cannabis, LLC DBA Country Cannabis

**Ownership:** A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached?  Yes  No  N/A

**Name of Property Owner**

Olson, Douglas L

**Name of Agent / Contact for application**

Jana Weltzin & Country Cannabis LLC

Mailing: 1150 N Golden Hills Dr

Palmer, Alaska 99645

Mailing: 901 Photo Ave., Anchorage, AK 99503

Phone: Hm \_\_\_\_\_ Fax \_\_\_\_\_

Wk \_\_\_\_\_ Cell \_\_\_\_\_

E-mail \_\_\_\_\_

Phone: Hm \_\_\_\_\_ Fax \_\_\_\_\_

Wk 9072313750 Cell 6309131113

E-mail jana@jdwcounsel.com

<b>Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:</b>	<b>Attached</b>
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	Yes
Signage – Existing and Proposed.	Yes
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	Yes
Buffering – Fences, vegetation, topography, berms, and any landscaping	Yes
Drainage	Yes
Vehicular and pedestrian circulation patterns.	Yes
Exterior site lighting.	Yes
Location and dimensions of parking areas to be provided	Yes
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Yes

<b>Map – Attach a detailed, to scale, vicinity map clearly showing the following information:</b>	<b>Attached</b>
Identify all existing land uses within 1,000 feet.	Yes
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Yes

<b>In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:</b>	<b>Attached</b>
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	Yes
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	No
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	Yes
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	Yes
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	Yes
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> <li>• Increased property line and right-of-way buffers</li> <li>• Planted berms and landscaping</li> <li>• Site and building design features which contribute to the character of the surrounding area</li> </ul>	Attached
Describe how this use is compatible with the character of the surrounding area.	Attached
Current status of State License application process – 17.60.150 (D) (1)	Completed -to be heard April MCB 2020

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> <li>The proximity of the proposed use to existing businesses;</li> <li>The proximity of parcels developed with residential uses;</li> <li>Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and</li> <li>Proposed hours of operations.</li> </ul>	Attached
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	Attached
Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	Yes
Interior floor plans (specific location of the use or uses to be made of the development).	Yes
Net floor area square footage calculations.	Yes

**OWNER'S STATEMENT:** I am owner of the following property:

MSB Tax account #(s) 74320004011A Parcel ID# 525725 and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

*Douglas L. Olson*  
 Signature: Property Owner Printed Name: Douglas L. Olson Date: 2-27-2020

*Jana Welter*  
 Signature: Agent Printed Name: JANA WELTER Date: 2/28/2020



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**RETAIL MARIJUANA FACILITY**  
**CONDITIONAL USE PERMIT**  
**NARRATIVE**

**Country Cannabis, LLC., dba Country**  
**Cannabis – a locally owned and**  
**operated business**

Submitted: *March 2<sup>nd</sup>*, 2020  
Hearing Date: \_\_\_\_\_, 2020  
Prepared by:



Jana D. Weltzin, Esq.  
901 Photo Ave., Second Floor  
Anchorage, AK 99503  
[jana@jdwcounsel.com](mailto:jana@jdwcounsel.com)  
630-913-1113  
907-231-3750

On behalf of:  
Country Cannabis

Introducing the Country Cannabis, LLC team:

It is with great pleasure that we introduce Sarah Lorimer and Jennifer Johnston, both are local Borough residents and owners of Country Cannabis, LLC.

Jennifer and Sarah are sisters, making this a family owned venture. Jennifer was born in Washington State and then moved with her parents and elder sister at the age of 2 to Alaska. Jennifer spent her childhood in Anchorage, and her summers with her family exploring Alaska on her fathers fishing boat, hunting grouse in the Mat-Su Valley, playing baseball little league and enjoying day trips to Hatcher Pass with her mother. After 7<sup>th</sup> grade, Jennifer and her family moved to Wasilla. It was a little rough transitioning from a “City Girl” to a “Country Girl” but, it didn’t take long to feel that the “Valley” was her home. Jennifer graduated from Colony High School and worked along side her parents at their roofing business. Jennifer truly is grateful for her parents who taught her what it meant to truly work hard for what you want and to always chase your dreams. Jennifer went on to attend and graduate from Alaska Career College, receiving her massage license in 2010. While attending Alaska Career College, Jennifer participated in volunteer work doing chair massages at the Native hospital and race events. Once Jennifer received the news that her sister and current business partner Sarah Lorimer was diagnosed with Multiple Sclerosis, she became active in various fund raisers and events to raise money for the Alaska MS Center. The last MMA fight she completed in was dedicated to her sister and she used it as a platform to raise money for the Alaska MS Center to help others affected by the disease. Jennifer still actively participates in multiple community outreach programs such as; Sleep in Heavenly Peace, food drives, animal shelters etc. Family is Jennifer’s most important priority which is why she could think of no one better than her sister to go into business with. Jennifer and her sister have decided to open a retail marijuana store in the Matanuska-Susitna Valley and is extremely excited to have the opportunity to be involved with the community and to share her love of this beautiful state we call home.

Sarah shares the same beginnings with her sister as to how she arrived in Alaska however, Sarah was 9 years old while driving in her dad’s old 1968 GMC pickup while heading up the Alcan to live the American Dream. Sarah has fond memories of singing “North to Alaska” with her father for the entire 4-day drive. Sarah and her father spent a lot of time when she was a child watching the Ultimate Fighting Championship on television, her mother did not approve, but Sarah could not get enough. This is where Sarah’s story begins. Sarah’s father, while driving through Anchorage, spotted a billboard sign that said, “MMA Fights Tonight”, he quickly called Sarah and of course, she wanted to go. They went together that night and after a 5 second knock-out, Sarah knew she had to be a part of this. Sarah was a mortgage broker with no formal business training when the AFC fell into her lap, she was advertising at the fights and the owner at the time asked if she wanted to purchase the AFC. Sarah jumped on the opportunity and purchased the AFC with her father in 2007. After running the promotion together for a year Sarah decided it would be best to run it alone. She left her position as a very successful mortgage broker and decided to take on

the AFC fist first, so-to-speak. Sarah trailblazed the way as a woman who is passionate about fights and does what it takes to get those fighters to the next level. Sarah is a 37-year-old wife and mother, who had been the President/Promoter of the AFC for 13 years. At the pinnacle of her career, Sarah was diagnosed with Multiple Sclerosis. After much deliberating with her family, they felt it was in the best interest of her health to step down as the president and owner of the AFC. Sarah sold the AFC in May of 2019 and has since become an MS advocate and actively volunteers with the Alaska MS Center and the National MS Society. Sarah has raised over \$30,000.00 for support programs for MS Patients and their families. Sarah also serves on the board of Directors of Valley Quilters Guild as the Historian, has donated over 100 hours designing and setting up the website and social media to bring VQG up to date with technology. Valley Quilters Guild makes and donates over 300 quilts a year to local Mat-Su Valley charities such as; Red Cross for fire victims, local hospice centers and OCS for children in the system. Sarah also has a hobby farm with over 100 chickens, ducks, geese and pheasants, and sells her eggs at a local co-op in Palmer. Sarah has not sat idle since retiring in 2019, she and her sister Jennifer have decided to open a retail marijuana store that will reflect their love of the Mat-Su Valley and feature a representation of the rich history of the colonist and the agriculture of the area.

**Required attachments for a marijuana retail facility conditional use permit narrative:**

*Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?*

The proposed use is compatible with adjacent properties and fits succinctly into the areas commercial/industrial vibe, previously, the retail area was Coho Family Medicine. The entire retail licensed area, including the office space, will be 2000 sq. feet. The building sits on a large lot (0.88 of an acre), which aids to the buffering of impacts to neighboring uses. The proposed use fits into the harmony of the surrounding uses both in size and design. The facility is located on a parcel of land located off of the Parks Hwy on S. Trunk road. To the left of Country Cannabis is a vacant lot and to the right is a small drive-through coffee stand. Country Cannabis is tucked nicely behind a large industrial glass distributor. There are two existing businesses that share the property with Country Cannabis, Heritage Birth Center and Float Alaska, both businesses have welcomed Country Cannabis with open arms. Therefore, the proposed use will not detract from the character, value, integrity of the surrounding area. The facility will not produce any noise pollution and has an odor control method in place.

Steps have been taken to reduce the potential negative effects of the proposed use upon adjacent properties. The proposed use will meet all compatible uses allowed on adjacent properties and will improve the overall neighborhood as the premises will not emit odor, will not produce excess dust, will have limited noise as compared to adjacent properties, and will have off-street parking and loading in order to cut down on traffic generation in front of the premises and on the street thus fitting in with adjacent property uses. As detailed in the attached site plan, there will off-street parking, that is at least 20 feet in length, ten feet in width and will have appropriate accessibility

spaces under the Americans with Disabilities Act. The back-property line has dense vegetation buffers, including mature trees and brush. The store will not allow any marijuana product to be visible from inside the store to the public, all windows will be either covered or clouded out so that persons from the public do not view marijuana from outside the facility.

While odor control is important, it is not expected that the retail facility will generate smell, but regardless the retail will have odor controls. This retail facility will not detract from the value, character and integrity of the surrounding area.

The facility will be equipped with a 24-hour monitoring alarm system, exterior motion detecting lighting and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with the exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. Customers must have their identification checked when entering the marijuana store. All customers will be observed for signs of impairment to ensure that Country Cannabis does not sell marijuana and marijuana products to a person that is already intoxicated.

In the event a non-employee/agent of the company needs to go in a restricted access area, the company visitor policy will be adhered to. A visitor will need to show their valid photo identification, and obtain a visitor badge, to be worn and clearly displayed at all times while visiting the restricted access areas. All visitors must be pre-approved by either the Licensees or management (with the exception of AMCO agents, and law enforcement) - there should be no un-scheduled and un-expected visitors. To maintain the security of the facility and all marijuana products, access to the facility will be monitored and restricted at all times. Access will only be granted to employees and licensees, AMCO agents, law enforcement and the limited exception of scheduled pre-approved visitors. Additionally, Country Cannabis' exterior signage will indicate that any members of the public are not allowed unescorted access and will be clearly displayed on the door. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt access.

*Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?*

No – Country Cannabis' retail establishment has a security system and plan, diversion control policies, loitering check plan for the retail facility.

The facility is a commercial retail facility and will only allow access to those who are at least 21 years of age or older. No persons will be allowed access to any marijuana or marijuana products at any time.

- ✓ All marijuana and marijuana products will be displayed in locked display cabinets for customers to view. The area behind the cabinets will be a restricted access area and signage will be displayed accordingly. Employees will open the cabinet from within the restricted access area and place product into exit packaging at the cash register before handing it to

the customer. Once a customer's transaction is complete, they will be instructed by an employee to exit the store as shown in the premises diagram.

- ✓ In order to ensure Country Cannabis will only allow access to persons over the age of 21, the retail establishment will check the ID of every person who enters the retail store. Anyone under the age of 21 or who does not produce a valid form of photo ID issued by a federal or state agency authorized to issue ID cards will be asked to leave the premises. Any employee checking ID's will have a valid marijuana handler permit and be trained to recognize altered/forged photo ID's.

Additional protections to ensure the prevention of any negative impact on the public health, safety, convenience, and welfare:

✓ The facility will be equipped with a 24-hour monitoring alarm system, exterior motion detecting lighting and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with the exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. All visitors must be preapproved by either one of the Licensees or management (with the exception of AMCO agents, and law enforcement). To maintain the security of the facility and all marijuana products, access to the facility will be monitored and restricted at all times. Access will only be granted to employees and licensees, AMCO agents, law enforcement and the limited exception of scheduled pre-approved visitors and those customers over the age of 21. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt unauthorized access.

✓ On-site video surveillance will continuously monitor all areas of the premises where marijuana is present, including areas where marijuana packaged, sold, and stored. Employees will perform mandatory inventory counts each week, check counts against METRC records, and document the reports as official business records. Country Cannabis will not tolerate any theft and diversion, and all employees will complete mandatory training in recognizing such activity. Country Cannabis' management team understands that diversion can happen in two ways - inversion and diversion - and is equally profitable diverting product out of the legal system as it is diverting product from the illegal system into the legal market. In the event that an employee is caught stealing marijuana, OR infusing the facility with non-regulated black-market product, Country Cannabis will notify local law enforcement immediately, comply with all directives, and provide all necessary information and records for the investigation. Ownership will take the necessary steps to ensure that illegal conduct by an employee does not compromise the facility's license and legitimate business operations. Once a theft is reported, ownership will update the product records in the tracking system, as needed, to maintain an accurate and comprehensive accounting for all marijuana products and inventory. Ownership will comply with all inquiries and investigations lodged by AMCO as a result. Documentation related to marijuana theft will be maintained as a

business record for five (5) years and made available to AMCO upon request. Video recordings will be stored for forty (40) days. Cameras will provide a full view of the grow areas, entryway, safes, money counting areas, and product packaging areas. Security monitors and video recording equipment will be located onsite.

✓ Qualified candidates will be hired on a probationary period during which time they will receive training and evaluation specific to their position. Training will include marijuana industry topics; customer care, food handling, safety precautions and procedures; legal issues; and state, local, and federal regulations. Training will take place throughout the year, as well as when topics arise that need further explanation. Sarah and Jennifer will personally present training and education to employees. Within the probationary period, all new employees will be required to meet with Sarah or Jennifer to learn the company's business approach and to adopt the standard of service. Educational packets will be provided to each retail employee to be read and review. The educational packets will discuss relevant cannabinoids in the marijuana plant, strain ratios, marijuana benefits and risks, and general Alaska marijuana law. Packets will also include safety procedures that specifically address the facility's security measures and controls for the prevention of diversion, theft, and loss of marijuana such as emergency response procedures and state and federal statutes regarding confidentiality. As proper safety and security procedures are of the utmost importance to Sarah and Jennifer, the most up-to-date reading materials will be available to employees at all times. Management will conduct quarterly staff meetings with the purpose of updating all employees on new state and local regulations, assuring that each employee is performing within company procedure, assessing any procedural changes that are needed, and addressing any comments or concerns from the staff. Prior to beginning work, employees will be expected to understand: (1) Alaska laws, regulations, and codes governing the marijuana industry and marijuana establishments; (2) all of the permitting requirements to act as a marijuana handler (including obtaining a Marijuana Handler card from a state approved course provider prior to commencing employment) and to work in a marijuana establishment; (3) Country Cannabis standards, operational protocol, and best practices with regard to retail and sale of marijuana; (4) general safety procedures and security protocol; (5) how to think defensively if threatening situations occur, and how to recognize the signs of impairment, drug abuse, and instability; (6) in-depth information about our particular strains and marijuana related products; (7) in-depth information on the requirements of each room, task, and system; (8) the general federal, state, and local employment regulations by which Country Cannabis, is governed; and (9) retail-specific education. To ensure full coverage for each position, all employees will be cross-trained on the requirements of each job

✓ Country Cannabis will have a "No Loitering" sign clearly posted on the exterior of their facility. If an employee suspects that a person is loitering outside the licensed premises, they will be given a verbal warning that law enforcement will be notified and asked to leave the premises. Trained employees will maintain regular periodic checks around the property to deter any unauthorized entrance or loitering around the facility. Motion detectors will be rigged to the exterior lighting system, in addition to the stationary lights, to allow for additional security measures during closed

hours and provide extra lighting for all surveillance recordings. Both stationary and motion sensitive exterior lighting will be shielded and downward directional to mitigate any unwanted light pollution to neighboring properties. The facility's architectural design incorporates downward lighting into the canopies that will project light on to the building and downward. There will also be light poles to illuminate the parking area, again the light poles lighting units will be shielded and directed in a downward fashion. This is all congruous with the highway commercial corridor. The alarm system will monitor for intrusions with motion detectors on all access points to the licensed facility, office, and secured storage structure during closed hours. Live security footage will also be accessible to Sarah and Jennifer or the manager via their cellular phones, so they may keep an eye on the facility even when they are away. Any unauthorized or attempted intrusion will prompt an automatic, electronic alert to the security company who will then contact local law enforcement and ownership. All alarm systems and devices will be tested every six (6) months.

*Are there sufficient setbacks, lot area, buffers and other safeguards being provided?*

As described above, Country Cannabis is located within a 0.88-acre parcel. This application and the layout of Country Cannabis meets the required setbacks, buffers, and lot area. The entire retail operation is enclosed in a commercial grade building.

There will be plenty of onsite parking developed on the site for this use.

The facility has incorporated all measures to reduce the negative effects of the surrounding properties including but not limited to natural landscaping screening, large setbacks, and a timeless architectural design to continue an appearance similar to the surrounding businesses off the Parks Highway.

The facility will not produce any noise pollution and has an odor control method in place. A robust security plan and no loitering policy will be implemented and thoroughly communicated to all employees. Additional safeguards include the following:

✓ The lighting fixtures will be positioned at an inaccessible height with sturdy housings to deter vandalism and common obstructions. The bulbs will be extremely bright to maximize visibility and deter crime. The exterior lighting will be checked daily by the licensees or manager on duty to ensure that each light in the system is operational, and that each mount is positioned for optimum recording clarity and to deter unauthorized presence on the premises. The buildings architectural design incorporates downward lighting into the canopies that will project light on to the building and downward direction to prevent light from encroaching to neighboring property. There will also be light poles to illuminate the parking area.

✓ A third-party security company will install the alarm system and to monitor the electronic notifications in the event the alarm is triggered 24/7. The installation company will periodically come and check and maintain the equipment.

Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use of this section?

Yes.

Describe measures being taken to prevent potential negative effect upon other properties in the area due to such factors as noise and odor.

The proposed use will have limited noise compared to adjacent properties. Country Cannabis does not anticipate any noise to come from the retail facility, and if any noise is to be produced it will be comparable to surrounding land uses. The roads that serve the facility and surrounding uses do not appear to be used currently to their maximum capacity, therefore, any increase in traffic flow on the roads serving the area will be sufficient to serve the area with this new proposed retail use.

Sarah and Jennifer will abide by a strict no odor policy per MSB 17.60.150(A)(1) that will ensure no odor is detectible by the public from outside the facilities as required by 3 AAC 306.420(a)(2)(F) and 3 AAC 306.430(c)(2). This use is a retail establishment and should not have any issues with odor seeping out from the retail to the outside air. However, in abundance of caution, odor control methods will be utilized and will consist of a number of methods meant to eliminate odors by utilizing methods including sealed containers and air sanitizers throughout the building and when transporting marijuana to/from the premises. All marijuana at the retail facility will be either pre-packaged in smell proof packaging for sale, deli style enclosed jars that are only opened to take product out for sale to a customer and is repackaged prior to exiting the facility, or in enclosed jars in small amounts for customers to smell. Country Cannabis does not anticipate any odor from its retail facility.

Describe how use is compatible with the character of the surrounding area.

The facility is compatible with the character of the surrounding area as it borders on a largely commercial corridor, with other existing businesses, and not much residential nearby. There are also some vacant land parcels nearby that have yet to be developed. The business/industry character of the surrounding parcels and uses are a good fit for the retail store.

Current status of State License Application Process.

The Application has been deemed complete by the alcohol and marijuana control office and is scheduled for the April 2020 Marijuana Control Board quarterly meeting.

Misc. Items and Information.

Please see attached parking layout diagram, which complies with MSB 17.60.170(B) and (C).

Proposed hours of operation for the retail store shall be 8am to 12 am Monday-Sunday.

Drainage – it is our understanding that when the Borough took over this portion of Trunk road (approx. 2016), the Borough installed the landscaping and the two-foot apron (entrance from the highway to the driveway). We believe drainage is sufficient, we have no reason to believe otherwise, but the Borough has indicated it will inspect the drainage at the driveway to during break-up this spring to see if any additional drainage improvements are needed. The property is up on elevated land, reducing the need for additional drainage. Currently, the water runs into the ditch that was built by the Borough. *Attached* is the driveway permit filed by the applicants, and the review of which resulted in the applicants being informed of the information contained in this paragraph.

Employees - Number of employees on site for the retail will be between 3-5, depending on the customer flow and shifts.

Thank you for your consideration of this conditional land use application.

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**MATANUSKA-SUSITNA BOROUGH**

**Planning and Land Use Department  
Development Services Division**

350 East Dahlia Avenue, Palmer, Alaska 99645  
(907) 861-7822 Fax (907) 861-8158  
E-mail: PermitCenter@matsugov.us

Matanuska-Susitna Borough  
Permit Center

FEB 27 2020

Received

**Driveway Permit Application**

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: 24385

<b>Property Owner (Name):</b>			<b>Applicant/Agent (Name):</b>		
Doug Olson			Sarah Lorimer		
<b>Mailing Address:</b>			<b>Mailing Address:</b>		
PO Box 876232			same		
<b>City:</b>	<b>State:</b>	<b>Zip:</b>	<b>City:</b>	<b>State:</b>	<b>Zip:</b>
Wasilla	AK	99687			
<b>Phone:</b>		<b>Fax (optional):</b>	<b>Phone:</b>		<b>Fax (optional):</b>
907-947-8181					
<b>Email (optional):</b>			<b>E-mail (optional):</b>		
sarah@countrycannabisak.com					
<b>Site Address:</b>			<b>Driveway Location Will Be Marked With:</b>		
2323 S Trunk Rd			Existing		
<b>Property Tax ID #:</b>			<b>Expected Completion Date:</b>		
7432000L011A					
<b>Applying for Access Onto:</b>		<b>IF ACCESS IS ONTO A PAVED ROAD, APRON LENGTH TO</b>			
S Trunk Rd		<b>BE 2' MINIMUM</b>			

The Permittee certifies that he/she is the owner, lessee, or authorized agent of the property, that the conditions, restrictions and regulations of the borough will be complied with and that he/she will maintain the driveway in accordance with the provisions and standards attached to this permit, and any applicable code. I hereby certify that the information submitted on this application is complete and accurate to the best of my knowledge and that I am the applicant or agent of the same as stated in the attached documentation. By signing this permit I acknowledge and agree to accept the Driveway Standards and Provisions attached to this permit.

PERMITTEE:   
Signature of Permittee

DATE: 2/27/20

PERMIT GRANTED BY: \_\_\_\_\_  
Borough Representative

DATE: \_\_\_\_\_

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**Owner Permission Letter for Use and Occupancy of Premises**

Matanuska-Susitna Borough  
Planning and Land Use Department  
Development Services Division  
350 East Dahlia Avenue  
Palmer, Alaska 99645

Re: Country Cannabis, LLC. DBA: Country Cannabis. – 2323 S. Trunk Road., Palmer, AK  
99645

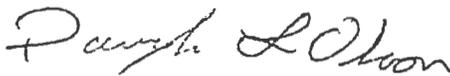
Dear Planning Office,

I, Douglas L. Olson, hereby grant permission for Country Cannabis, LLC., dba Country Cannabis to lease and use my property located at 2323 S. Trunk Road., Palmer, AK 99645 as a marijuana retail establishment. I am aware that Country Cannabis will be commercially selling marijuana on this property once a license is granted by the Alcohol & Marijuana Control Board.

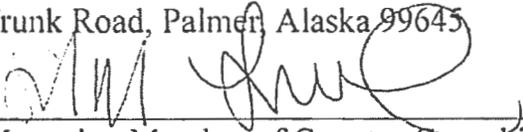
I authorize Jana Weltzin and her firm of JDW, LLC, and Sarah Lorimer and Jennifer Johnston to take all necessary actions to apply for and obtain one (1) conditional use permits for the operation of a marijuana retail store of the property owned by Douglas L Olson located at Meadow VLY ADD 1 RSB L/11 LOT(S): 11, 12 & 13A, commonly known as 2323 S Trunk Road, Palmer, Alaska 99645.

If you have any questions regarding this correspondence, please feel free to contact me.

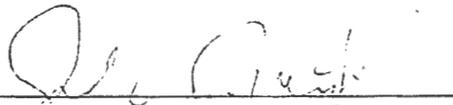
Sincerely,

  
Douglas L. Olson

As managing member of Country Cannabis, LLC, I authorize Jana Weltzin and her firm of JDW, LLC to take all necessary actions to apply for and obtain one (1) conditional use permits for the operation of a marijuana retail store of the property owned by Douglas L Olson located at Meadow VLY ADD 1 RSB L/11 LOT(S): 11, 12 & 13A, commonly known as 2323 S Trunk Road, Palmer, Alaska 99645



Managing Member of Country Cannabis, LLC  
Sarah Lorimer



Managing Member of Country Cannabis, LLC  
Jennifer Johnston



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Country Cannabis' store location is directly above Float Alaska. The entry of this business is located in a separate building with the only access being through an underground tunnel. There is no access to Float Alaska from Country Cannabis' retail store. See Image Below:



image-2.PNG



Proposed signage Sign #1



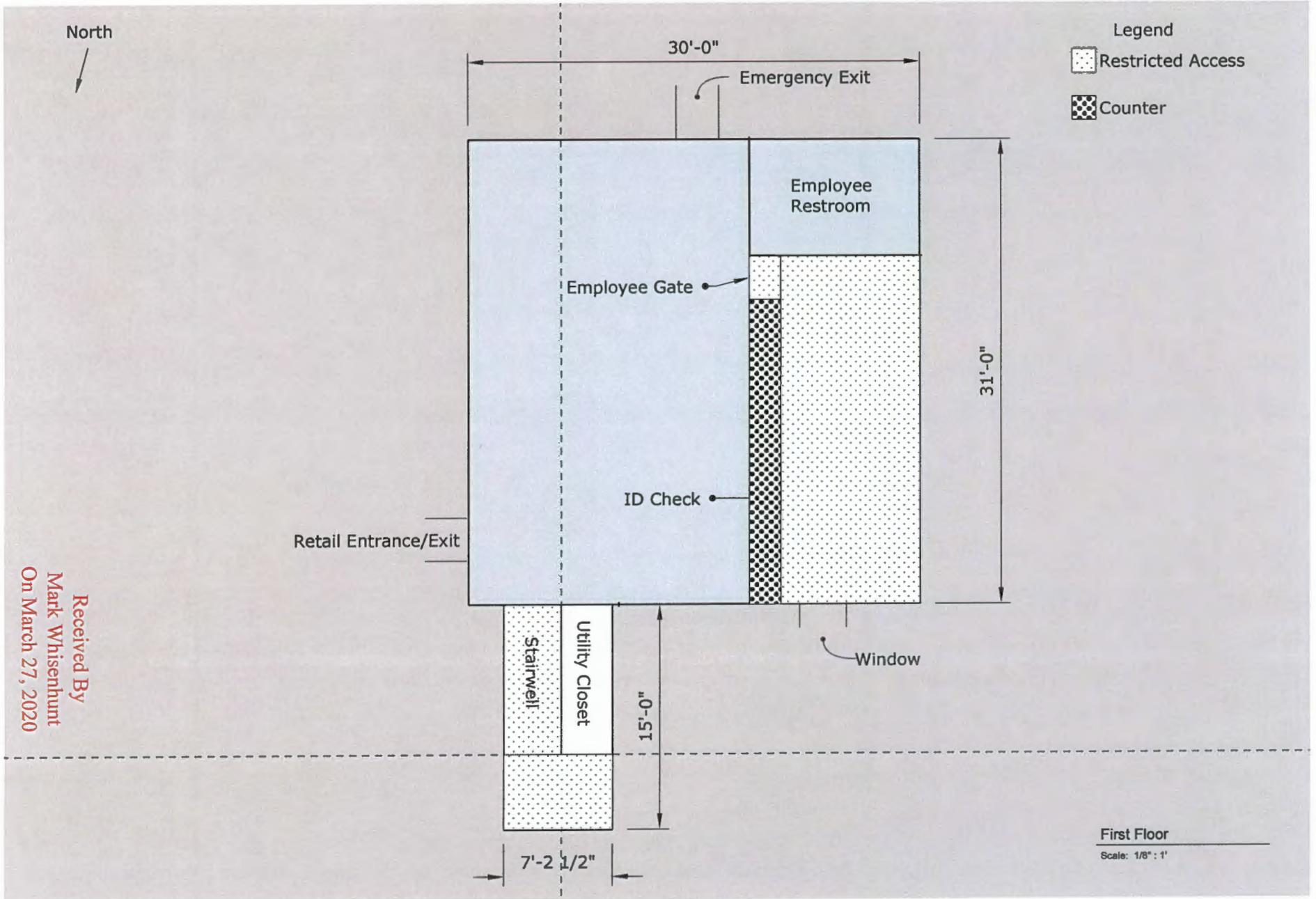
Proposed Signage # 2

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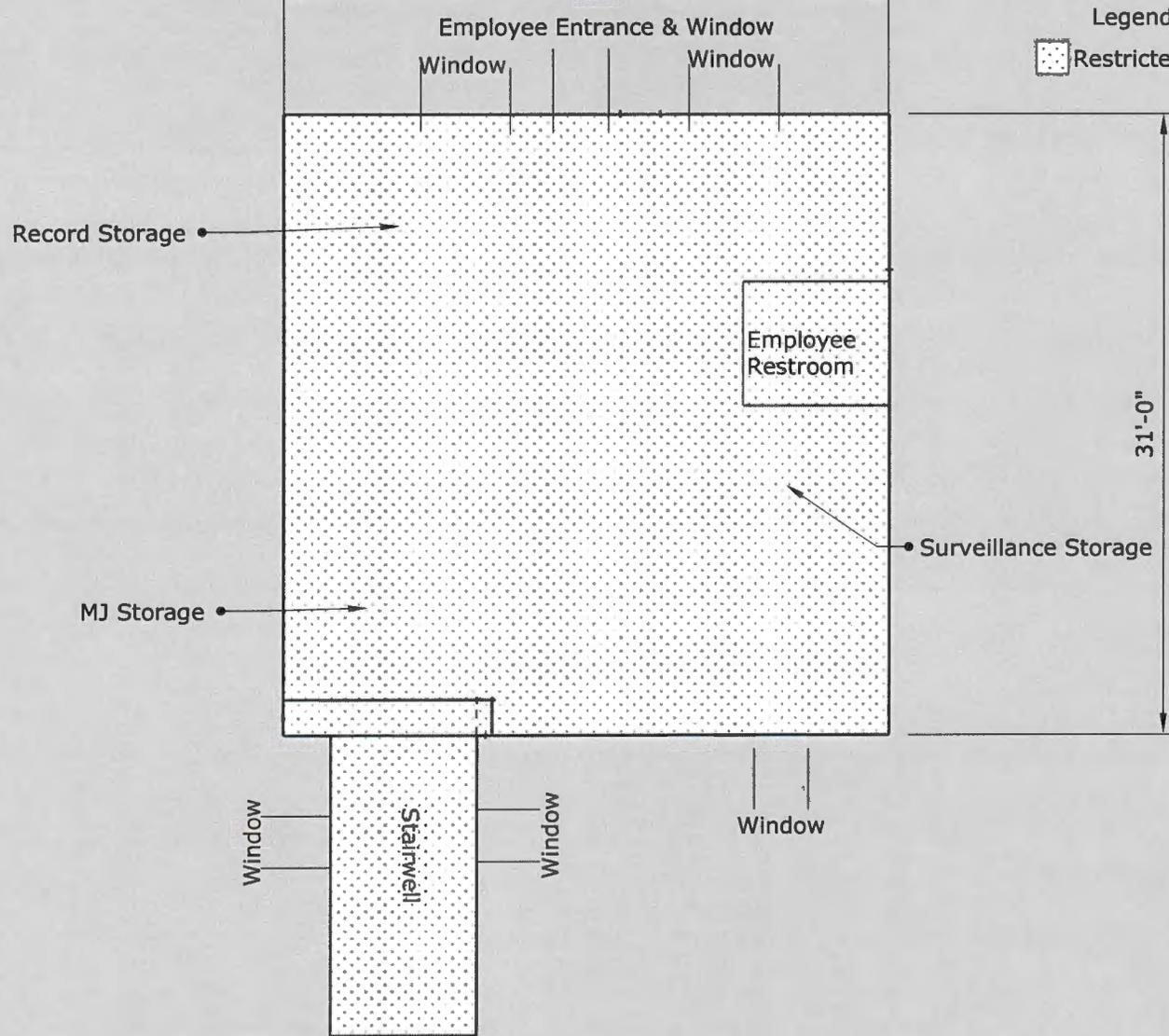
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Diagram #1 First Floor



Received By  
Mark Whisenhunt  
On March 27, 2020

Diagram #1 Second Floor  
30'-0"



Legend  
[Dotted Box] Restricted Access

Received By  
Mark Whisenhunt  
On March 27, 2020

Second Floor

Scale: 1/8" = 1'

### Legend

-  Roads
-  1,000' Buffer
-  Country Cannabis
-  Parcels



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 507-861-7801

Date: 3/2/2020

1 inch = 350 feet

0 350 700



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MSB • Department of Emergency Services • Central Mat-Su Fire Department

## Fire & Life Safety Division

Physical: Station 51 – 1911 S Terrace Court, Palmer

Mailing: 101 W Swanson Avenue • Wasilla, AK 99654

Office (907) 861-8030 • Fax (907) 861-8157 • E-mail: FireCode@matsugov.us

---



March 13, 2020

Sarah Lorimer  
Country Cannabis  
PO Box 876232  
Wasilla AK 99687

Matanuska - Susitna Borough  
Development Services

MAR 13 2020

Received

SUBJECT: Colony Barn  
FIRE SERVICE AREA: Central Mat-Su FSA  
PLAN REVIEW: 2020-093  
TYPE OF CONSTRUCTION: V-B  
OCCUPANCY TYPE: B/M  
2012 INTERNATIONAL BUILDING AND FIRE CODE

Dear Sarah Lorimer:

Plans for remodeling the subject facility have been reviewed by this office for conformity with the State Fire Safety Regulations and are hereby approved as submitted. Enclosed is a certificate of approval that must be posted on the premises until completion of the remodel work. Any changes to the approved plans must be submitted to this office for review and approval. **You are prohibited to occupy this building until construction is completed for which plans have been examined and approved.** After completion of the construction, you must schedule a certificate of occupancy inspection prior to opening.

It must be understood that the inclusion of and compliance with State Fire Safety Regulations does not preclude the necessity of compliance with the requirements of local codes and ordinances. Also understand that approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulations. The plans have not been reviewed for compliance with the Federal Americans with Disabilities Act or structural requirements.

If we can be of further assistance in this matter, please contact us at the address above.

Sincerely,

A handwritten signature in black ink, appearing to read "Donald C. Cuthbert".

Donald C. Cuthbert  
Fire Marshal

## Fire and Life Safety Division

Central Mat-Su Fire Service Area No. 130 - District 1  
 Department of Emergency Services, Matanuska-Susitna Borough



Plan Review #2020-093

Colony Barn

Tenant Improvement Approval

This is to certify that the plans for this building were reviewed by CMSFD's Fire & Life Safety Division on 3/13/2020, for conformance with AS 18.70.010–100; 13 AAC 50.027. This certificate becomes invalid 180 days after the work on the site is commenced within 180 days after issuance, or if the work authorized is suspended or abandoned for a period of 180 days after the time work is commenced. An extension may be requested at the above mentioned address.

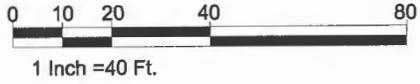
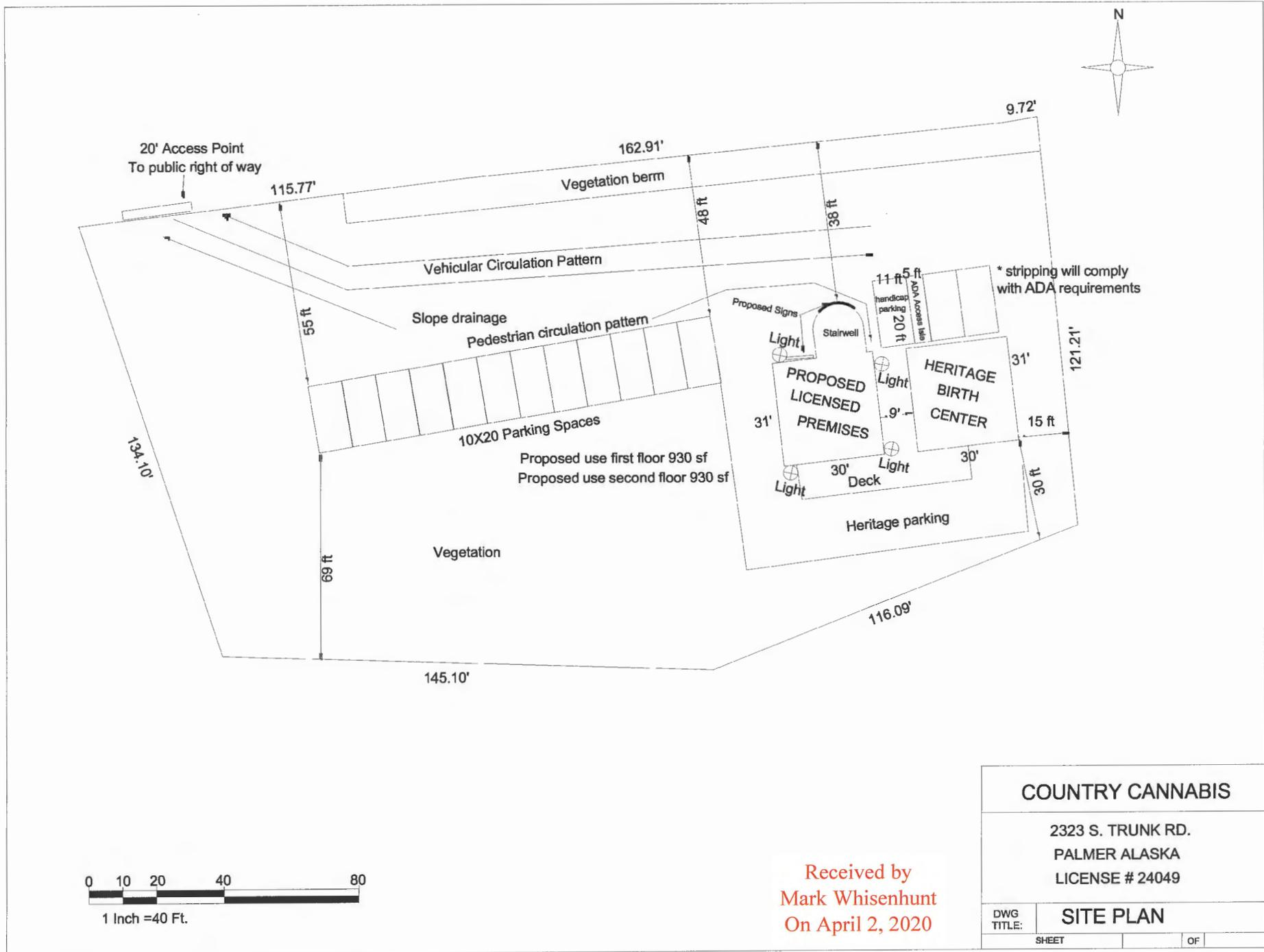
This certificate shall be posted in a conspicuous place on the premises listed above and shall remain posted until construction is completed. **Notice:** Any changes or modifications to the approved plans must be resubmitted for review by the Central Mat-Su Fire Department.

  
 by Donald C. Cuthbert, Fire Marshal

Authority: AS 18.70.080, 13 AAC 50.075 & MSB RS 06-054

# **SITE PLAN**

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Received by  
Mark Whisenhunt  
On April 2, 2020

<b>COUNTRY CANNABIS</b>	
2323 S. TRUNK RD. PALMER ALASKA LICENSE # 24049	
DWG TITLE:	<b>SITE PLAN</b>
SHEET	OF

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# COMMENTS

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Agency Comments

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**Mark Whisenhunt**

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**From:** Timothy Breeden <opt.tim.us.breeden@gmail.com>  
**Sent:** Tuesday, May 12, 2020 8:33 PM  
**To:** Mark Whisenhunt  
**Cc:** Danny Sereyko; GatewayCommunityCouncil@gmail.com; Kimberly Elliott; Tim Alley; Reginald Bright  
**Subject:** Re: Country Cannabis

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Mr. Whisenhunt,

Gateway Community Council held a virtual meeting at 7:00pm on 4/29/2020, there was a quorum. The meeting announcement was published and shared approximately 28 days in advance of the meeting. Among other topics, the board discussed the Proposed Cannabis Business. We were joined via teleconference by the business. The board asked questions about any additional concerns community members raised in the past. The board also reviewed the Facebook posts regarding the public notice of the proposed use, there was no substantive comments or concerns for the board to relay from the Facebook post and directly ask and have addressed by the business.

Generally, the business owners expressed a sincere desire to contribute to the community by attempting to actively address illegitimate activity taking place on a nearby property (a parking lot just down the hill and across S Trunk Rd).

The council discussed another property used as a dispensary within the community council area and recounted questions raised by the community in a past. That meeting was much better attended, because it was not impacted by COVID-19. To date, the council has not been made aware of any adverse impacts resulting from that other cannabis business.

The community council board did not take a position on the proposed use, other than provide the public an avenue to have their concerns addressed by the business.

The council board members expressed the desire to not impede the business owners efforts to move forward with their process with the borough. The board was grateful to give members an opportunity to weigh in on the topic.

Meeting minutes are in process and will be available at a later date.

Respectfully,

Timothy R Breeden, Treasurer

Sent from my iPhone

On May 12, 2020, at 10:35 AM, Mark Whisenhunt <Mark.Whisenhunt@matsugov.us> wrote:

Hi Tim,

Did the Gateway CC take any action related to Country Cannabis? If so, can you forward me the information?

Respectfully,

Mark Whisenhunt  
Planner II  
Matanuska-Susitna Borough  
Office: (907) 861-8527  
[mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us)

## Mark Whisenhunt

---

**From:** Theresa Taranto  
**Sent:** Tuesday, May 26, 2020 2:13 PM  
**To:** Mark Whisenhunt  
**Subject:** RE: Request for Review: Country Cannabis CUP

FIRM 8120, X Zone  
 Core Area  
 No other comments.

Thank you,

*Theresa Taranto*

Mat-Su Borough  
 Development Services  
 Administrative Specialist

350 E Dahlia Ave.  
 Palmer, Alaska 99645  
 907-861-8574  
 www.matsugov.us

**From:** Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>  
**Sent:** Friday, May 15, 2020 2:06 PM  
**To:** allen.kemplen@alaska.gov; tucker.hurn@alaska.gov; melanie.nichols@alaska.gov; kyler.hylton@alaska.gov; mearow@matanuska.com; row@mtasolutions.com; row@enstarnaturalgas.com; ospdesign@gci.com; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; Jude Bilafer <Jude.Bilafer@matsugov.us>; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Karol Riese <Karol.Riese@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; George McKee <George.McKee@matsugov.us>; GatewayCommunityCouncil@gmail.com; stan.gillespie@gmail.com; Timothy Breeden <opt.tim.us.breeden@gmail.com>  
**Subject:** Request for Review: Country Cannabis CUP

Date: May 15, 2020  
 To: Various Governmental Agencies  
 From: Mark Whisenhunt, Planner II  
 Subject: Request for Review and Comments Governmental Agencies  
 Project: Conditional Use Permits for a marijuana retail facility.  
 Location: 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A);  
 within Township 17 North, Range 1 East, Section 16, Seward Meridian  
 Applicant: Jana Weltzin, on behalf of Country Cannabis, LLC

An application for a conditional use permit under MSB 17.60 – Conditional Uses, has been submitted for the operation of a marijuana retail facility. The Planning Commission will conduct a public hearing for this request on June 15, 2020.

Application material may be viewed online at [www.matsugov.us](http://www.matsugov.us) by clicking on "All Public Notices & Announcements." Application material may also be reviewed at the Borough Permit Center. A direct link to the application material is here:

<https://www.matsugov.us/publicnotice/country-cannabis-marijuana-retail-facility-conditional-use-permit>

Written comments are due on or before ***June 1, 2020*** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Respectfully,

Mark Whisenhunt  
Planner II  
Matanuska-Susitna Borough  
Office: (907) 861-8527  
[mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us)

## Mark Whisenhunt

---

**From:** Fire Code  
**Sent:** Friday, May 15, 2020 2:40 PM  
**To:** Mark Whisenhunt  
**Subject:** RE: Request for Review: Country Cannabis CUP

Country Cannabis has successfully completed the Fire and Life Safety Division's requirements. We conducted a final inspection on 4/9/2020, and notified AMCO of their compliance with our department.



*Michelle Wagner*

Permit Technician

**CMSFD – Fire & Life Safety Division (Fire Code)**

Matanuska Susitna Borough – Department of Emergency Services

Phone: (907) 861-8030 – Email: FireCode@matsugov.us

**From:** Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>  
**Sent:** Friday, May 15, 2020 2:06 PM  
**To:** allen.kempen@alaska.gov; tucker.hurn@alaska.gov; melanie.nichols@alaska.gov; kyler.hylton@alaska.gov; mearow@matanuska.com; row@mtasolutions.com; row@enstarnaturalgas.com; ospdesign@gci.com; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; Jude Bilafer <Jude.Bilafer@matsugov.us>; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Karol Riese <Karol.Riese@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; George McKee <George.McKee@matsugov.us>; GatewayCommunityCouncil@gmail.com; stan.gillespie@gmail.com; Timothy Breeden <opt.tim.us.breeden@gmail.com>  
**Subject:** Request for Review: Country Cannabis CUP

**Date:** May 15, 2020  
**To:** Various Governmental Agencies  
**From:** Mark Whisenhunt, Planner II  
**Subject:** Request for Review and Comments Governmental Agencies  
**Project:** Conditional Use Permits for a marijuana retail facility.  
**Location:** 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A);  
 within Township 17 North, Range 1 East, Section 16, Seward Meridian  
**Applicant:** Jana Weltzin, on behalf of Country Cannabis, LLC

An application for a conditional use permit under MSB 17.60 – Conditional Uses, has been submitted for the operation of a marijuana retail facility. The Planning Commission will conduct a public hearing for this request on June 15, 2020.

Application material may be viewed online at [www.matsugov.us](http://www.matsugov.us) by clicking on “All Public Notices & Announcements.” Application material may also be reviewed at the Borough Permit Center. A direct link to the application material is here:

<https://www.matsugov.us/publicnotice/country-cannabis-marijuana-retail-facility-conditional-use-permit>

Written comments are due on or before June 1, 2020 and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Respectfully,

Mark Whisenhunt  
Planner II  
Matanuska-Susitna Borough  
Office: (907) 861-8527  
[mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us)

Public Comments

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Matanuska-Susitna Borough  
 Development Services Division  
 350 E. Dahlia Avenue  
 Palmer, Alaska 99645

Matanuska-Susitna Borough  
 Development Services

JUN 01 2020

Received

52539B01L010                      4  
 COLBERG SIGURD E & MARY F  
 7091 E MATANUSKA SPUR  
 PALMER AK 99645

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

**Applications:** Conditional Use Permits for a marijuana retail facility  
**MSB Code Section:** MSB 17.60 – Conditional Uses  
**Applicant:** Jana Weltzin, on behalf of Country Cannabis, LLC  
**Location:** 2323 S. Trunk Road (Tax ID# 7432000L011A);  
 within Township 17 North, Range 1 East, Section 16, Seward Meridian  
**Request:** An application for a conditional use permit under MSB 17.60 – Conditional Uses, has been submitted for the operation of a marijuana retail facility.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **June 15, 2020 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. **\*Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough Website. The public is encouraged to check the Borough Website prior to attending the public hearing for any changes to the meeting schedule or method.** The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at: [www.matsugov.us](http://www.matsugov.us) by clicking on "All Public Notices & Announcements." Application material may also be viewed at the Borough Permit Center. For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. **The public may provide verbal testimony in person at the meeting or telephonically by calling 1-833-949-2500.** Once you call in, you will be asked by the call in studio moderator your Name, phone number, address, and what case you would like to speak on. When it is your turn to speak under public testimony, you will be unmuted by the studio moderator. You will be muted until the case you wish to speak on is presented. Once you are unmuted please state your name for the record, and provide your comments. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to [mark.whisenhunt@matsugov.us](mailto:mark.whisenhunt@matsugov.us). In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: [www.matsugov.us](http://www.matsugov.us), in the Borough Clerk's office, and at various libraries within the borough.

Written comments are due on or before **June 1, 2020** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Name: SIGURD & MARY COLBERG                      Mailing Address: 7091 E. MATANUSKA SPUR, PALMER, AK 99645

Location/Legal Description of your property: 7230 E DENELLE ST. PALMER AK 99645 / 2539 B01 L010

Comments: WE ARE OPPOSED TO THIS MARIJUANA FACILITY LOCATION. IT IS SAME BUILDING/ADJACENT TO A "BIRTHING CENTER", IT IS ONLY 800 FEET FROM A CHURCH AND WITHIN A ¼ MILE RADIUS 14 HOMES (SOME WITH SMALL CHILDREN & BABIES). THE ROUNDABOUT & NEARBY ON RAMP TO PARKS HWY ALREADY HAS SIGNIFICANT CONGESTION AND THIS WILL ONLY ADD TO THIS PROBLEM (WITH A HIGHER POTENTIAL OF IMPAIRED DRIVERS COMMING/GONING TO A "POT SHOP" CREATING A SAFETY CONCERN OF MORE TRAFFIC ACCIDENTS, THERE IS ALREADY A "POT SHOP" LESS THAN 3 MILES AWAY (GREEN JAW). IT IS RECOMMENDED THE PERMIT BE DENIED AT THIS LOCATION).

Note: Vicinity Map Located on Reverse Side

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**PLANNING COMMISSION  
RESOLUTION**

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By: Mark Whisenhunt  
Introduced: May 18, 2020  
Public Hearing: June 15, 2020  
Action:

**MATANUSKA-SUSITNA BOROUGH  
PLANNING COMMISSION RESOLUTION NO. PC 20-17**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A MARIJUANA RETAIL FACILITY AT 2323 S. TRUNK ROAD, SUITE #3 (TAX ID# 7432000L011A); WITHIN TOWNSHIP 17 NORTH, RANGE 1 EAST, SECTION 16, SEWARD MERIDIAN.

---

WHEREAS, an application has been received from Jana Weltzin on behalf of Country Cannabis, LLC for a conditional use permit for the operation of a marijuana retail facility at 2323 S. Trunk Road, Suite #3 (Tax ID# 7432000L011A); within Township 17 North, Range 1 East, Section 16, Seward Meridian; and

WHEREAS, MSB 17.60.030(A)(4) requires a conditional use permit for the operation of a marijuana retail facility; and

WHEREAS, unless this type of use is maintained under and in accordance with a lawfully issued permit, marijuana retail facilities are declared to be a public nuisance; and

WHEREAS, The proposed retail facility will be wholly contained within the commercial structure approximately 1,860 square feet in size; and

WHEREAS, There is no industrial equipment or processes that generate noise associated with the proposed use; and

WHEREAS, ITE Trip Generation 10<sup>th</sup> Edition indicates a "Marijuana Dispensary" 1000 square feet in size is expected to produce 29.93 trips per peak PM hour. The structure that will contain the proposed marijuana retail facility is approximately 1,860 square feet and based on these calculations is expected to produce approximately 56 trips per peak PM hour; and

WHEREAS, ITE Trip Generation 10<sup>th</sup> Edition indicates a "Marijuana Dispensary" 1000 square feet in size is expected to produce 259.31 trips per day. The structure that will contain the proposed marijuana retail facility is approximately 1,860 square feet and based on these calculations is expected to produce approximately 483 trips per day; and

WHEREAS, The proposed use will be located in one of two colony barns located on the property, which have been remodeled to accommodate commercial uses; and

WHEREAS, The subject property has been used commercially since at least 2005; and

WHEREAS, The subject property is located approximately 200 feet southwest of the South Trunk Road and East Fireweed Road intersection (roundabout). It is located on top of a ridge and surrounded by the South Trunk Road right-of-way on three sides. Residential homes are located at the base of the ridge to the southeast. South Trunk Road fronts the property to the northwest. More commercial businesses are beyond Trunk Road to the north. The

Parks Highway and its frontage roads are to the north and northeast; and

WHEREAS, The property is located in the Core Area; however, there are no other specific zoning designations for this parcel; and

WHEREAS, The proposed use accesses South Trunk Road from an existing, Borough permitted driveway; and

WHEREAS, The closest residential structure is located to the southeast and is approximately 140 feet away from the proposed use; and

WHEREAS, The application material indicates an illuminated sign will be installed on the north side of the proposed facility and will not interfere with any of the residential homes in the area; and

WHEREAS, The proposed hours of operation are 8:00 a.m. until 12:00 a.m., daily; and

WHEREAS, According to the application material, the proposed use is located approximately 51 feet from the South Trunk Road right-of-way to the northwest, approximately 171 feet to the southwest, approximately 59 feet to the northeast, and approximately 40 feet to the property line to the southeast; and

WHEREAS, According to the application material, lighting associated with the proposed use will be shielded and downward

directional to minimize unwanted from leaving the subject property; and

WHEREAS, Consumption of marijuana is prohibited at the site; and

WHEREAS, Persons under the age of 21 are prohibited from entering the facility; and

WHEREAS, According to the application material, loitering will not be allowed; and

WHEREAS, The closest school (Machetanz Elementary School) is approximately 9,800 feet away from the proposed use; and

WHEREAS, South Trunk Road is considered a minor arterial road and is capable of safely accommodating high volumes of traffic; and

WHEREAS, According to the application material, the use has a security plan in place, which includes education of employees on all security measures; and

WHEREAS, Security cameras, motion detectors, and lighting are used to monitor all activities at the facility; and

WHEREAS, The Mat-Su Borough Central Mat-Su Fire Department has issued Plan Review #2020-093, for the commercial structure; and

WHEREAS, The commercial structure is in full compliance with the applicable State of Alaska fire code; and

WHEREAS, The commercial structure meets all applicable setback requirements required by MSB 17.55 - Setbacks and Screening Easements; and

WHEREAS, All of the required site plans and operational information have been provided by the applicant; and

WHEREAS, According to the application material, odor control measures such as, using sealed containers and pre-package products will be in place; and

WHEREAS, During the April 2-3, 2020 State of Alaska Marijuana Control Board meeting, the Board voted to approve Country Cannabis Retail Marijuana Store License #24049 with delegation; and

WHEREAS, A copy of the delegated approval for the applicant's marijuana retail facility has been provided to the MSB Development Services Division; and

WHEREAS, The applicant has provided a copy of the approved Plan Review #2020-093; and

WHEREAS, A marijuana retail facility 1,860 square feet in size is required to provide six parking spaces with one ADA compliant space; and

WHEREAS, Twelve (12) customer parking spaces are being provided; and

WHEREAS, Each space is 20 feet in length and ten feet wide; and

WHEREAS, There are no vertical clearance limitations on site;  
and

WHEREAS, ADA guidelines require one van accessible parking space, 11 feet wide with a five-foot wide parking aisle, for every 1 to 25 spaces; and

WHEREAS, According to the site plan, one van accessible parking space, 11 feet wide with a five-foot wide parking aisle is being provided; and

WHEREAS, the Planning Commission has reviewed this application with respect to standards set forth in MSB 17.60.100, 17.60.150 and 17.60.170; and

WHEREAS, the Planning Commission conducted a public hearing on June 15, 2020 on this matter.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby adopts the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 20-17:

1. The proposed use, with conditions, will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100 (B) (1)).
2. The proposed use, with conditions, will not be harmful to the public health, safety, convenience, and welfare (MSB 17.60.100 (B) (2)).

3. Sufficient setbacks, lot area, buffers or other safeguards are being provided (MSB 17.60.100(B)(3)).
4. The application material meets all of the requirements of this chapter (MSB 17.60.100(B)(4)).
5. The proposed use, with conditions, will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).
6. Measures are in place, with conditions, to reduce negative affects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).
7. The proposed use, with conditions, is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).
8. The proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).
9. The applicant has provided documentation demonstrating all applicable licenses pertaining to 3 AAC 306.005 have been obtained (MSB 17.60.150(D)(1)).
10. The applicant has provided documentation demonstrating the proposed use is in full compliance with all applicable fire code (MSB 17.60.150(D)(2)).
11. The proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).

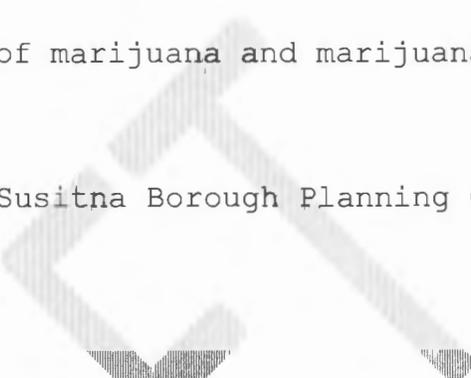
12. The proposed use meets the minimum number of parking space for retail facilities (MSB 17.60.170(B)).
13. The proposed use complies with current ADA parking space guidelines (MSB 17.60.170(C)).

BE IT FURTHER RESOLVED, that the Planning Commission finds this application does meet the standards of MSB 17.60 and does hereby approve the conditional use permit for the operation of a marijuana retail facility, with the following conditions:

1. The operation shall comply with all applicable state and local regulations.
2. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the Conditional Use Permit shall be required prior to any expansion of the conditional use.
3. Borough staff shall be permitted to enter premises subject to this permit to monitor compliance with permit requirements. Such access will at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as necessary to monitor compliance. Denial of access to Borough staff shall be a violation of this Conditional Use Permit.

4. The ADA parking access aisle shall be painted, and shall be compliant with the current ADA guidelines, within one year of the date of decision.
5. The hours of operation shall not exceed 8:00 a.m. - 12:00 a.m., daily.
6. On-site consumption of marijuana and marijuana products is prohibited.

ADOPTED by the Matanuska-Susitna Borough Planning Commission  
this \_\_\_ day of \_\_\_\_\_, 2020.

  
\_\_\_\_\_  
COLLEEN VAGUE, Chair

ATTEST

\_\_\_\_\_  
KAROL RIESE, Acting Planning  
Clerk

(SEAL)

YES:

NO:

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# **CORRESPONDENCE & INFORMATION**

(Page 247 - 252)

# **CORRESPONDENCE & INFORMATION**



**Mary Brodigan**

---

**From:** Mary Miller  
**Sent:** Monday, June 1, 2020 8:54 AM  
**To:** Mary Brodigan  
**Cc:** Karol Riese  
**Subject:** FW: North Lake Community Council Resolution  
**Attachments:** NLCC Resolution To MSB for LMCF (1).pdf

For you ... 😊

**From:** Lonnie McKechnie <Lonnie.McKechnie@matsugov.us>  
**Sent:** Monday, June 1, 2020 8:52 AM  
**To:** Debra Wetherhorn <Debra.Wetherhorn@matsugov.us>; Mary Miller <Mary.Miller@matsugov.us>  
**Subject:** FW: North Lake Community Council Resolution

Deb – please put in the next Assembly packet.

Mary – thought you might want to provide this to the Planning Commission.

Thanks,  
Lonnie

**From:** North Lakes Community Council <[northlakescommunitycouncil@gmail.com](mailto:northlakescommunitycouncil@gmail.com)>  
**Sent:** Sunday, May 31, 2020 9:53 PM  
**To:** Lonnie McKechnie <[Lonnie.McKechnie@matsugov.us](mailto:Lonnie.McKechnie@matsugov.us)>  
**Subject:** North Lake Community Council Resolution

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dear Lonnie,

The North Lakes Community Council in our meeting on May 27th agreed to support the attached resolution for a 500 foot set back for marijuana cultivation facilities.

Please find our resolution in the attachment.

Sincerely,

Michele Shapiro  
President

North Lakes Community Council

**NORTH LAKES COMMUNITY COUNCIL  
RESOLUTION**

**A NORTH LAKES COMMUNITY COUNCIL (NLCC) RESOLUTION REQUESTING THE MATANUSKA SUSITNA BOROUGH (MSB) ASSEMBLY ADD THE REQUIREMENT OF A 500 FOOT SETBACK FROM MSB SCHOOL GROUNDS FOR ALL LIMITED MARIJUANA CULTIVATION FACILITY LICENSES.**

**WHEREAS, over 18,000 students attend 47 schools in the MSB and 11 of those schools are in the NLCC council area, and;**

**WHEREAS, we are concerned for the safety of our students in the MSB, and;**

**WHEREAS, State statute 3 AAC 306.010 requires all marijuana facilities to not be within 500 feet of a school, and;**

**WHEREAS, MSB Code uses a straight line of measurement for the setback from a school ground—measuring from the marijuana business facility to the outer boundary of the school lot line, and;**

**WHEREAS, MSB Code requirements enforce a 1,000 foot setback from schools for all Marijuana Related Facilities except Limited Marijuana Cultivation Facilities, and;**

**WHEREAS, MSB only requires a Limited Marijuana Cultivation Facility have paid property taxes and the borough business license fee, and does not currently specify any setback requirement, and;**

**WHEREAS, MSB defers to the Alaska Marijuana Control Office (AMCO) to uphold the state Limited Marijuana Cultivation Facility license 500 foot setback from all of Alaska's schools, and;**

**WHEREAS, Mr. Happy Farms LLC, a Limited Marijuana Cultivation Facility, was approved at 60 feet from the John D. Shaw Elementary lot line September 2019 by the AMCO Board, and;**

**WHEREAS, MSB Planning Department currently receives all Limited Marijuana Cultivation Facility license applications and knows where all MSB schools are located making the addition of a 500 foot school setback requirement easily incorporated and upheld at the borough level; and at no additional cost to the MSB, and;**

**WHEREAS, MSB Assembly can protect all our MSB schools and our youth by adding this setback requirement, which mirrors the AMCO setback regulations for Limited Marijuana Cultivation Facilities, and further insures that regulations are enforced at the MSB level as they are for all other marijuana licenses.**

**NOW, THEREFORE, BE IT RESOLVED, THAT NLCC REQUESTS THAT MSB ADD THE 500 FOOT SETBACK FROM SCHOOLS TO THE MSB CODE FOR LIMITED MARIJUANA CULTIVATION FACILITY LICENSES, FOR THE PROTECTION OF OUR SCHOOLS AND OUR YOUTH.**

**As approved this \_\_\_\_ Day of \_\_\_\_ 2020.**

**ATTEST:**

\_\_\_\_\_  
Michele Shapiro, NLCC President

\_\_\_\_\_  
Erin Leaders, NLCC Secretary

**Mary Brodigan**

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**From:** Debra Wetherhorn  
**Sent:** Monday, June 1, 2020 9:07 AM  
**To:** North Lakes Community Council  
**Cc:** Lonnie McKechnie; Mary Brodigan  
**Subject:** FW: North Lake Community Council Resolution  
**Attachments:** NLCC Resolution To MSB for LMCF (1).pdf

Morning Michele,

Would you please submit a signed version so we may move forward? Thank you ☺ Debbie

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**From:** Lonnie McKechnie <Lonnie.McKechnie@matsugov.us>  
**Sent:** Monday, June 1, 2020 8:52 AM  
**To:** Debra Wetherhorn <Debra.Wetherhorn@matsugov.us>; Mary Miller <Mary.Miller@matsugov.us>  
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Dear Lonnie,

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Sincerely,

Michele Shapiro  
President

North Lakes Community Council

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**COMMISSION BUSINESS**  
**Upcoming PC Agenda Items**

(Page 253 - 262)

**COMMISSION BUSINESS**





**MATANUSKA-SUSITNA BOROUGH**  
**Planning and Land Use Department**  
 350 East Dahlia Avenue • Palmer, AK 99645  
 Phone (907) 861-7833 • Fax (907) 861-7876  
 Email: [planning@matsugov.us](mailto:planning@matsugov.us)

**MEMORANDUM**

DATE: June 5, 2020  
 TO: Planning Commissioners  
 FROM: Eileen Probasco, Director of Planning and Land Use  
 SUBJECT: Items tentatively scheduled for future PC Meetings or Administrative Actions and Updates on PC items sent to the Assembly

**July 6, 2020** (*MSB Assembly Chambers*)

**Introduction for Public Hearing Quasi-Judicial**  
 (*None*)

**Introduction for Public Hearing Legislative**

- **Resolution PC 20-23**, recommending Assembly approval of an Ordinance Amending MSB 15.24.030(C) The Matanuska-Susitna Borough Lake Management Plan; Adopting MSB 17.59.063 Adoption and Amendment of Regulations on Lakes; and MSB 17.59.065 Regulations on Lakes; and Repealing MSB 15.24.031 Initiating and Amending Lake Management Plans; MSB 17.58 Motorized Uses on Lakes and Waterways; and MSB 17.59.060 Limitation of Uses in Their Entirety. Public Hearing: July 20, 2020. (*Staff: Eileen Probasco*)
- **Resolution PC 20-24**, recommending Assembly approval of an ordinance amending MSB 43.05.015(B)(3) to adopt the 2020 Subdivision Construction Manual. Public Hearing: July 20, 2020. (*Staff: Eileen Probasco*)
- **Resolution PC 20-25**, recommending Assembly approval of an ordinance adopting MSB 11.12 Driveway Standards in order to ensure driveways within borough right-of-ways minimize negative impact to drainage, maintenance, and safety of the traveling public. Public Hearing: July 20, 2020. (*Staff: Eileen Probasco*)

**Agency/Staff Reports**  
 (*None*)

**Land Use Classifications**  
 (*None*)

**Public Hearing Quasi-Judicial**

- **Resolution PC 20-18**, a request under MSB 17.65 Variances, for a variance from the 75-foot shoreline setback requirement under MSB 17.55, located at 5782 S. Big Lake Road (Tax ID# 6142000L006); within 17 North, Range 3 West, Section 29, Seward Meridian. (*Applicant: Dennelle Seetomona on behalf of Janice Ellsworth, Staff: Joe Metzger*).
- **Resolution PC 20-19**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 2439 S. Ridgecrest Road (Tax ID# 17N02W20B005); within Township 17 North, Range 2 East, Section 20, Seward Meridian. (*Applicant: Heather Allen, on behalf of Bristol Bay Bud Company, Staff: Joe Metzger*).
- **Resolution PC 20-20**, a Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a marijuana cultivation facility, located at 47265 S. Brookestar’s Circle; (Tax ID# 22N04W01A004); within Township 22 North, Range 4 West, Section 01, Seward Meridian. (*Applicant: Kenneth Champ, of Arctic Hydroponics, LLC, Staff: Mark Whisenhunt*).
- **Resolution PC 20-21**, a Conditional Use Permit in accordance with MSB 17.30— Conditional Use Permit (CUP) for Earth Materials Extraction Activities, for the extraction of approximately 407,300 cubic yards of earth material from a 19-acre site within two parcels totaling 160 acres, located within Township 17 North, Range 1 East, Sections 1&2, Tax Parcels D21 & D5 (Tax ID# 17N01E02D021 & 17N01E01D005); Seward Meridian. (*Applicant: MSB Land Management Division, Staff: Mark Whisenhunt*).

**Public Hearing Legislative**

(None)

**Unfinished Business**

(None)

**New Business**

(None)

**Commission Business**

- Adjudicatory (*if needed*)
- Upcoming Planning Commission Agenda Items (*Staff: Alex Straw*)

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**July 20, 2020 (MSB Assembly Chambers)****Introduction for Public Hearing Quasi-Judicial**

(None)

**Introduction for Public Hearing Legislative**

- **Resolution PC 20-12**, recommending Assembly adoption of MSB 17.68, Outdoor Shooting Facilities, in order to establish standards for commercial, educational, and nonprofit outdoor shooting facilities. Public Hearing: August 3, 2020. (*Staff: Alex Strawn*)

**Land Use Classifications**  
(None)

**Public Hearing Quasi-Judicial**  
(None)

**Public Hearing Legislative**

- **Resolution PC 20-23**, recommending Assembly approval of an Ordinance Amending MSB 15.24.030(C) The Matanuska-Susitna Borough Lake Management Plan; Adopting MSB 17.59.063 Adoption and Amendment of Regulations on Lakes; and MSB 17.59.065 Regulations on Lakes; and Repealing MSB 15.24.031 Initiating and Amending Lake Management Plans; MSB 17.58 Motorized Uses on Lakes and Waterways; and MSB 17.59.060 Limitation of Uses in Their Entirety. (Staff: Eileen Probasco)
- **Resolution PC 20-24**, recommending Assembly approval of an ordinance amending MSB 43.05.015(B)(3) to adopt the 2020 Subdivision Construction Manual. (Staff: Eileen Probasco)
- **Resolution PC 20-25**, recommending Assembly approval of an ordinance adopting MSB 11.12 Driveway Standards in order to ensure driveways within borough right-of-ways minimize negative impact to drainage, maintenance, and safety of the traveling public. Public Hearing: July 20, 2020. (Staff: Eileen Probasco)

**Unfinished Business**  
(None)

**New Business**  
(None)

**Commission Business**

- Adjudicatory (if needed)
- Upcoming Planning Commission Agenda Items (Staff: Eileen Probasco)

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**August 3, 2020** (MSB Assembly Chambers)

**Introduction for Public Hearing Quasi-Judicial**  
(None)

**Introduction for Public Hearing Legislative**  
(None)

**Agency/Staff Reports**  
(None)

**Land Use Classifications**

*(None)*

**Public Hearing Quasi-Judicial**

*(None)*

**Public Hearing Legislative**

- **Resolution PC 20-12**, recommending Assembly adoption of MSB 17.68, Outdoor Shooting Facilities, in order to establish standards for commercial, educational, and nonprofit outdoor shooting facilities. *(Staff: Alex Strawn)*

**Unfinished Business**

*(None)*

**New Business**

*(None)*

**Commission Business**

- Adjudicatory *(if needed)*
- Upcoming Planning Commission Agenda Items *(Staff: Alex Strawn)*

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**August 17, 2020** *(MSB Assembly Chambers)*

**Introduction for Public Hearing Quasi-Judicial**

*(None)*

**Introduction for Public Hearing Legislative**

- **Resolution PC 20-22**, Recommending Assembly adoption of MSB 17.31 Wetlands Management. Public Hearing: September 21, 2020. *(Staff: Ted Eischeid)*

**Agency/Staff Reports**

- Metropolitan Planning Organization (MPO) and The Official Streets and Highways Plan (OSHP) Presentations. *(Staff: Kim Sollien)*
- Wetlands Management Presentation *(if needed)*. *(Staff: Ted Eischeid)*

**Land Use Classifications**

*(None)*

**Public Hearing Quasi-Judicial**

*(None)*

**Public Hearing Legislative**

*(None)*

**Unfinished Business**

*(None)*

(None)

**Commission Business**

- Adjudicatory (*if needed*)
- Upcoming Planning Commission Agenda Items (*Staff: Alex Strawn*)

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**September 21, 2020** (*MSB Assembly Chambers*)

**Introduction for Public Hearing Quasi-Judicial**

(None)

**Introduction for Public Hearing Legislative**

(None)

**Agency/Staff Reports**

- Borough-wide Comprehensive Plan Presentation. (*Staff: Kim Sollien*)

**Land Use Classifications**

(None)

**Public Hearing Quasi-Judicial**

(None)

**Public Hearing Legislative**

- **Resolution PC 20-22**, Recommending Assembly adoption of MSB 17.31 Wetlands Management. (*Staff: Ted Eischeid*)

**Unfinished Business**

(None)

**New Business**

(None)

**Commission Business**

- Adjudicatory (*if needed*)
- Upcoming Planning Commission Agenda Items (*Staff: Alex Strawn*)

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**Upcoming PC Actions**

Quasi-Judicial

- Alaska Car Crushing – Junkyard CUP Modification, 6919000L001 and L002. (*Staff: Mark Whisenhunt*)
- D&S Alaskan Trail Rides, Inc. – Denali SpUD, 29N05W33D012 and 29N05W33D0028. (*Staff: Joe Metzger*)
- Nu Aspen LLC – Talkeetna SpUD, 5352B12L014A. (*Staff: Joe Metzger*)

- Nu Aspen LLC – Regulation of Alcoholic Beverages, 5352B12L014A. (Staff: Joe Metzger)
- Twin Lakes – Variance MSB 17.65, 6323000L005. (Staff: Mark Whisenhunt)
- Faded Moose Farms, LLC – Marijuana Cultivation Facility, 5902000L001. (Staff: Mark Whisenhunt)
- Northern Alliance – Marijuana Cultivation Facility, 17N04W25D005. (Staff: Mark Whisenhunt)
- Three Bear Trapper Creek – Alcoholic Beverage Package Store, 7561000L001. (Staff: Mark Whisenhunt)
- Alaska Self Storage – Talkeetna SpUD Conditional Use Permit, 7909000L002. (Staff: Mark Whisenhunt)

### Legislative

- Title 17 Consolidation (Staff: Eileen Probasco)

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### **Other Upcoming Administrative Actions (Not going to the PC)**

- Aldeman – Multifamily Permit; 17N01W18B011. (Staff: Joe Metzger)
- Birdsell #1 – Nonconforming Structures, 6040B03L016. (Staff: Joe Metzger)
- Donald Patterson – Multifamily Development Permit, 1009B02L011. (Staff: Adam Bradway)
- Hinderman - Nonconforming Structures, 6043B01L006. (Staff: Joe Metzger)
- Bridgeway Community – Multifamily Development Permit, 17N02W11B005. (Staff: Joe Metzger)
- Great Alaska Cannabis Bowl – Temporary Noise Permit, 7717000T00L-1C. (Staff: Mark Whisenhunt)
- Great Alaska Cannabis Bowl – Special Event Permit, 7717000T00L-1C. (Staff: Mark Whisenhunt)
- Woodland Park – Nonconforming Structures (amnesty) – 3037B01L027. (Staff: Joe Metzger)
- Frontier Dream – Administrative Permit for Earth Materials Extraction, 5745000L002. (Staff: Mark Whisenhunt)
- Midnight Landing Lot 2 – Multifamily Permit, 7702000L002. (Staff: Mark Whisenhunt)

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### **PC Decisions Currently Under Appeal**

- **Resolution 18-30**, a Conditional Use Permit (CUP) in accordance with MSB 17.60 – Conditional Uses; allowing the operation of a junkyard/refuse area, located at 743 West Sunrise Drive (Tax ID#: 640500L006); within Township 18 North, Range 2 West, Section 33, Seward Meridian. Alaska Superior Court has issued an order remanding this item back to the Planning Commission. A new public hearing will be scheduled. (Applicant: Dewayne Creech for Creech’s Junkyard, Staff: Mark Whisenhunt)
- **Resolution PC 19-17**, a Conditional Use Permit in Accordance with MSB 17.60 – Conditional Uses; allowing for the operation of a marijuana retail facility, located at 1204 N. Hyer Spur (Tax ID# 7775000L002); within Township 17 North, Range 1 East, Section 4, Seward Meridian. Appealed to the BOAA. Planning Commission decision

upheld by BOAA on September 11, 2019. Appealed to Alaska Superior Court. (Applicant: Teri Zell, on behalf of Higher By Bad Gramm3r, LLC; Staff: Joe Metzger)

- **Resolution PC 19-18**, a Conditional Use Permit in accordance with MSB 17.30, Conditional Use Permit for Earth Material Extraction, located at 56218 S. Parks Highway (Tax ID# 22N04W06B003); within Township 22 North, Range 4 West, Section 6, Seward Meridian. A CUP would allow for the removal of approximately 1,000,000 cubic yards of earth materials through 2029. The Planning Commission failed to garner enough votes to approve the permit. Planning Commission decision overturned by the BOAA on October 29, 2019. Appealed to Alaska Superior Court. (Applicant: Emily McDonald on behalf of Don Jean Pit, Staff: Joe Metzger)

**Updates on PC items going to the Assembly (Pending)**

Planning Commission		Assembly	
Reso		ORD/Reso #	IM
<b>Resolution PC 20-11</b> , recommending Assembly approval of land classification of two parcels as Reserved Use for a future fire station and future school facilities, and eight parcels for conveyance through borough land sales or other allowed methods of disposal in accordance with Title 23 and adopted Land & Resource Management Policy and Procedures (MSB007557). (Staff: Nancy Cameron)		ORD # 20-121	IM 20-058
Actions:	05/18/20 – PC Land Classification/Approved 06/02/20 – Assembly Introduction 06/16/20 – Assembly Public Hearing		

**Updates on PC items that went to the Assembly (Complete)**

None

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